

NOTICE AND AGENDA

ATTENTION

**IN-PERSON AUDIENCES AT PLANNING & ZONING COMMISSION MEETINGS
HAVE BEEN SUSPENDED UNTIL FURTHER NOTICE**

To participate in the meeting virtually click the following link:

[Join Microsoft Teams Meeting](#)

Planning & Zoning Commission meetings will be live streamed on the city's website (<https://www.flagstaff.az.gov/1461/Streaming-City-Council-Meetings>)

The public can submit comments that will be read at the dais by a staff member to CDPandZCommission@flagstaffaz.gov.

**PLANNING & ZONING COMMISSION
WEDNESDAY
December 14, 2022**

**STAFF CONFERENCE ROOM
211 WEST ASPEN AVENUE
4:00 P.M.**

1. Call to Order

NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION

Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the Commission and to the general public that, at this regular meeting, the Commission may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the City's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).

2. Roll Call

NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.

MARIE JONES, CHAIR
CAROLE MANDINO, VICE CHAIR
DR. RICARDO GUTHRIE
BOB HARRIS, III

MARY NORTON
DR. ALEX MARTINEZ
LLOYD PAUL

3. Public Comment

At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.

4. APPROVAL OF MINUTES

Approval of the minutes from the meeting on Wednesday, November 9, 2022

5. PUBLIC HEARING

- A. Request for Extension of PZ-20-00100-03: Conditional Use Permit for Plaza Way Condos**
At the December 8, 2021 meeting, the Commission approved a Conditional Use Permit request from Miramonte Acquisitions, LLC to establish a Planned Residential Development (PRD) on a portion of lot 10 within the Woodlands Village Unit 1 subdivision. The PRD consists of 40 multi-family residential units on 1.71 acres located at 1580 S Plaza Way within the Highway Commercial (HC) zone. The applicant is requesting an extension of 180 days maximum.

STAFF RECOMMENDED ACTION:

Staff recommends that the request for the CUP extension be granted by the Planning and Zoning Commission with the original requirements included in Conditional Use Permit No. PZ-20-00100-03 and as follows:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application and with the Site Plan as approved by the Inter-Division Staff on May 10, 2021. Modifications to the approved site plan shall require additional review by the IDS team.
2. A fence be provided along the western property line that avoids required tree resources and slope areas. A detailed plan for this fence shall be provided in conjunction with civil plans for the project.
3. The applicant shall participate in the bulk pass program with Mountain Line to provide bus passes to residents of the project for a term of five years following the certificate of occupancy of the project.

Executive Summary:

The Zoning Code states that a conditional use permit will become null and void one year after the effective date unless one of the following has occurred:

- a. A grading permit or building permit has been issued and construction commenced and diligently pursued;
- b. The approved use has been established; or
- c. An extension has been granted by the Planning Commission. Such extension shall be for a maximum of 180 days, and no extension may be granted which would extend the validity of the permit more than 18 months beyond the effective date of the permit. The Planning Commission may, when granting an extension for a conditional use permit, modify the original conditions or add conditions to the original conditional use permit, if deemed appropriate; or
- d. The Planning Commission has established a different expiration date for the conditional use permit, such as tying it to the expiration date of a Zoning Map amendment for the same property.

6. MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS

7. ADJOURNMENT

CERTIFICATE OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on 12/9/22, at 4:00 p.m. This notice has been posted on the City's website and can be downloaded at www.flagstaff.az.gov.

Dated this 9th day of December, 2022.

Tammy Bishop, Administrative Specialist



Planning & Zoning Commission

5. A.

Meeting Date: 12/14/2022

Co-Submitter: Alaxandra Pucciarelli, Current Planning Manager

From: Tiffany Antol, Senior Planner

Information

TITLE:

Request for Extension of PZ-20-00100-03: Conditional Use Permit for Plaza Way Condos

At the December 8, 2021 meeting, the Commission approved a Conditional Use Permit request from Miramonte Acquisitions, LLC to establish a Planned Residential Development (PRD) on a portion of lot 10 within the Woodlands Village Unit 1 subdivision. The PRD consists of 40 multi-family residential units on 1.71 acres located at 1580 S Plaza Way within the Highway Commercial (HC) zone. The applicant is requesting an extension of 180 days maximum.

STAFF RECOMMENDED ACTION:

Staff recommends that the request for the CUP extension be granted by the Planning and Zoning Commission with the original requirements included in Conditional Use Permit No. PZ-20-00100-03 and as follows:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application and with the Site Plan as approved by the Inter-Division Staff on May 10, 2021. Modifications to the approved site plan shall require additional review by the IDS team.
2. A fence be provided along the western property line that avoids required tree resources and slope areas. A detailed plan for this fence shall be provided in conjunction with civil plans for the project.
3. The applicant shall participate in the bulk pass program with Mountain Line to provide bus passes to residents of the project for a term of five years following the certificate of occupancy of the project.

Executive Summary:

The Zoning Code states that a conditional use permit will become null and void one year after the effective date unless one of the following has occurred:

- a. A grading permit or building permit has been issued and construction commenced and diligently pursued;
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- c. An extension has been granted by the Planning Commission. Such extension shall be for a maximum of 180 days, and no extension may be granted which would extend the validity of the permit more than 18 months beyond the effective date of the permit. The Planning Commission may, when granting an extension for a conditional use permit, modify the original conditions or add conditions to the original conditional use permit, if deemed appropriate; or
- d. The Planning Commission has established a different expiration date for the conditional use permit,

such as tying it to the expiration date of a Zoning Map amendment for the same property.

Executive Summary:

See above

Attachments

Request
Staff Report
Recorded CUP
Notice of Decision
Prop 207 Waiver
Site Plan Approval Letter
Site Plan Conditions of Approval
Conditional Use Permit Application
CUP Narrative
Public Participation Report
Site Plan



**REQUEST TO EXTEND
CONDITIONAL USE PERMIT NO. PZ-20-00100-03**

11/2/2022

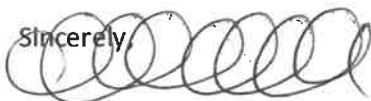
Alexandra Pucciarelli
Current Planning Manager
Community Development
211 W. Aspen Avenue
Flagstaff, AZ 86001
Phone: (928) 213-2640
Email: apucciarelli@flagstaffaz.gov

Reference: Extension for Conditional Use Permit No. PZ-20-00100-03, 1580 S. Plaza Way, Flagstaff, AZ.

Dear Ms. Pucciarelli,

December 8, 2021 the Planning and Zoning Commission granted permission to Miramonte Acquisitions, LLC to establish a Planned Residential Development (PRD) use pursuant to Section 10-40.30.040.B of the Flagstaff Zoning Code. The PRD consists of 40 multi-family residential units on approximately 1.71 acres located at 1580 S. Plaza Way in the Highway Commercial Zone, Coconino County Assessor Parcel Number 112-24-010B.

Since the Conditional Use Permit was granted, Plaza Way Apartments, LLC has taken title to the property. On October 24th, 2022 an application for Civil Construction Plan Approval was submitted to the City of Flagstaff for review. We plan to start construction on the property the first quarter of 2023. Please approve our request to extend the Conditional Use Permit for 180 days.

Sincerely,


Christopher Kemmerly
Member
Plaza Way Apartments, LLC
2502 E. River Road
Tucson, AZ. 85718

Enclosure: Conditional Use Permit No. PZ-20-00100-03

**COCONINO COUNTY, ARIZONA RECORDER
CONDITIONAL USE PERMIT
FROM GRANTOR: CITY OF FLAGSTAFF
COCONINO COUNTY, ARIZONA
OFFICE OF PLANNING AND ZONING
TO GRANTEE: MIRAMONTE ACQUISITIONS LLC**

Permit No. PZ-20-00100-03
December 19, 2021

Permission is hereby granted to Miramonte Acquisitions, LLC to establish a Planned Residential Development (PRD) use pursuant to Section 10-40.30.040.B of the *Flagstaff Zoning Code*. The PRD consists of 40 multi-family residential units on approximately 1.71 acres located at 1580 S Plaza Way in the Highway Commercial Zone, and legally described as Coconino County Assessor parcel number 112-24-010B in the city of Flagstaff, Arizona.

After a public hearing held on December 8, 2021, the Planning & Zoning Commission voted to grant this Conditional Use Permit subject to the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application and with the Site Plan as approved by the Inter-Division Staff on May 10, 2021. Modifications to the approved site plan shall require additional review by the IDS team.
2. A fence be provided along the western property line that avoids required tree resources and slope areas. A detailed plan for this fence shall be provided in conjunction with civil plans for the project.
3. The applicant shall participate in the bulk pass program with Mountain Line to provide bus passes to residents of the project for a term of five years following the certificate of occupancy of the project.

Furthermore, this permit is issued on the express condition that the use permitted herein shall conform in all relevant respects to the ordinances of the City of Flagstaff and the laws of the State of Arizona.

Any and all conditions endorsed on this permit are subject to periodic review by the City of Flagstaff's Planning Director. Following review, the Planning and Zoning Commission shall be notified when the conditions of operation imposed in the approval and issuance of this permit have not been or are not being complied with.

The Planning and Zoning Commission shall consider the matter of revocation and set the permit for public hearing. If the Planning and Zoning Commission finds, following the public hearing, that the conditions imposed in the issuance of this permit are not being complied with, this permit may be revoked and further operation of the use for which this permit was approved shall constitute a violation of the Zoning Code.

My Commission expires: 12/1/24

Exhibit A-Legal Description

112-24-010B

COM FOR REF SW COR LOT 10; TH N 87-29-22 E 246.95 TO TPOB; TH N 25-06-43 W 329.06';

TH N 87-26-55 E 120.60' TO TANGENT CURVE TO LT; TH NELY ALONG SAID CURVE 192.06';

**TH S 01-27-55 E 67.13'; TH S 01-33-52 E 291.56'; TH S 87-29-22 W 169.35' TO TPOB. Sixteenth: NW
Quarter: SW Section: 21 Township: 21N Range: 07E**

PLANNING AND DEVELOPMENT SERVICES REPORT
CONDITIONAL USE PERMIT

PUBLIC HEARING
PZ-20-00100-03

<u>DATE:</u>	<u>November 17, 2021</u>
<u>MEETING DATE:</u>	<u>December 8, 2021</u>
<u>REPORT BY:</u>	<u>Tiffany Antol, AICP</u>

REQUEST:

A Conditional Use Permit request from Miramonte Acquisitions, LLC to establish a Planned Residential Development (PRD) on a portion of lot 10 within the Woodlands Village Unit 1 subdivision. The PRD consists of 40 multi-family residential units on 1.71 acres located at 1580 S Plaza Way within the Highway Commercial (HC) zone.

STAFF RECOMMENDATION:

In accordance with the findings presented in this report, staff recommends approval of PZ-20-00100-03 with conditions.

PRESENT LAND USE:

Undeveloped.

PROPOSED LAND USE:

A Planned Residential Development (PRD) consisting of 40 multi-family residential units.

NEIGHBORHOOD DEVELOPMENT:

North: Vacant land, Light Industrial Open (LI-O) Zone
East: Aspen Leaf Apartments, Highway Commercial (HC) Zone
South: Congregate Care Facility (Haven Health), Rural Residential (RR) Zone
West: Vacant land, Highway Commercial (HC) Zone

I. Project Introduction

A. Background/Introduction

Section 10-40.30.040.B of the Flagstaff Zoning Code (Page 40.30-15), *Allowed Uses*, identifies Planned Residential Development (PRD) as an allowed land use in the Highway Commercial (HC) zone subject to the approval of a Conditional Use Permit (CUP) by the Planning and Zoning Commission. In addition, Section 10-40.60.280 of the Flagstaff Zoning Code (Page 40.60-52), *Planned Residential Development*, lists additional requirements for the PRD related to building types and open space.

The subject property is currently zoned Highway Commercial (HC) and is located within the boundaries of the Woodlands Village Specific Plan. This Specific Plan was adopted by Resolution in 1990 and served as an amendment to the Growth Management Guide 2000, the general plan in place at the time of adoption. The specific plan provides design guidelines for development within the specific plan boundaries. Staff works with applicants to harmonize the differences between current regulations and the development guidelines provided in the plan.

Residential development is permitted within the Highway Commercial (HC) zoning district either as a mixed-use

project or as a Planned Residential Development (PRD) with the issuance of a Conditional Use Permit (CUP) by the Planning & Zoning Commission. The PRD option allows the property owner to propose a wide range of residential development in accordance with the Zoning Code. The Zoning Code established the PRD as a mechanism to allow the development of specific transect zone building types (i.e., townhouse, duplex, apartments, etc.) in non-transect zones. These specific building types, however, are dependent on transect development standards. As such, this development proposes the use of T4 Neighborhood 2 (T4N.2) transect zone development standards. The property owner, based on current market conditions and existing surrounding uses, is proposing the development of 40 multi-family residential units in two 3-story apartment buildings.

II. Required Findings

The Planning Commission may approve the Conditional Use Permit only after making a finding that:

A. Finding #1:

The conditional use is consistent with the objectives of the Zoning Code and the purpose of the Zone in which the site is located.

“The Highway Commercial (HC) zone applies to areas of the City appropriate for a full range of automobile-oriented services. The development of commercial uses in addition to residential uses is encouraged in the HC zone to provide diversity in housing choices; provided, that residential uses are located above or behind commercial buildings so that they are buffered from adjoining highway corridors. The provisions of this zone are also intended to provide for convenient, controlled access and parking, without increasing traffic burdens upon the adjacent streets and highways. This zone is designated primarily at the commercial corridors of the City, with the intention of making the City more attractive as a tourist destination while providing needed commercial activity.”

The proposed Planned Residential Development land use is a permitted use in the Highway Commercial (HC) zone with the issuance of a Conditional Use Permit. The residential uses are not part of a mixed-use development (which would be permitted without a CUP) and are not located above or behind a commercial building on this site. The proposed project is, however, located adjacent to two similar multi-family residential developments both located with the same zone. The proposed development is in line with the surrounding developments and with the uses as outlined in the Woodlands Village Specific Plan.

B. Finding #2

That granting the conditional use will not be detrimental to the public health, safety, or welfare.

If the proposed project is developed in accordance with City codes, standards, and requirements, the project should not be detrimental to the public health, safety, or welfare.

C. Finding #3

The characteristics of the conditional use as proposed, and as it may be conditioned, are reasonably compatible with the types of uses permitted in the surrounding area. The Conditional Use Permit shall be issued only when the Planning Commission finds that the Applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area (Flagstaff Zoning Code Section 10-20.40.050.E.3):

- *Access, traffic, and pedestrian, bicycle, and vehicular circulation;*
- *Adequacy of site and open space provisions, including resource protection standards, where applicable;*
- *Noise, light, visual, and other pollutants;*

- *Proposed style and siting of structure(s), and relationship to the surrounding neighborhood;*
- *Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements;*
- *Impact on public utilities;*
- *Signage and outdoor lighting;*
- *Dedication and development of streets adjoining the property; and*
- *Impacts on historical, prehistoric, or natural resources.*

1. Access and Traffic; Pedestrian, Bicycle, and Vehicular Circulation

Access to the site is provided from South Plaza Way. No traffic impact analysis was required for this development as the density falls outside of the requirements for impact analysis. Pedestrian walkways are provided from the sidewalk along South Plaza Way to each of the two proposed buildings as well as to the other features on site including parking and trash facilities.

The project is required to provide 71 off-street parking spaces per the Zoning Code. The application takes advantage of parking reductions permitted in the Zoning Code including a 10% reduction for being located within 1/4 mile of a transit stop and up to a 5% reduction for providing additional bicycle parking. The reductions for this project total 11 parking spaces for the site. The parking requirement after the use of these reductions is 60 parking spaces (including three ADA accessible parking spaces) for 40 residential units. The project is providing 12 bicycle parking spaces. The bike racks are distributed evenly across the two buildings (three racks per building).

2. Adequacy of Site/Open Space/Resource Provisions

The development has a proposed density of 23 units per acre, which exceeds the minimum ten dwelling units per acre required by the Zoning Code and falls under the maximum allowed density of 29 units per acre. As previously mentioned, this development is proposed to use the T4N.2 development standards through the Planned Residential Development option. Section 10-40.40.080.A of the Zoning Code (Page 40.40-25) indicates that the primary intent is to create new walkable urban neighborhoods that are in character with established neighborhoods through the integration of small footprint, medium density building types that are likely smaller than those found in other zones.

Section 10-50.110.170 of the Zoning Code (Page 50.110-31) establishes specific development standards for Apartment Buildings within a transect zone. These standards include setbacks that are reduced from the traditional zoning districts. This development proposal meets the criteria of the Apartment Building standards.

In accordance with Section 10-50.90.020.A of the Zoning Code (Page 50.90-2), the subject property is located within the established Resource Protection Overlay (RPO) zone. The Natural Resource Protection Plan (NRPP) for this project shows both forest and slope resources that are required to be preserved on site. The development is required to preserve 30% of the resource trees; the approved resource protection plan shows the applicant will preserve 30% of the tree resources on site. Slopes identified on site are between 0 and 24.99%. Of these slope areas, 60% of the slope areas within the 17-24.99% range are required to be preserved. The NRPP shows 72% of these slopes being preserved on site.

3. Noise, Light, Visual, and Other Pollutants

In accordance with Section 10-50.70.040.B of the Zoning Code (Page 50.70-4), this development is located within Lighting Zone 2. In accordance with Table 10-50.70.050.A of the Zoning Code (Page 50.70-6), the

maximum total lumens within Zone 2 is 50,000 lumens per acre. Lighting compliance will be ensured during the building permit review process. A preliminary lighting plan has been provided and is attached to this report.

It is not anticipated that the proposed development will generate noise, light, visual, or other pollutants.

4. Style and Siting of Structure(s) and Relationship to Surrounding Neighborhood

The approved Site Plan (PZ-20-00100-02) proposes 40 residential units distributed across two (2) 20,093 square foot, 3-story buildings. The project will be developed as a Planned Residential Development, which requires the applicant to apply Transect Zone, Building Type, and Private Frontage Type standards. The project will use T4N.2 Transect Zone, Apartment Building Type, and Porch Private Frontage Type standards.

The 40 units result in a density of 23.39 units per acre, which is within the permitted range of 10-29 units per acre for properties in the HC Zone with the Resource Protection Overlay inside of an Activity Center. There are 20 units per building, which range from approximately 723 to 1,050 square feet:

- Studio: 2 units per building / 4 units total
- 1 BR: 12 units per building / 24 units total
- 2 BR: 6 units per building / 12 units total

The two proposed buildings are located on the eastern half of the property with the parking areas located internal to the site. The Site Plan also identifies the western half of the property as open space and resource protection. No housing or parking is proposed to be in that area. The site is located directly adjacent to two apartment complexes also within the Highway Commercial zone as well as an existing commercial complex. To the south of the site is an existing congregate care facility and the land directly to the west remains undeveloped.

5. Landscaping and Screening

The site is proposed to be landscaped in accordance with the requirements of the Zoning Code. No method of screening is proposed for the subject use. On the eastern property line there is a 5-foot retaining wall that will separate the proposed use from the adjacent properties. On the western property line there is a substantial amount of preserved open space as well as areas reserved for resource protection including both slope and forest resources. At the neighborhood meeting for this project the adjacent property owner requested that a fence be installed along the western property to reduce potential trespass if the project is developed. Any fencing along this property line will have to be carefully located so as not to disturb existing tree resources.

6. Impact on Public Utilities

The proposed development has no additional impact to City utilities that was not previously accounted for in the master planning and development of the Woodlands Village subdivision.

7. Signage and Outdoor Lighting

No signage is proposed for this use. Outdoor lighting will be reviewed through a separate permit in conjunction with the building permit application should this Conditional Use Permit be approved.

8. Dedication and Development of Streets

No dedication or development of public streets is required.

9. Impacts on Resources

This site is not currently listed on any state or federal historic registry, nor does the site have any other historical significance. As previously mentioned, the site is located within the Resource Protection Overlay zone. A Resource Protection Plan was provided in conjunction with the site plan application. Both slope and tree resources are identified on the site.

Conditions of approval will only be imposed if they are necessary to ensure the intent and purpose of the Zoning Code are met; to ensure compatible and complementary development of the property; and to ensure the provision of appropriate off-site improvements will be fulfilled.

III. Citizen Participation

The applicant held the required neighborhood meeting to discuss the proposed Conditional Use Permit application on November 1, 2021, using the Zoom platform. The applicant posted a sign on the property regarding the meeting and sent letters to all property owners within 600 feet in addition to the City Registry of Interested Persons. There was one attendee at the meeting. The adjacent property owner presented concerns regarding overflow parking on his property as well as requesting a fence to reduce the possibility of trespass. A summary of the meeting and comments received is attached to this report. The applicant requested a waiver of the second required neighborhood meeting which was approved by the Planning Director.

IV. Recommendation:

The Inter-Division Staff (IDS) team approved the site plan for this project on May 10, 2021 (conditions attached). Staff recommends that the request for the CUP be granted by the Planning and Zoning Commission with the requirements included in Conditional Use Permit No. PZ-20-00100-03 and as follows:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application and with the Site Plan as approved by the Inter-Division Staff on May 10, 2021. Modifications to the approved site plan shall require additional review by the IDS team.
2. A fence be provided along the western property line that avoids required tree resources and slope areas. A detailed plan for this fence shall be provided in conjunction with civil plans for the project.
3. The applicant shall participate in the bulk pass program with Mountain Line to provide bus passes to residents of the project for a term of five years following the certificate of occupancy of the project.

V. Attachments:

The draft documents have been prepared in accordance with the staff recommendation and do not indicate the Commission's final decision. These documents will be updated after the public hearing on this case to reflect the Commission's decision.

- Draft Conditional Use Permit No. PZ-20-00100-03
- Draft Notice of Decision
- Proposition 207 waiver
- Site Plan Approval Letter and Conditions of Approval
- Conditional Use Permit Application
 - Narrative
 - Public Participation Plan
 - Public Participation Report
 - Site Plan

PZ-20-00100-03

November 17, 2021

- Natural Resource Protection Plan
- Landscape Plan
- Building Elevation

**COCONINO COUNTY, ARIZONA RECORDER
CONDITIONAL USE PERMIT
FROM GRANTOR: CITY OF FLAGSTAFF
COCONINO COUNTY, ARIZONA
OFFICE OF PLANNING AND ZONING
TO GRANTEE: MIRAMONTE ACQUISITIONS LLC**

Permit No. PZ-20-00100-03
December 19, 2021

Permission is hereby granted to Miramonte Acquisitions, LLC to establish a Planned Residential Development (PRD) use pursuant to Section 10-40.30.040.B of the *Flagstaff Zoning Code*. The PRD consists of 40 multi-family residential units on approximately 1.71 acres located at 1580 S Plaza Way in the Highway Commercial Zone, and legally described as Coconino County Assessor parcel number 112-24-010B in the city of Flagstaff, Arizona.

After a public hearing held on December 8, 2021, the Planning & Zoning Commission voted to grant this Conditional Use Permit subject to the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application and with the Site Plan as approved by the Inter-Division Staff on May 10, 2021. Modifications to the approved site plan shall require additional review by the IDS team.
2. A fence be provided along the western property line that avoids required tree resources and slope areas. A detailed plan for this fence shall be provided in conjunction with civil plans for the project.
3. The applicant shall participate in the bulk pass program with Mountain Line to provide bus passes to residents of the project for a term of five years following the certificate of occupancy of the project.

Furthermore, this permit is issued on the express condition that the use permitted herein shall conform in all relevant respects to the ordinances of the City of Flagstaff and the laws of the State of Arizona.

Any and all conditions endorsed on this permit are subject to periodic review by the City of Flagstaff's Planning Director. Following review, the Planning and Zoning Commission shall be notified when the conditions of operation imposed in the approval and issuance of this permit have not been or are not being complied with.

The Planning and Zoning Commission shall consider the matter of revocation and set the permit for public hearing. If the Planning and Zoning Commission finds, following the public hearing, that the conditions imposed in the issuance of this permit are not being complied with, this permit may be revoked and further operation of the use for which this permit was approved shall constitute a violation of the Zoning Code.

This Conditional Use Permit shall become null and void one (1) year from the effective date of December 19, 2021, unless the following shall have occurred:

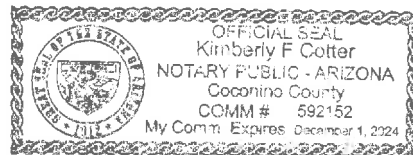
1. A building permit has been issued and construction begun and diligently pursued; or
2. The approved use has been established; or
3. An extension has been granted by the Planning and Zoning Commission. Such extension shall be for a maximum of one hundred eighty (180) days and no extension may be granted which would extend the validity of the permit more than eighteen (18) months beyond the date of approval of the permit.
4. Property Owner shall sign Consent to Conditions/Waiver for Diminution of Value form as a condition of issuance of the Conditional Use Permit by the City.
5. Development of the use shall not be carried out until the applicant has secured all other permits and approvals required by the Zoning Code, the City, or applicable regional, State, and federal agencies.

This document ___ does modify, or X does not modify the provisions of a previous Conditional Use Permit recorded in docket _____, Office of the Coconino County, Arizona, Recorder.

Michelle M. Smith
Planning Director, City of Flagstaff

By: [Signature]
Applicant (if other than the property owner)

STATE OF ARIZONA)
County of Coconino) ss



Before me, the undersigned Notary Public, personally appeared Chris Kennedy who executed the foregoing document for the purposes contained therein.

SUBSCRIBED AND SWORN to before me this 17th day of January, 2021-22

Kimberly F. Cotter
Notary Public

My Commission expires: 12/1/24

Exhibit A-Legal Description

112-24-010B

COM FOR REF SW COR LOT 10; TH N 87-29-22 E 246.95 TO TPOB; TH N 25-06-43 W 329.06';

TH N 87-26-55 E 120.60' TO TANGENT CURVE TO LT; TH NELY ALONG SAID CURVE 192.06';

TH S 01-27-55 E 67.13'; TH S 01-33-52 E 291.56'; TH S 87-29-22 W 169.35' TO TPOB. Sixteenth: NW
Quarter: SW Section: 21 Township: 21N Range: 07E



City of Flagstaff

December 9, 2021

Mr. Chris Kemmerly
Miramonte Acquisitions, LLC
102 S Mikes Pike
Flagstaff, AZ 86001

RE: **NOTICE OF DECISION** – Conditional Use Permit No. PZ-20-00100-03

Dear Mr. Kemmerly:

The Planning Commission, in accordance with Section 10-20.40.050 of the Flagstaff Zoning Code, has considered the request of Miramonte Acquisitions, LLC for a Conditional Use Permit on the property at 1580 S Plaza Way (APN 112-24-010B) in the HC, Highway Commercial Zoning District, to allow the establishment of 40 multi-family residential units through the Planned Residential Development use as provided in Section 10-40.30.040.B of the City of Flagstaff Zoning Code.

The Planning Commission held a public hearing on December 8, 2021, regarding this Conditional Use Permit. The Commission found and determined that, based on the information provided in the staff report dated November 17, 2021, and at the public hearing, the facts exist as required by Section 10-20.40.050.F of the Zoning Code to justify granting the Conditional Use Permit.

Based upon the aforementioned findings, the Commission approved a Conditional Use Permit by a vote of (3-1) for the use and location described above subject to the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application and with the Site Plan as approved by the Inter-Division Staff on May 10, 2021. Modifications to the approved site plan shall require additional review by the IDS team.
2. A fence be provided along the western property line that avoids required tree resources and slope areas. A detailed plan for this fence shall be provided in conjunction with civil plans for the project.
3. The applicant shall participate in the bulk pass program with Mountain Line to provide bus passes to residents of the project for a term of five years following the certificate of occupancy of the project.

The above conditions are deemed by the Commission to be required to assure that the requested use will be compatible with neighboring uses and the growth and development of the area.

This action becomes final and effective ten (10) calendar days after the posting of this Notice of Decision on December 9, 2021, unless during these ten (10) days a written appeal to the City Clerk is filed or the City Council elects to review the application. Either appeal or City Council review shall stay the Conditional Use Permit until the City Council holds the required public hearing to consider the request.

Should you have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely,

Tiffany Antol

Tiffany Antol, AICP, Senior Planner
Planning & Development Services
P. 928-213-2605
tantol@flagstaffaz.gov

cc: Current Planning Manager, City Attorney, City Clerk, City Council

When recorded, mail to:
City Clerk
City of Flagstaff
211 W. Aspen Avenue
Flagstaff, Arizona 86001

CONSENT TO CONDITIONS/WAIVER FOR DIMINUTION OF VALUE

The undersigned is the owner of certain real property legally described as Coconino County Assessor parcel number 112-24-010B in the city of Flagstaff, Arizona, that is the subject of Conditional Use Permit Application No. PZ-20-00100-03. By signing this document, the undersigned agrees and consents to all of the conditions imposed by the City of Flagstaff in conjunction with the approval of Conditional Use Permit No. PZ-20-00100-03 and waives and fully releases any and all claims and causes of action that the owner may have, now or in the future, for any "diminution in value" and for any "just compensation" under the Private Property Rights Protection Act, Arizona Revised Statutes § 12-1131, et seq., that may now or in the future exist as a result of the approval of Conditional Use Permit No. PZ-20-00100-03. Within ten (10) days after the execution of this Consent to Conditions/Waiver for Diminution of Value by the undersigned, the City Clerk shall cause this document to be recorded in the official records of Coconino County, Arizona.

Dated this _____ day of _____, 2021

PROPERTY OWNER:

Print Name

Sign Name

State of Arizona)
) ss
County of)

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2021, by:

Notary Public

My commission expires: _____



City of Flagstaff

May 10, 2021

Mr. Matt Peace
AXXO Holdings
824 W Birch Avenue
Flagstaff, AZ 86001

RE: Site Plan Approval PZ-20-00100-02

Dear Mr. Peace:

As of the date of this correspondence, the City of Flagstaff Development Review Staff has approved, subject to the attached Conditions of Approval, Project No. PZ-20-00100-02 for the proposed multi-family residential development utilizing the Planned Residential Development requiring the issuance of a Conditional Use Permit located 1580 S Plaza Way. The Coconino County Assessor Parcel Number for the subject property is 112-24-010B.

Unless modified to comply with the Conditions of Approval, development of the project shall substantially conform to the approved plans as follows:

- Site Plans, floor plans and elevations dated March 24, 2021, prepared by Smith Architects, inc.
- Utility Plan, NRP Plan, and Grading and Drainage Plans dated April 2021 prepared by SWI, Inc.
- Landscape Plan dated 4/29/21 prepared by Norris Design.

This approval shall be valid for a period of one year following the above date, May 10, 2021. If, at the expiration of this period, the property has not been improved for the approved development; or a certificate of occupancy has not been issued; or the site has not been occupied per Zoning Code section 10-20.40.140, the site plan shall expire.

After obtaining a Conditional Use Permit, the next step in the development process is Civil Improvement Plan ("Civil") review. Prior to Civil submittal, please contact the Development Engineering Project Manager assigned to the project, James Boyer, to schedule a meeting to discuss application submittal requirements, the review process, and timing of reviews. James can be reached at (928) 213-2705 or via e-mail at jboyer@flagstaffaz.gov.

For your information, alterations to your property may affect how your property taxes are calculated. To find out how your project may affect your property valuation for tax purposes, contact the Coconino County Assessor's Office at (928) 679-7962 or in person at 110 E Cherry Ave, Flagstaff.

We look forward to working with you and your development team through Civil Improvement Plan review, Building Permit review, construction, and completion of the approved project. Should you have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely,

Tiffany Antol, Planning Director
P. 928-213-2605
tantol@flagstaffaz.gov

cc. Smith Architects, inc.



City of Flagstaff
Community Development
Substantive Review Comments

Project Name: Plaza Way Condos
Project No. PZ-20-00100-02
Project Address: 1580 S Plaza Way
Date: May 10, 2021

Application Type: Site Plan
Review Type: Substantive 2nd Submittal

Project Manager: Tiffany Antol
E-mail: tantol@flagstaffaz.gov
Phone: 928-213-2605

Status of Review: **Approved with Conditions**
This correspondence is being transmitted on Day 15 of the 22-day Substantive Review Timeframe.

CONDITIONS/COMMENTS:

Traffic: Reid Miller
Approved 03/11/2021
No Comments

Stormwater: Douglas Slover
Approved with Conditions 03/10/2021

Conditions of Site Plan Approval

1. Provide statement of Rainwater Harvesting intent. Either active RWH for all new roof area or passive RWH with native drought tolerant plants.

General Comments

1. Justification of outlet riprap pad sizing will be needed.

Future Submittal Requirements

1. Provide drainage report with civil plan submittal.
2. Provide erosion control plan with civil plan submittal.

Housing: Jennifer Mikelson
Approved 03/11/2021
No Comments

HPC/Comm Design: Mark Reavis
Approved 03/19/2021

1. Reviewed for potential Cultural (archeological) resources, note to excavation contractor. No further HPO review required.



City of Flagstaff Community Development Substantive Review Comments

Parks: Amy Hagin

Approved 03/10/2021

No Comments

Sustainability: Jenny Niemann

Approved 03/23/2021

The applicant is encouraged to construct electric-only buildings. This would enable the site to avoid adding natural gas infrastructure. Electric furnaces, heat pumps and water heating technologies have improved dramatically, making electric-only buildings feasible and sometimes even preferred. Electric-only buildings allow the development to eventually become a zero-emissions development, as the electric grid becomes a zero-emissions grid. (APS has committed to net zero emissions by 2050). Installing natural gas infrastructure locks this development into consuming fossil fuels until a costly retrofit is made. Forgoing natural gas also has health benefits, resulting in healthier indoor air. Gas appliances and heating devices generate a variety of air pollutants that have been linked to health risks.

The applicant is encouraged to consider food waste collection and compost service in the design of the kitchens and the overall waste management plan. While composting collection services in Flagstaff are currently limited, this will be a growing focus of climate action and waste management programming in the coming years. Design of the building is the ideal time to consider three waste streams for residential units, including collection of organic waste.

The applicant is encouraged to consider the installation of solar panels (also known as photovoltaic, or PV panels), on available roof space. Larger roofs such as those on multi-family buildings are some of Flagstaff's best opportunities for the installation of solar infrastructure within city limits. The unobstructed southern viewsheds mean the buildings will have significant solar potential.

Solar can benefit developments in several ways, including resilience benefits, marketing benefits, and utility cost savings. Solar is now the cheapest energy source in history, and the developer is encouraged to consider an investment in on-site energy production. Tax incentives may be available. APS currently has programming that may be available to the applicant to support solar installation and provide financial benefits. COF sustainability staff is happy to support the applicant in this process if desired -- feel free to contact us.

The applicant needs to provide a narrative on its materials management planning. It appears that a dual, trash and recycling enclosure, has been included on the concept plan, but it is not clear what specific strategies the property will utilize to capture recyclables. Guidance on what to include in this plan, can be found here:
https://flagstaff.az.gov/DocumentCenter/View/57570/New-Development-Materials-Management-Guide_Final?bidId=
This should be addressed as part of the Conditional Use Permit application.

Current Planning: Tiffany Antol

Approved with Conditions 05/10/2021

Conditions of Approval

1. Any expansion or alteration of the approved site plan or exterior elevations, unless necessary to comply with these conditions of approval, may require site plan review and approval prior to building permit submittal.
2. An Outdoor Lighting Permit with light fixture cut sheets and lumen calculation table shall be submitted in



City of Flagstaff Community Development Substantive Review Comments

conjunction with the building permit application. A preliminary lighting plan is required to be submitted with the Conditional Use Permit Application

3. Signage is not included within this approval. A separate sign permit will be required for all signage at the time of building permit submittal.
4. Any mechanical equipment or utility cabinets not shown or shown on the approved site plan necessary to complete the project will be required to be screened from the public right-of-way. This includes any roof mounted equipment or cabinets located along the property frontage including the right-of-way.
5. A Conditional Use Permit is required for the Planned Residential Use in the Highway Commercial zone prior to the submittal of civil plans or a building permit.
 - a. In the CUP application narrative please address the following:
 - i. Transit passes -- the property is taken an incentive to reduce the required parking. In the past projects seeking entitlement have agreed to provide bus passes to tenants.
 - ii. Address the lack of community amenities with the open space area designated on site.
 - iii. Address the required elements identified in the Compatibility section of the Zoning Code 10-30.60-050.
 - iv. You are strongly encouraged to have a recycling plan as part of the CUP application.

Development Engineering: Brian Gall

Approved with Conditions 05/05/2021

Conditions of Approval

1. On sheets A1.1 of the Building Floor Plans, the unit between apartments 203 and 207 is labeled 208. I believe that apartment number should be 205 to be consistent with the other floors. Please update on future submittals.

Future Submittal Requirements

1. A Civil Construction Plan Submittal will be required.
2. A Grading Permit will be required.
3. A Public Improvements Permit will be required.

Water Services: Jim Davis

Approved 04/30/2021

No Comments



**Conditional Use Permit
Application Narrative
Plaza Way Apartments
PZ-20-00100-02
1580 S. Plaza Way, Flagstaff, AZ. 86001
APN: 112-24-010B
September 24, 2021**

DEVELOPER/BUYER

Miramonte Acquisitions, LLC ("Miramonte")
2502 E. River Road, Tucson, AZ. 85718
Chris Kemmerly
(520) 615-8900
chris@kemmerly.com

SELLER

AXXO HOLDINGS LLC
6086 E. Barney Drive, Flagstaff, AZ. 86004
Matthew Peace
928-699-1245
axxoproperties@gmail.com

LAND ACQUISITION & DEVELOPMENT

Miramonte Homes
102 S. Mikes Pike, Flagstaff, AZ. 86001
Charity Lee
(928) 600-3594
clee@miramontehomes.com

SELLER

CEDAR ROSE LLC
824 W. Birch Avenue, Flagstaff, AZ. 86001
Ken Ketter
928-853-5339
Tubac24@gmail.com

LEGAL

Aspey Watkins and Diesel
123 N San Francisco St. #300
Flagstaff, AZ 86001
Whitney Cunningham
928-774-1478
info@awdlaw.com

LANDSCAPE ARCHITECT

Norris Design
6 East Aspen Avenue, Suite 260
Flagstaff, AZ. 86001
929-233-3021
www.norris-design.com

ENGINEERING

Shephard Wesnitzer, Inc
110 W. Dale Avenue
Flagstaff, Az. 86001
928-773-0354
gcortes@swiaz.com

ARCHITECT

Smith Architecture
1503 S. Yale Street, Suite 200
Flagstaff, AZ. 86001
928-779-5993
www.smith-arc.com



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Enclosures:

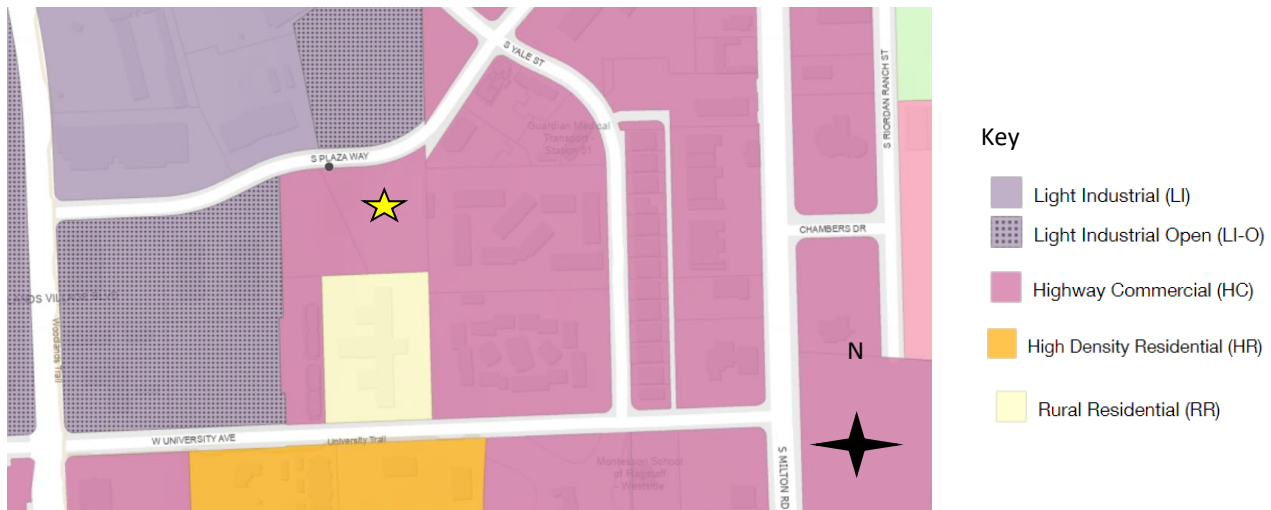
- Conditional Use Application
- Neighborhood Meeting Plan
- Materials Management Plan
- Vicinity Map
- Mailing Radius Map
- Mailing List
- Registry of Interested Persons
Group Mailing List



PROPERTY DETAILS

The Project site is an infill property approximately 1.77 acres and located in the heart of Flagstaff at 1580 S. Plaza Way, in an existing Suburban Activity Center and a Regional Pedestrian Shed. Its central location provides easy access to grocery stores, shopping and restaurants providing opportunities for residents to choose alternative forms of transportation; walking, biking or public transportation. The site is also in Lighting Zone 2 and located within a Resource Protection Overlay Zone.

The property is zoned Highway Commercial (HC) and surrounded by commercial, light industrial and multi-family development. Planned Residential Development (PRD) will be used to develop the site as proposed. A PRD is allowed in the HC zone with a Conditional Use Permit. The Planned Residential Development (PRD) mechanism will be used, following standards: T4.N2 Transect Zone.



PROJECT OVERVIEW

Miramonte Acquisitions LLC (Miramonte) is in escrow to acquire the property at 1580 S. Plaza Way and develop the Plaza Way Apartments, a “for rent” apartment complex to provide additional workforce housing for the city of Flagstaff. Total allowed units per acre is 29 for a total of 49.59 allowable units, total proposed units are 40. There will be two, three story apartment buildings. The two buildings combined will cover approximately 14,740 SF or 19.8% of the gross site area.

There will be a total of 52 bedrooms, (24) one-bedroom units, (12) two-bedroom units, and (4) studios. One bedroom and studio units will be approximately 723 SF with two-bedroom units approximately 1050 SF. The development will be wood framed construction and will feature a variety of different siding: horizontal lap siding, board and batten, and standing seam



metal and malapai stone to provide dimension, shadow patterns and articulation to the façade. A combination of standing seam and asphalt shingle roofing materials are used on multiple types and slopes of roof elements. The buildings will be painted in earth tones to match the surrounding architecture and style of construction in Flagstaff. Every unit will have either a covered porch or balcony.

STANDARDS FOR GRANTING CONDITIONAL USE PERMIT

Per the City of Flagstaff Zoning Code Section 10-20.40.050 the following standards must be met for granting a conditional use permit.

- 1. *That the conditional use is consistent with the objectives of the Zoning Code and purpose of the zone in which the site is located.***

The property is zoned Highway Commercial (HC). To develop the property as proposed the Planned Residential Development mechanism will be used, following standards: T4.N2 Transect Zone, this is allowed use in the HC zone with a Conditional Use Permit.

- 2. *That granting the conditional use will not be detrimental to the public health, safety or welfare.***

- a. *Property damage or nuisance arising from noise, smoke, odor, dust, vibration, or illumination.***

The development will comply with the City of Flagstaff Engineering Standards and Building Codes during the construction to limit the disturbance of the development for the adjacent property owners. Ongoing, the Project will not be a nuisance related to noise, smoke, odor, dust, vibration, or illumination. The Project will comply with the City of Flagstaff Outdoor Lighting Standards in Section 10-50-70 of the Zoning Code.

- b. *Hazard to persons or property from possible explosion, contamination, fire, or flood.***

The is a residential development project that will not have the risk of explosion or contamination. The development will comply with the City of Flagstaff Codes to ensure fire safety during construction. The site is located within Zone X of FEMA Firm Map #04005C6816G, effective September 3, 2010. Zone X is described as an area determined to be outside the .2% annual chance floodplain.

- c. *Impact on surrounding area arising from unusual volume or character or traffic.***

The development will be a 40-unit residential rental community with a total of 52 bedroom. Surrounding uses are commercial businesses and multi-family. The property is in an existing suburban activity zone on an infill lot, multi-family residential is a supported use in this zone. The development will not have a significant impact on the surrounding area related to an increase in volume, character or traffic.

- 3. *That the characteristics of the conditional use as proposed and as it may be conditioned are reasonably compatible with the types of uses permitted in the surrounding area. The Conditional Use Permit shall be issued only when the Planning***



Commission finds that the applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area:

a. Access and traffic; pedestrian, bicycle and vehicular circulation.

Access to the site will be provided by a single full access driveway on S. Plaza Way. The Project is centrally located and within 1/3 mile of grocery stores, shopping and restaurants. Sidewalks are located off S. Plaza Way providing a walkable community. A NAIPTA bus stop is ¼ mile from the site. Miramonte is actively working with Mountain Line to consider opportunities for reduced bus passes for its future residence, to encourage alternative modes of transportation and reduce carbon emissions.

There will be a total of 57 standard vehicle spaces and 3 ADA accessible parking spaces, plus 2 motorcycle spaces and 12 bicycle spaces. The parking requirement of 71 spaces was reduced to 60 total vehicle spaces due to the following.

- (2) motorcycle spaces are provided, providing (1) parking space reduction.
- A transit stop is located within ¼ mile of the Project which provides a 10% reduction in parking.
- (12) bicycle spaces are provided, providing 3 parking space reduction.

b. Adequacy of Site and Open Space Provisions, Including Site Capacity and Resource Protection Standards Where Applicable.

The Project was required to preserve 3,725 SF or 5% of the total area as open space. Plaza Way Apartments is preserving 18,194 SF of open space which will retain the stand of ponderosa pine trees in the west corner of the development, preserving 30% of the natural resources on site, additionally 5,822 SF of the natural resource slope will be protected.

The Open Space provided for this project retains the existing pine stand in its natural state in an increasingly urbanized area of the city. Future residents of the project will be able to use this natural area immediately adjacent their home for passive recreation in the same way city residents use pine stands off-trail at Buffalo Park, or along the FUTS trail near NAU, or along Sinclair Wash. In the absence of increased hardscape, traditional amenities and general disturbance to a natural area, the character of this pine stand (which is iconic to Flagstaff) will be preserved without reducing the spaces affordability for recreational opportunities. These opportunities include but are not limited to hammocking, slacklining, picnicking, and nature play for children.

c. Noise, light, visual, and other pollutants.

The Project will comply with the City of Flagstaff Engineering Standards and Building Codes during the construction activities to limit the disturbance of the development for the



adjacent property owners. The project will comply with the City of Flagstaff Outdoor Lighting Standards in Section 10-50-70 of the Zoning Code.

d. Proposed style and siting of structure(s), and relationship to the surrounding neighborhood.

The surrounding uses are commercial and multi-family residential. The development of a 40- unit apartment complex as a Planned Residential Development is consistent with the surrounding uses and is an approved use in the Highway Commercial Zone with a Conditional Use Permit.

Special design considerations have been applied regarding the architecture of the buildings to ensure compatibility with the surrounding properties and elements. The overall height and scale of the buildings will be proportionate to the relative slope and tall Ponderosa Pine Stands to the west.

Appropriate building massing has been provided with multiple projections that will be detailed and visually supported by wood corbels and beam ends. Intermittent recesses within the wall plane will be created by private balconies and building elements providing visual interest to all sides of the buildings. Multiple roof types and slopes have been utilized to enhance the building form while complementing the existing vernacular of adjacent mountain, residential, modern & commercial types of architecture.

Detailed fenestration placement allows for a unified composition in proportion to the building elevations. Apartment unit window assemblies will be recessed from the main facade to provide contrast, depth and shadows to the openings. Storefront assemblies will help define the main pedestrian entries and frontage types for each building.

Materials, textures & colors have been selected to provide an aesthetic appeal to the foundations, building facades and roof elements. Split face block retaining walls will be utilized to terrace the existing while transitioning to help “ground” the eastern building stem walls. The masonry units and colors will blend and relate to many of the surrounding buildings utilizing the same material. Natural malapai stone veneer will be used to skin the building at the pedestrian level which is another reoccurring material used in surrounding and centers. Multiple siding profiles have been defined including, standing seam metal, horizontal lap and board and batten to provide dimension, shadow patterns and articulation to the facade. A combination of standing seam and asphalt shingle roofing materials are used on multiple types and slopes of roof elements. Natural, earth tone materials and colors have been selected to blend well with the surrounding resources. Grey and natural masonry materials at the ground level will provide a connection to the exposed basalt rocks slopes and outcroppings. Subtle, yet heavy toned greens and browns will complement the natural surrounding ponderosa pines and new landscaping elements.

Overall, the Plaza Way Apartment complex has been designed to accommodate the natural and existing surroundings while catering to a new, residential atmosphere that will



support the local and immediate businesses and activity centers while enhancing the pedestrian connection to the area.

e. Landscaping and screening provisions.

Native drought tolerant plants will be planted to enhance the development and provide passive rainwater harvesting. Plants have been selected to maintain an element of natural aesthetics without an abundance of ornamental species, like neighboring commercial and residential developments. Landscape beds are subdued to blend with the neighborhood character but designed to provide seasonal variation. The goal of this design of the streetscape and street buffer is to highlight the area as a pedestrian-friendly space without breaking from the neighborhood character. Additionally, the ponderosa pine tree stand in the west section of the property will create an added buffer between the existing commercial development and the Project.

f. Impact on public utilities.

Currently, all public water infrastructure exists near the property. The Project will provide a new 8" dead end connection to the 8" water main located in South Plaza Way. Domestic, fire and irrigation services will branch off the new dead end main. The Project will connect new 6" sewer services to the 8" sewer main located in the 16' utility easement on the eastern boundary of the site.

The City required detention/LID for any commercial development greater than ¼ acre in size. Due to the site being currently undeveloped, the project will need to attenuate increases in peak flows caused by the new improvements for the 10 and 100-year events through detention facilities. LID policies will require 1" of ROCV to be retained on site. The project will use underground retention facilities to meet these requirements.

g. Signage and outdoor lighting.

The Project will comply with the City of Flagstaff Outdoor Lighting Standards in Section 10-50-70 of the Zoning Code for Light Zone 2. Any signage installed will comply with Section 10-20.40.120 of the Zoning Code and obtain the necessary permits required.

h. Dedication and development of streets adjoining the property.

The Project is located off S. Plaza Way an improved city street. A portion of the property frontage will be dedicated as additional right-of-way to encompass the existing sidewalk that is currently partially encroaching onto the parcel.

i. Impacts on historical, prehistoric, or natural resources.

The site has been reviewed by the City of Flagstaff's Historic Preservation Officer. No historical, prehistoric, or natural resources are being impacted on this site. No further HPO review is required.



City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618

Date Received	Application for Conditional Use		File Number
Property Owner(s) AXXO Holdings LLC- Matthew Peace			Phone 928-699-1245
Mailing Address 6086 E. Barney Drive	City, State, Zip Flagstaff, AZ. 86001	Email axxoproperties@gmail.com	
Applicant(s) Miramonte Acquisitions LLC			Phone 520-615-8900
Mailing Address 102 S. Mikes Pike	City, State, Zip Flagstaff, AZ. 86001	Email chris@kemmerly.com	
Project Representative Charity Lee- Land Acquisition and Development Manager			Phone 928-600-3594
Mailing Address 102 S. Mikes Pike	City, State, Zip Flagstaff, AZ. 86001	Email clee@miramontehomes.com	

Project Name Plaza Way Apartments				
Site Address 1580 S. Plaza Way		Parcel Number(s) 112-24-010B	Subdivision, Tract & Lot Number Woodlands Village Unit 01 Portion of Lot 10	
Zoning District Highway Commercial		Regional Plan Land Use Category Suburban Existing Activity Zone	Flood Zone X	
Property Information:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing City of Flagstaff Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are pre-World War II housing? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Subject property is undeveloped land?			
Surrounding Uses (Res, Com, Ind)	North Ind	South Commercial	East Commercial	West Commercial
Note: Conditional Use Permits are reviewed by City's Planning and Zoning Commission (P&Z), which meets the second and fourth Wednesday of every month . Applications are due by the close of business no fewer than 30 days prior to the meeting. You must provide a complete application form, along with the required number of plans and information as indicated in the attached checklist. Incomplete submittals will not be scheduled.				
Property Owner Signature 		Date 9/7/21	Applicant Signature 	Date 9/7/21
For City Use				
Date Filed		File Number:		
Hearing Date		Pub. / Posting Date(s):	Prop. Owner Notif. Date:	
Fee Receipt Number		Amount	Date	
Action by Planning and Zoning Commission:				
Hearing Date:		Type of Request:		
<input type="checkbox"/> Approved		<input type="checkbox"/> CUP		
<input type="checkbox"/> Denied		<input type="checkbox"/> Extension		
<input type="checkbox"/> Continued				
Staff Assignments	Planning	Engineering	Fire	Public Works/Water Stormwater

Revised: 3/2020



**Neighborhood Meeting and Citizen Outreach Plan
for
Plaza Way Apartments
1580 S. Plaza Way, Flagstaff, AZ. 86001
112-24-010B
PZ-20-00100-02
September 24, 2021**

In connection with our application for a Conditional Use Permit, the applicant, Miramonte Acquisitions, LLC, (Miramonte) has formulated this Neighborhood Meeting and Citizen Outreach Plan and welcomes feedback from the City of Flagstaff (the “City”) regarding any of the details set forth herein. The information herein is intended to comply with relevant portions of the Flagstaff Zoning Code (the “Code”), Section 10-20.30.060.

Introduction

Miramonte Acquisitions, LLC is proposing to develop a 1.77-acre parcel located at 1580 S. Plaza Way, Flagstaff, AZ. 86001, Assessor Parcel Number 112-24-010B. The development will consist of two, three story apartment buildings consisting of 40-units and 52 bedrooms, (24) one-bedroom units, (12) two-bedroom units, and (4) studios. One bedroom and studio units will be approximately 723 SF with two-bedroom units approximately 1050 SF. The two buildings total approximately 40,186 SF.

The property is zoned Highway Commercial (HC). Planned Residential Development is allowed in the HC zone with a conditional use permit. The Planned Residential Development (PRD) mechanism will be used, following standards: T4.N2 Transect Zone.

Neighborhood Meeting

A. Purpose

Miramonte understands the purpose of the required neighborhood meeting to encompass the following goals:

- Encourage Miramonte to allow for informed decision making through the dissemination of proposals and alternatives. *See Code Section 10-20.30.060(B)(1).*
- Ensure that Miramonte pursues early and effective citizen participation in conjunction with its applications, giving it the opportunity to understand and try to mitigate any real or perceived impacts its applications may have on the community. *See Code Section 10-20.30.060(B)(2).*
- Ensure that the citizens and property owners within the community have an adequate opportunity to learn about how Miramonte's applications may affect them and to work with Miramonte to resolve concerns at an early stage of the process. *See Code Section 10-20.30.060(B)(3).*
- Facilitate ongoing communication between Miramonte potentially affected citizens and adjacent property owners, City staff, Planning Commissioners and elected officials throughout the application review process. *See Code Section 10-20.30.060(B)(4).*

B. Applicability and Requirements

Miramonte understands its application will require it to hold a neighborhood meeting and that it is responsible for the costs associated with the meeting. If the Director requires as much, Miramonte will host additional neighborhood meetings. Miramonte would like to schedule the first neighborhood meeting on **November 1st, 2021.**

C. Neighborhood Meeting Plan

Pursuant to Code Section 10-20.30.060(C)(2), Miramonte's plan for how it intends to conduct the neighborhood meeting must be submitted to and approved by the Director in compliance with the review schedule. In anticipation of this requirement, Miramonte includes the following proposed plan for conducting the neighborhood meeting. The neighborhood meeting will be hosted at a suitable gathering location at or near the proposed project site. Miramonte may hold the public meeting(s) at the subject site, if it is determined to be a suitable location for the meeting(s). Miramonte intends to hold in-person meetings, assuming that social distancing requirements caused by the COVID-19 pandemic can be met. If in-person meetings are not feasible as a result of the pandemic, then Miramonte will either delay the meeting until such time as in-person meeting can be suitably held or it will conduct the meeting virtually, if approved by the Director. Again, while Miramonte has determined the location, date and time of the neighborhood meeting, it will include such information in its plan sent to the Director in compliance with the review schedule.

While the Director may determine that additional notices are required, Miramonte will, at a minimum, provide notices, via first class mail and email (if available) to the following parties:

- Property owners, citizens, jurisdictions and public agencies within 600 feet of the proposed project;
- The head of any homeowners association, or community/neighborhood representative within 1,000 feet of the proposed project;
- All persons or groups whose names are on the registry of persons and groups described in Code Section 10-20.30.080(B) who are interested in receiving such notice; and
- If required by the Director, to any party falling within an expanded notification area.

Further, Miramonte will post a sign on the subject property. The sign posted on the subject property will be at least 4' x 4' and will be clearly visible from Woody Mountain Road and will have an attached information tube containing copies of the meeting notice. This sign will be installed at least 10 days prior the neighbor meeting. In addition, each of these notices will set forth the purpose and substance of the proposed application, and the time, date and place of the neighborhood meeting. Miramonte will submit a copy of such notice to the Director.

At the meeting(s), Miramonte will circulate a sign-in sheet (or collection of participant information for a virtual meeting), and will provide an introduction of the proposed development, with an overview of the development's design and goals. After Miramonte provides an overview of the proposed project, Miramonte will engage in a charrette-style interaction, encouraging attendees' written contribution of any comments or concerns about the proposed development, and in particular will solicit attendees' desired community outcomes. For a virtual meeting, Miramonte will invite contribution of comments and concerns to be submitted in advance of the meeting via email and at the meeting via chat features through the online meeting service. Upon collection of the attendees' written responses, Miramonte will discuss some of the comments received and facilitate an open forum discussion with attendees. Miramonte will provide attendees with contact information to permit follow up discussions with any interested participant.

D. Record of Proceedings

Pursuant to Code Section 10-20.30.060(F), after the meeting(s), Miramonte will create a written summary of the meeting(s) and will submit the report to the Director in its next formal submission. The report will include the information specified in Code Section 10-20.30.060(F), including (i) certification, on a form established by the Director, that the meeting was properly noticed and conducted; (ii) dates and locations of all meetings; (iii) a copy of the notices provided, including dates and number of mailings or deliveries; (iv) a copy of the mailing list and a summary of where residents, property owners, and potentially affected citizens receiving notices, newsletters, or other written materials were located; (v) the number and names of people that participated in the process based on the sign-in sheet; and a dated photograph of the sign installed on the subject property, as discussed above.

In addition, Miramonte's report will contain a summary of concerns, issues and problems expressed during the neighborhood meeting(s), including: (i) the substance of the concerns, issues, and

problems raised during the process; (ii) how Miramonte has responded to these comments. Further, Miramonte's responses will be included in an associated report.

Finally, Miramonte will provide a copy of the written summary to all attendees who recorded their name on the sign-in sheet. Miramonte welcomes any feedback from the City regarding its proposed neighborhood meeting plan.

Notice of Public Hearings

A. Planning Commission Public Hearing

In addition to the neighborhood meeting(s), the Director must schedule a hearing with the Planning Commission to provide additional opportunities for interested members of the public to be informed of and provide comments on Miramonte's development proposals. Miramonte will notice the public hearing as required by Code Section 10-20.30.080.

As indicated above, Miramonte understands the need for heightened community involvement throughout the application process and welcomes the City's input on any of the information and plans set forth herein. To the extent not expressly indicated, Miramonte intends to conduct the neighborhood meeting(s) and citizen outreach in accordance with the requirements of the Code.

City of Flagstaff
Materials Management Plan
Plaza Way Apartments
PZ-20-00100-02
1580 S. Plaza Way, Flagstaff, AZ. 86001
APN: 112-24-010B
September 24, 2021

In accordance with the City of Flagstaff requirements, the following is the Materials Management Plan for Plaza Way Apartments. The project is to consist of two buildings with a total of 40 units and is located at 1580 S. Plaza Way.

The Site Plan depicts the locations of the proposed Trash Enclosures. The proposed enclosures will be dual dumpsters, each with one 6-yard dumpster for trash and one 6-yard dumpster for recycling. The trash enclosures shown are per City of Flagstaff Engineering Construction Standards and Public Works Standard Detail PW-50-010. Residents access to the enclosures will be via the pedestrian ways shown on the Site Plan.

Trash and Recycle Volumetric Computations:

Pick-up Frequency-Once per week

Number of residential units=40

City recommended trash capacity per unit= 0.15 c.y.

City recommended recycle capacity per unit=0.15c.y.

City recommended trash capacity for project= 6 c.y

City recommended recycle capacity for project= 6 c.y.

Provided trash capacity for project= 6 c.y.

Provided recycle capacity for project=.6 c.y.

Double Dumpster Enclosures= 1 trash dumpster and 1 recycle dumpster enclosure

Number of 6 c.y. trash dumpsters=1 each

Number of 6 c.y. recycle dumpsters=1 each

Excess trash capacity for move-in/move-out periods=6.9 c.y.

Excess recycle capacity for move-in/move-out periods=6.9 c.y.

Trash and Recycle Services and Education

To increase recycling within the complex, property managers will include materials provided by the City of Flagstaff Sustainability Department to residents on what can and cannot be recycled

at move in. Signage will also be included on the trash bins. Additionally, residents will be provided information on how they can learn more about ways to recycle by contacting the City of Flagstaff Sustainability Program at 928-213-2152 or sustainability@flagstaffaz.gov.

City Contacts:

Solid Waste Section Director, Todd Hansen, 928-213-2135, thansen@flagstaffaz.gov

Zero Waste Coordinator, Dylan Lenzen, 928-213-2158, dlenzen@flagstaffaz.gov

Sustainability Director, Nicole Antonopoulos, 928-213-2149, nantonopoulos@flagstaffaz.gov

Plaza Way Apartments

Vicinity Map

PZ-20-00100-02

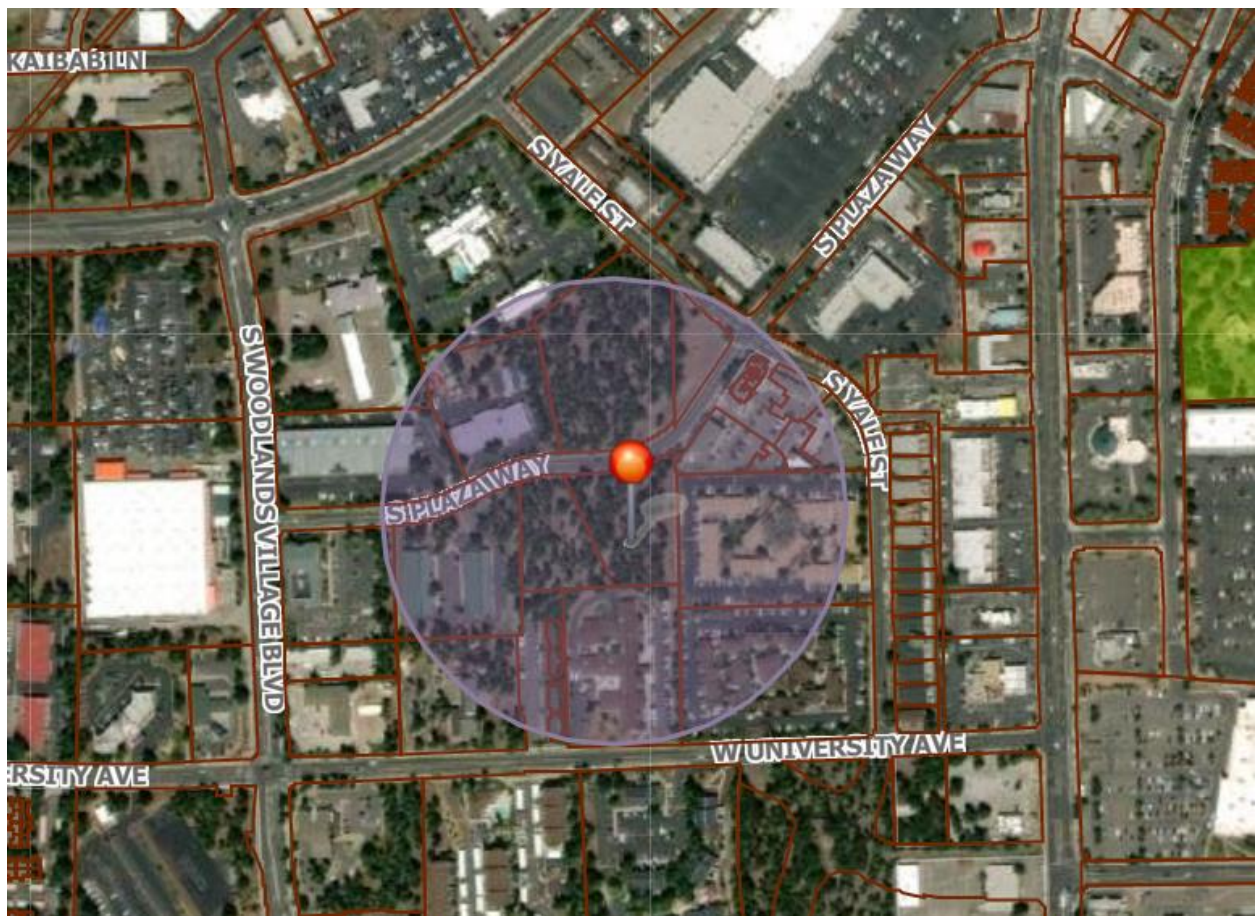
1580 S. Plaza Way, Flagstaff, AZ. 86001

APN: 112-24-010B



1581 S. Plaza Way Apartments

Mailing List Radius



APN	OWNERNAME	OWNERADDRESS_ADDRI	OWNERADDRESS	OWNERADDRESS	OWNERAD	OWNERAC	OWNERADDRESS_COUNTRY
11224016	WOODLAND VILLAGE APARTMENTS	PO BOX 3568	FLAGSTAFF	AZ	86003		
10320077	MOUNTAINS WITHOUT WATER LLC	1501 S YALE ST NO 252	FLAGSTAFF	AZ	86001		
10320014I	MCDONALDS CORPORATION	3111 N CADEN CT NO 170	FLAGSTAFF	AZ	86004		
11224007	PLAZA WAY DEVELOPMENT LLC	5900 N CAMINO PRECIADO	TUCSON	AZ	85718		
10320069I	1503 YALE LLC	1503 S YALE ST NO 200	FLAGSTAFF	AZ	86001		
10320061	NO AZ REG BEHAVIORAL HEALTH AUTHORI	616 N BEAVER ST	FLAGSTAFF	AZ	86001		
11224004I	WOODLANDS PLAZA HOTEL	21172 S FIGUEROA ST	CARSON	CA	90745		
10320075I	YALE PLAZA LLC	417 N AGASSIZ ST NO 28	FLAGSTAFF	AZ	86001		
10320005	ELDEN PROPERTIES LLC	1914 E MOUNTAIN VIEW AVE NO 13	FLAGSTAFF	AZ	86004		
10320011	PARRA-ATAYDE ADRIAN & LAURA	1845 W SHELLIE DR	FLAGSTAFF	AZ	86001		
10320014I	MCDONALDS CORPORATION	3111 N CADEN CT NO 170	FLAGSTAFF	AZ	86004		
11224012I	MONKEY BUSINESS INVESTMENTS LLC	1840 W KAIBAB LN NO 200	FLAGSTAFF	AZ	86001		
10320071	YALE PLAZA OWNERS ASSOCIATION	2050 S WOODLANDS VILLAGE BLVD NO 1	FLAGSTAFF	AZ	86001		
10320063	VESTAR UNIVERSITY PLAZA LLC	2425 E CAMELBACK RD NO 750	PHOENIX	AZ	85016		
10321026	VP CINEMA LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016		
11224017	QWEST CORPORATION	1025 EL DORADO BLVD.	BROOMFIELD	CO	80021		
10320008	BLEEKERS INVESTMENTS LLC	5400 E EMPIRE AVE	FLAGSTAFF	AZ	86004		
10320064I	FLAGSTAFF MEDICAL CENTER INC	PO BOX 1268	FLAGSTAFF	AZ	86002		
11224011I	CHABAD OF FLAGSTAFF INC	2098 W TOBOGGAN CT	FLAGSTAFF	AZ	86001		
10320072	MARTIN REALTY LLC	1501 S YALE ST NO 150	FLAGSTAFF	AZ	86001		
11224021	DOWELL THERESA & ALAN FAMILY TRUST	906 W UNIVERSITY AVE NO B	FLAGSTAFF	AZ	86001		
10320059I	BROOKSIDE LLC	10632 N SCOTTSDALE RD NO B466	SCOTTSDALE	AZ	85254		
10303020	VESTAR UNIVERSITY PLAZA LLC	2425 E CAMELBACK RD NO 750	PHOENIX	AZ	85016		
10320009	PARRA-ATAYDE ADRIAN & LAURA	1845 W SHELLIE DR	FLAGSTAFF	AZ	86001		
10320070	AEC PROPERTIES INC	1150 N SAN FRANCISCO ST	FLAGSTAFF	AZ	86001		
11224019	HAVEN FLAGSTAFF REAL ESTATE LLC	1 WHITECLIFF	LAGUNA NIGUEL	CA	92677		
11224008	GREAT NORTHERN PROPERTIES LLLP	1130 38TH AVE NO B	GREELEY	CO	80634		
11224006I	PLAZA WAY DEVELOPMENT LLC	5900 N CAMINO PRECIADO	TUCSON	AZ	85718		
10320006	ELDEN PROPERTIES LLC	1914 E MOUNTAIN VIEW AVE NO 13	FLAGSTAFF	AZ	86004		
10320065	N AZ REG BEHAVIORAL HEALTH AUTHORIT	616 N BEAVER ST	FLAGSTAFF	AZ	86001		
10320073	MARTIN REALTY LLC	1501 S YALE ST NO 150	FLAGSTAFF	AZ	86001		
11224022	STARK REAL ESTATE HOLDINGS LLC	906 W UNIVERSITY AVE STE 100	FLAGSTAFF	AZ	86001		
11224005	N AZ REG BEHAVIORAL HEALTH AUTHORIT	616 N BEAVER ST	FLAGSTAFF	AZ	86001		

10320076/ MOUNTAINS WITHOUT WATER LLC	1501 S YALE ST NO 252	FLAGSTAFF	AZ	86001
11224010/ SIDLINGER BRUCE D	1650 S PLAZA WAY	FLAGSTAFF	AZ	86001
10320012 STUMP RONALD E & CHRISTAL A	7609 WHITEWOOD WAY	FLAGSTAFF	AZ	86004
11224010/ IAXXO HOLDINGS LLC	824 W BIRCH AVE	FLAGSTAFF	AZ	86001
10321025 VP CINEMA LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
10320007 ELDEN PROPERTIES LLC	1914 E MOUNTAIN VIEW AVE NO 13	FLAGSTAFF	AZ	86004
10320013 PORTER MICHAEL	1776 N SCOTTSDALE RD NO 1931	SCOTTSDALE	AZ	85257
10321006 ELDEN PROPERTIES LLC	1914 E MOUNTAIN VIEW AVE NO 13	FLAGSTAFF	AZ	86004
11224020 DOWELL THERESA & ALAN FAMILY TRUST	906 W UNIVERSITY AVE NO B	FLAGSTAFF	AZ	86001
11224015 BREIT ACG MF STERLING POINTE LLC	PO BOX A3878	CHICAGO	IL	60690
10320059/ UNIVERSITY SQUARE APARTMENTS	PO BOX 3568	FLAGSTAFF	AZ	86003
10320068/ PADARNOS PATRICK E & CHEVON	4140 N ZERMATT WAY	FLAGSTAFF	AZ	86004
10320066 VESTAR UNIVERSITY PLAZA LLC	2425 E CAMELBACK RD NO 750	PHOENIX	AZ	85016
10320010 JAMB PROPERTIES OF NORTHERN ARIZONA/	3191 E COLD SPRINGS TRL	FLAGSTAFF	AZ	86004
11224009 SIDLINGER BRUCE D	1650 S PLAZA WAY	FLAGSTAFF	AZ	86001
10320074 MARTIN REALTY LLC	1501 S YALE ST NO 150	FLAGSTAFF	AZ	86001

Friends of Flagstaff's Future

P.O. Box 23462
Flagstaff, AZ 86002

Charlie Silver

720 West Aspen Avenue
Flagstaff, AZ 86001

Northern Arizona Association of Realtors, Jeffrey Herd

1515 East Cedar Avenue, Suite C-4
Flagstaff, AZ 86004

Maury Herman

Coast and Mountain Properties
3 North Leroux Street
Flagstaff, AZ 86001

Jess McNeely

Coconino County Community Development
2500 N Fort Valley Rd. Bldg 1
Flagstaff, Az 86001-1287

Rachel Bass

3083 W. Easterday Lane
Flagstaff 86001

Mary Beth Dreusike

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Building 1 – 5th Floor, Suite 513
San Diego, CA 92132

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Northern Arizona Building Association

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Tish Bogan-Ozmun

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Flagstaff, AZ 86004

Jay Christelman

Coconino County Community Development
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Steve Finch

Flagstaff Lodging, Restaurant &
Tourism Association
PO Box 30622

Norm Wallen

3716 N Grandview
Flagstaff, Az 86004

Dorenda Coleman

Arizona Army National Guard, AZAA-FMO
5636 E McDowell Rd, M5330
Phoenix, AZ 85008

Michele A. James

Executive Director
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Flagstaff, AZ 86001

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Flagstaff, AZ 86001

Adrian Skabelund

819 West Grand Canyon Ave.
Flagstaff, AZ 86001

Celia Barotz

3354 N Crest Street
Flagstaff, AZ 86001

David Carpenter

495 S River Run Suite 100
Flagstaff, AZ 86001



**Conditional Use Permit
Application Narrative
Plaza Way Apartments
PZ-20-00100-02
1580 S. Plaza Way, Flagstaff, AZ. 86001
APN: 112-24-010B
September 24, 2021**

DEVELOPER/BUYER

Miramonte Acquisitions, LLC ("Miramonte")
2502 E. River Road, Tucson, AZ. 85718
Chris Kemmerly
(520) 615-8900
chris@kemmerly.com

SELLER

AXXO HOLDINGS LLC
6086 E. Barney Drive, Flagstaff, AZ. 86004
Matthew Peace
928-699-1245
axxoproperties@gmail.com

LAND ACQUISITION & DEVELOPMENT

Miramonte Homes
102 S. Mikes Pike, Flagstaff, AZ. 86001
Charity Lee
(928) 600-3594
clee@miramontehomes.com

SELLER

CEDAR ROSE LLC
824 W. Birch Avenue, Flagstaff, AZ. 86001
Ken Ketter
928-853-5339
Tubac24@gmail.com

LEGAL

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123 N San Francisco St. #300
Flagstaff, AZ 86001
Whitney Cunningham
928-774-1478
info@awdlaw.com

LANDSCAPE ARCHITECT

Norris Design
6 East Aspen Avenue, Suite 260
Flagstaff, AZ. 86001
929-233-3021
www.norris-design.com

ENGINEERING

Shephard Wesnitzer, Inc
110 W. Dale Avenue
Flagstaff, Az. 86001
928-773-0354
gcortes@swiaz.com

ARCHITECT

Smith Architecture
1503 S. Yale Street, Suite 200
Flagstaff, AZ. 86001
928-779-5993
www.smith-arc.com



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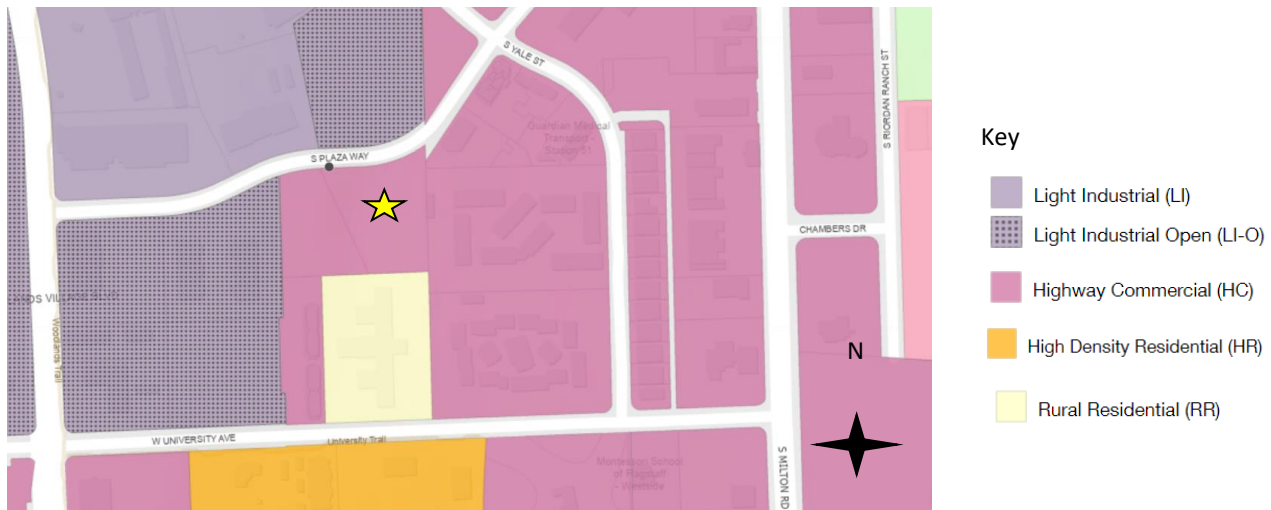
- Conditional Use Application
- Neighborhood Meeting Plan
- Materials Management Plan
- Vicinity Map
- Mailing Radius Map
- Mailing List
- Registry of Interested Persons
Group Mailing List



PROPERTY DETAILS

The Project site is an infill property approximately 1.77 acres and located in the heart of Flagstaff at 1580 S. Plaza Way, in an existing Suburban Activity Center and a Regional Pedestrian Shed. Its central location provides easy access to grocery stores, shopping and restaurants providing opportunities for residents to choose alternative forms of transportation; walking, biking or public transportation. The site is also in Lighting Zone 2 and located within a Resource Protection Overlay Zone.

The property is zoned Highway Commercial (HC) and surrounded by commercial, light industrial and multi-family development. Planned Residential Development (PRD) will be used to develop the site as proposed. A PRD is allowed in the HC zone with a Conditional Use Permit. The Planned Residential Development (PRD) mechanism will be used, following standards: T4.N2 Transect Zone.



PROJECT OVERVIEW

Miramonte Acquisitions LLC (Miramonte) is in escrow to acquire the property at 1580 S. Plaza Way and develop the Plaza Way Apartments, a “for rent” apartment complex to provide additional workforce housing for the city of Flagstaff. Total allowed units per acre is 29 for a total of 49.59 allowable units, total proposed units are 40. There will be two, three story apartment buildings. The two buildings combined will cover approximately 14,740 SF or 19.8% of the gross site area.

There will be a total of 52 bedrooms, (24) one-bedroom units, (12) two-bedroom units, and (4) studios. One bedroom and studio units will be approximately 723 SF with two-bedroom units approximately 1050 SF. The development will be wood framed construction and will feature a variety of different siding: horizontal lap siding, board and batten, and standing seam



metal and malapai stone to provide dimension, shadow patterns and articulation to the façade. A combination of standing seam and asphalt shingle roofing materials are used on multiple types and slopes of roof elements. The buildings will be painted in earth tones to match the surrounding architecture and style of construction in Flagstaff. Every unit will have either a covered porch or balcony.

STANDARDS FOR GRANTING CONDITIONAL USE PERMIT

Per the City of Flagstaff Zoning Code Section 10-20.40.050 the following standards must be met for granting a conditional use permit.

1. *That the conditional use is consistent with the objectives of the Zoning Code and purpose of the zone in which the site is located.*

The property is zoned Highway Commercial (HC). To develop the property as proposed the Planned Residential Development mechanism will be used, following standards: T4.N2 Transect Zone, this is allowed use in the HC zone with a Conditional Use Permit.

2. *That granting the conditional use will not be detrimental to the public health, safety or welfare.*

a. *Property damage or nuisance arising from noise, smoke, odor, dust, vibration, or illumination.*

The development will comply with the City of Flagstaff Engineering Standards and Building Codes during the construction to limit the disturbance of the development for the adjacent property owners. Ongoing, the Project will not be a nuisance related to noise, smoke, odor, dust, vibration, or illumination. The Project will comply with the City of Flagstaff Outdoor Lighting Standards in Section 10-50-70 of the Zoning Code.

b. *Hazard to persons or property from possible explosion, contamination, fire, or flood.*

The is a residential development project that will not have the risk of explosion or contamination. The development will comply with the City of Flagstaff Codes to ensure fire safety during construction. The site is located within Zone X of FEMA Firm Map #04005C6816G, effective September 3, 2010. Zone X is described as an area determined to be outside the .2% annual chance floodplain.

c. *Impact on surrounding area arising from unusual volume or character or traffic.*

The development will be a 40-unit residential rental community with a total of 52 bedroom. Surrounding uses are commercial businesses and multi-family. The property is in an existing suburban activity zone on an infill lot, multi-family residential is a supported use in this zone. The development will not have a significant impact on the surrounding area related to an increase in volume, character or traffic.

3. *That the characteristics of the conditional use as proposed and as it may be conditioned are reasonably compatible with the types of uses permitted in the surrounding area. The Conditional Use Permit shall be issued only when the Planning*



Commission finds that the applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area:

a. Access and traffic; pedestrian, bicycle and vehicular circulation.

Access to the site will be provided by a single full access driveway on S. Plaza Way. The Project is centrally located and within 1/3 mile of grocery stores, shopping and restaurants. Sidewalks are located off S. Plaza Way providing a walkable community. A NAIPTA bus stop is ¼ mile from the site. Miramonte is actively working with Mountain Line to consider opportunities for reduced bus passes for its future residence, to encourage alternative modes of transportation and reduce carbon emissions.

There will be a total of 57 standard vehicle spaces and 3 ADA accessible parking spaces, plus 2 motorcycle spaces and 12 bicycle spaces. The parking requirement of 71 spaces was reduced to 60 total vehicle spaces due to the following.

- (2) motorcycle spaces are provided, providing (1) parking space reduction.
- A transit stop is located within ¼ mile of the Project which provides a 10% reduction in parking.
- (12) bicycle spaces are provided, providing 3 parking space reduction.

b. Adequacy of Site and Open Space Provisions, Including Site Capacity and Resource Protection Standards Where Applicable.

The Project was required to preserve 3,725 SF or 5% of the total area as open space. Plaza Way Apartments is preserving 18,194 SF of open space which will retain the stand of ponderosa pine trees in the west corner of the development, preserving 30% of the natural resources on site, additionally 5,822 SF of the natural resource slope will be protected.

The Open Space provided for this project retains the existing pine stand in its natural state in an increasingly urbanized area of the city. Future residents of the project will be able to use this natural area immediately adjacent their home for passive recreation in the same way city residents use pine stands off-trail at Buffalo Park, or along the FUTS trail near NAU, or along Sinclair Wash. In the absence of increased hardscape, traditional amenities and general disturbance to a natural area, the character of this pine stand (which is iconic to Flagstaff) will be preserved without reducing the spaces affordability for recreational opportunities. These opportunities include but are not limited to hammocking, slacklining, picnicking, and nature play for children.

c. Noise, light, visual, and other pollutants.

The Project will comply with the City of Flagstaff Engineering Standards and Building Codes during the construction activities to limit the disturbance of the development for the



adjacent property owners. The project will comply with the City of Flagstaff Outdoor Lighting Standards in Section 10-50-70 of the Zoning Code.

d. Proposed style and siting of structure(s), and relationship to the surrounding neighborhood.

The surrounding uses are commercial and multi-family residential. The development of a 40- unit apartment complex as a Planned Residential Development is consistent with the surrounding uses and is an approved use in the Highway Commercial Zone with a Conditional Use Permit.

Special design considerations have been applied regarding the architecture of the buildings to ensure compatibility with the surrounding properties and elements. The overall height and scale of the buildings will be proportionate to the relative slope and tall Ponderosa Pine Stands to the west.

Appropriate building massing has been provided with multiple projections that will be detailed and visually supported by wood corbels and beam ends. Intermittent recesses within the wall plane will be created by private balconies and building elements providing visual interest to all sides of the buildings. Multiple roof types and slopes have been utilized to enhance the building form while complementing the existing vernacular of adjacent mountain, residential, modern & commercial types of architecture.

Detailed fenestration placement allows for a unified composition in proportion to the building elevations. Apartment unit window assemblies will be recessed from the main facade to provide contrast, depth and shadows to the openings. Storefront assemblies will help define the main pedestrian entries and frontage types for each building.

Materials, textures & colors have been selected to provide an aesthetic appeal to the foundations, building facades and roof elements. Split face block retaining walls will be utilized to terrace the existing while transitioning to help “ground” the eastern building stem walls. The masonry units and colors will blend and relate to many of the surrounding buildings utilizing the same material. Natural malapai stone veneer will be used to skin the building at the pedestrian level which is another reoccurring material used in surrounding and centers. Multiple siding profiles have been defined including, standing seam metal, horizontal lap and board and batten to provide dimension, shadow patterns and articulation to the facade. A combination of standing seam and asphalt shingle roofing materials are used on multiple types and slopes of roof elements. Natural, earth tone materials and colors have been selected to blend well with the surrounding resources. Grey and natural masonry materials at the ground level will provide a connection to the exposed basalt rocks slopes and outcroppings. Subtle, yet heavy toned greens and browns will complement the natural surrounding ponderosa pines and new landscaping elements.

Overall, the Plaza Way Apartment complex has been designed to accommodate the natural and existing surroundings while catering to a new, residential atmosphere that will



support the local and immediate businesses and activity centers while enhancing the pedestrian connection to the area.

e. Landscaping and screening provisions.

Native drought tolerant plants will be planted to enhance the development and provide passive rainwater harvesting. Plants have been selected to maintain an element of natural aesthetics without an abundance of ornamental species, like neighboring commercial and residential developments. Landscape beds are subdued to blend with the neighborhood character but designed to provide seasonal variation. The goal of this design of the streetscape and street buffer is to highlight the area as a pedestrian-friendly space without breaking from the neighborhood character. Additionally, the ponderosa pine tree stand in the west section of the property will create an added buffer between the existing commercial development and the Project.

f. Impact on public utilities.

Currently, all public water infrastructure exists near the property. The Project will provide a new 8" dead end connection to the 8" water main located in South Plaza Way. Domestic, fire and irrigation services will branch off the new dead end main. The Project will connect new 6" sewer services to the 8" sewer main located in the 16' utility easement on the eastern boundary of the site.

The City required detention/LID for any commercial development greater than ¼ acre in size. Due to the site being currently undeveloped, the project will need to attenuate increases in peak flows caused by the new improvements for the 10 and 100-year events through detention facilities. LID policies will require 1" of ROCV to be retained on site. The project will use underground retention facilities to meet these requirements.

g. Signage and outdoor lighting.

The Project will comply with the City of Flagstaff Outdoor Lighting Standards in Section 10-50-70 of the Zoning Code for Light Zone 2. Any signage installed will comply with Section 10-20.40.120 of the Zoning Code and obtain the necessary permits required.

h. Dedication and development of streets adjoining the property.

The Project is located off S. Plaza Way an improved city street. A portion of the property frontage will be dedicated as additional right-of-way to encompass the existing sidewalk that is currently partially encroaching onto the parcel.

i. Impacts on historical, prehistoric, or natural resources.

The site has been reviewed by the City of Flagstaff's Historic Preservation Officer. No historical, prehistoric, or natural resources are being impacted on this site. No further HPO review is required.



City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618

Date Received	Application for Conditional Use		File Number
Property Owner(s) AXXO Holdings LLC- Matthew Peace		Phone 928-699-1245	
Mailing Address 6086 E. Barney Drive	City, State, Zip Flagstaff, AZ. 86001	Email axxoproperties@gmail.com	
Applicant(s) Miramonte Acquisitions LLC		Phone 520-615-8900	
Mailing Address 102 S. Mikes Pike	City, State, Zip Flagstaff, AZ. 86001	Email chris@kemmerly.com	
Project Representative Charity Lee- Land Acquisition and Development Manager		Phone 928-600-3594	
Mailing Address 102 S. Mikes Pike	City, State, Zip Flagstaff, AZ. 86001	Email clee@miramontehomes.com	

Project Name Plaza Way Apartments				
Site Address 1580 S. Plaza Way		Parcel Number(s) 112-24-010B	Subdivision, Tract & Lot Number Woodlands Village Unit 01 Portion of Lot 10	
Zoning District Highway Commercial		Regional Plan Land Use Category Suburban Existing Activity Zone	Flood Zone X	
Property Information:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing City of Flagstaff Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are pre-World War II housing? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Subject property is undeveloped land?		
Surrounding Uses (Res, Com, Ind)	North Ind	South Commercial	East Commercial	West Commercial
Note: Conditional Use Permits are reviewed by City's Planning and Zoning Commission (P&Z), which meets the second and fourth Wednesday of every month . Applications are due by the close of business no fewer than 30 days prior to the meeting. You must provide a complete application form, along with the required number of plans and information as indicated in the attached checklist. Incomplete submittals will not be scheduled.				
Property Owner Signature 		Date 9/7/21	Applicant Signature 	Date 9/7/21
For City Use				
Date Filed		File Number:		
Hearing Date		Pub. / Posting Date(s):	Prop. Owner Notif. Date:	
Fee Receipt Number		Amount	Date	
Action by Planning and Zoning Commission:				
Hearing Date:		Type of Request:		
<input type="checkbox"/> Approved		<input type="checkbox"/> CUP		
<input type="checkbox"/> Denied		<input type="checkbox"/> Extension		
<input type="checkbox"/> Continued				
Staff Assignments	Planning	Engineering	Fire	Public Works/Water Stormwater



**Neighborhood Meeting and Citizen Outreach Plan
for
Plaza Way Apartments
1580 S. Plaza Way, Flagstaff, AZ. 86001
112-24-010B
PZ-20-00100-02
September 24, 2021**

In connection with our application for a Conditional Use Permit, the applicant, Miramonte Acquisitions, LLC, (Miramonte) has formulated this Neighborhood Meeting and Citizen Outreach Plan and welcomes feedback from the City of Flagstaff (the “City”) regarding any of the details set forth herein. The information herein is intended to comply with relevant portions of the Flagstaff Zoning Code (the “Code”), Section 10-20.30.060.

Introduction

Miramonte Acquisitions, LLC is proposing to develop a 1.77-acre parcel located at 1580 S. Plaza Way, Flagstaff, AZ. 86001, Assessor Parcel Number 112-24-010B. The development will consist of two, three story apartment buildings consisting of 40-units and 52 bedrooms, (24) one-bedroom units, (12) two-bedroom units, and (4) studios. One bedroom and studio units will be approximately 723 SF with two-bedroom units approximately 1050 SF. The two buildings total approximately 40,186 SF.

The property is zoned Highway Commercial (HC). Planned Residential Development is allowed in the HC zone with a conditional use permit. The Planned Residential Development (PRD) mechanism will be used, following standards: T4.N2 Transect Zone.

Neighborhood Meeting

A. Purpose

Miramonte understands the purpose of the required neighborhood meeting to encompass the following goals:

- Encourage Miramonte to allow for informed decision making through the dissemination of proposals and alternatives. *See Code Section 10-20.30.060(B)(1).*
- Ensure that Miramonte pursues early and effective citizen participation in conjunction with its applications, giving it the opportunity to understand and try to mitigate any real or perceived impacts its applications may have on the community. *See Code Section 10-20.30.060(B)(2).*
- Ensure that the citizens and property owners within the community have an adequate opportunity to learn about how Miramonte's applications may affect them and to work with Miramonte to resolve concerns at an early stage of the process. *See Code Section 10-20.30.060(B)(3).*
- Facilitate ongoing communication between Miramonte potentially affected citizens and adjacent property owners, City staff, Planning Commissioners and elected officials throughout the application review process. *See Code Section 10-20.30.060(B)(4).*

B. Applicability and Requirements

Miramonte understands its application will require it to hold a neighborhood meeting and that it is responsible for the costs associated with the meeting. If the Director requires as much, Miramonte will host additional neighborhood meetings. Miramonte would like to schedule the first neighborhood meeting on **November 1st, 2021.**

C. Neighborhood Meeting Plan

Pursuant to Code Section 10-20.30.060(C)(2), Miramonte's plan for how it intends to conduct the neighborhood meeting must be submitted to and approved by the Director in compliance with the review schedule. In anticipation of this requirement, Miramonte includes the following proposed plan for conducting the neighborhood meeting. The neighborhood meeting will be hosted at a suitable gathering location at or near the proposed project site. Miramonte may hold the public meeting(s) at the subject site, if it is determined to be a suitable location for the meeting(s). Miramonte intends to hold in-person meetings, assuming that social distancing requirements caused by the COVID-19 pandemic can be met. If in-person meetings are not feasible as a result of the pandemic, then Miramonte will either delay the meeting until such time as in-person meeting can be suitably held or it will conduct the meeting virtually, if approved by the Director. Again, while Miramonte has determined the location, date and time of the neighborhood meeting, it will include such information in its plan sent to the Director in compliance with the review schedule.

While the Director may determine that additional notices are required, Miramonte will, at a minimum, provide notices, via first class mail and email (if available) to the following parties:

- Property owners, citizens, jurisdictions and public agencies within 600 feet of the proposed project;
- The head of any homeowners association, or community/neighborhood representative within 1,000 feet of the proposed project;
- All persons or groups whose names are on the registry of persons and groups described in Code Section 10-20.30.080(B) who are interested in receiving such notice; and
- If required by the Director, to any party falling within an expanded notification area.

Further, Miramonte will post a sign on the subject property. The sign posted on the subject property will be at least 4' x 4' and will be clearly visible from Woody Mountain Road and will have an attached information tube containing copies of the meeting notice. This sign will be installed at least 10 days prior the neighbor meeting. In addition, each of these notices will set forth the purpose and substance of the proposed application, and the time, date and place of the neighborhood meeting. Miramonte will submit a copy of such notice to the Director.

At the meeting(s), Miramonte will circulate a sign-in sheet (or collection of participant information for a virtual meeting), and will provide an introduction of the proposed development, with an overview of the development's design and goals. After Miramonte provides an overview of the proposed project, Miramonte will engage in a charrette-style interaction, encouraging attendees' written contribution of any comments or concerns about the proposed development, and in particular will solicit attendees' desired community outcomes. For a virtual meeting, Miramonte will invite contribution of comments and concerns to be submitted in advance of the meeting via email and at the meeting via chat features through the online meeting service. Upon collection of the attendees' written responses, Miramonte will discuss some of the comments received and facilitate an open forum discussion with attendees. Miramonte will provide attendees with contact information to permit follow up discussions with any interested participant.

D. Record of Proceedings

Pursuant to Code Section 10-20.30.060(F), after the meeting(s), Miramonte will create a written summary of the meeting(s) and will submit the report to the Director in its next formal submission. The report will include the information specified in Code Section 10-20.30.060(F), including (i) certification, on a form established by the Director, that the meeting was properly noticed and conducted; (ii) dates and locations of all meetings; (iii) a copy of the notices provided, including dates and number of mailings or deliveries; (iv) a copy of the mailing list and a summary of where residents, property owners, and potentially affected citizens receiving notices, newsletters, or other written materials were located; (v) the number and names of people that participated in the process based on the sign-in sheet; and a dated photograph of the sign installed on the subject property, as discussed above.

In addition, Miramonte's report will contain a summary of concerns, issues and problems expressed during the neighborhood meeting(s), including: (i) the substance of the concerns, issues, and

problems raised during the process; (ii) how Miramonte has responded to these comments. Further, Miramonte's responses will be included in an associated report.

Finally, Miramonte will provide a copy of the written summary to all attendees who recorded their name on the sign-in sheet. Miramonte welcomes any feedback from the City regarding its proposed neighborhood meeting plan.

Notice of Public Hearings

A. Planning Commission Public Hearing

In addition to the neighborhood meeting(s), the Director must schedule a hearing with the Planning Commission to provide additional opportunities for interested members of the public to be informed of and provide comments on Miramonte's development proposals. Miramonte will notice the public hearing as required by Code Section 10-20.30.080.

As indicated above, Miramonte understands the need for heightened community involvement throughout the application process and welcomes the City's input on any of the information and plans set forth herein. To the extent not expressly indicated, Miramonte intends to conduct the neighborhood meeting(s) and citizen outreach in accordance with the requirements of the Code.

City of Flagstaff
Materials Management Plan
Plaza Way Apartments
PZ-20-00100-02
1580 S. Plaza Way, Flagstaff, AZ. 86001
APN: 112-24-010B
September 24, 2021

In accordance with the City of Flagstaff requirements, the following is the Materials Management Plan for Plaza Way Apartments. The project is to consist of two buildings with a total of 40 units and is located at 1580 S. Plaza Way.

The Site Plan depicts the locations of the proposed Trash Enclosures. The proposed enclosures will be dual dumpsters, each with one 6-yard dumpster for trash and one 6-yard dumpster for recycling. The trash enclosures shown are per City of Flagstaff Engineering Construction Standards and Public Works Standard Detail PW-50-010. Residents access to the enclosures will be via the pedestrian ways shown on the Site Plan.

Trash and Recycle Volumetric Computations:

Pick-up Frequency-Once per week

Number of residential units=40

City recommended trash capacity per unit= 0.15 c.y.

City recommended recycle capacity per unit=0.15c.y.

City recommended trash capacity for project= 6 c.y

City recommended recycle capacity for project= 6 c.y.

Provided trash capacity for project= 6 c.y.

Provided recycle capacity for project=.6 c.y.

Double Dumpster Enclosures= 1 trash dumpster and 1 recycle dumpster enclosure

Number of 6 c.y. trash dumpsters=1 each

Number of 6 c.y. recycle dumpsters=1 each

Excess trash capacity for move-in/move-out periods=6.9 c.y.

Excess recycle capacity for move-in/move-out periods=6.9 c.y.

Trash and Recycle Services and Education

To increase recycling within the complex, property managers will include materials provided by the City of Flagstaff Sustainability Department to residents on what can and cannot be recycled

at move in. Signage will also be included on the trash bins. Additionally, residents will be provided information on how they can learn more about ways to recycle by contacting the City of Flagstaff Sustainability Program at 928-213-2152 or sustainability@flagstaffaz.gov.

City Contacts:

Solid Waste Section Director, Todd Hansen, 928-213-2135, thansen@flagstaffaz.gov

Zero Waste Coordinator, Dylan Lenzen, 928-213-2158, dlenzen@flagstaffaz.gov

Sustainability Director, Nicole Antonopoulos, 928-213-2149, nantonopoulos@flagstaffaz.gov

Plaza Way Apartments

Vicinity Map

PZ-20-00100-02

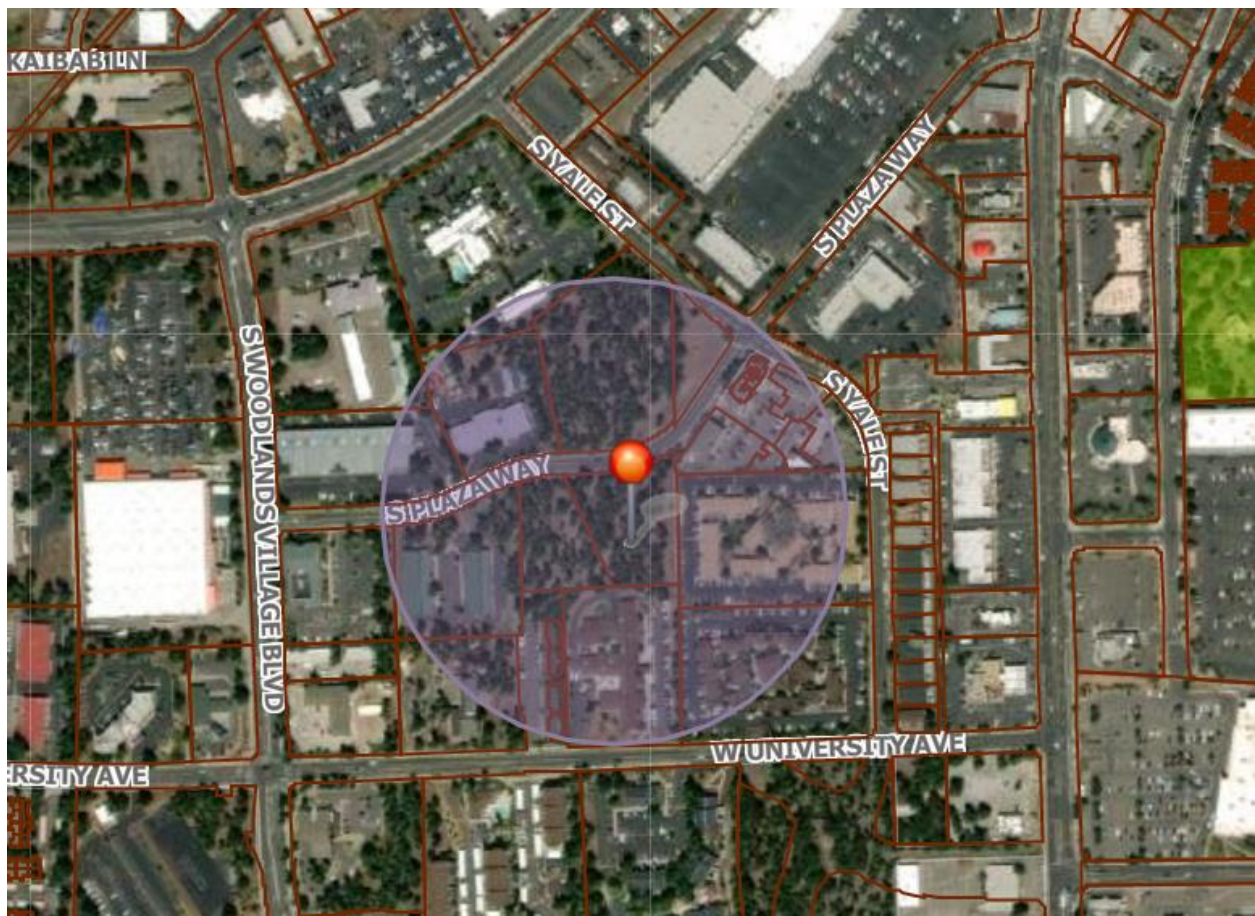
1580 S. Plaza Way, Flagstaff, AZ. 86001

APN: 112-24-010B



1581 S. Plaza Way Apartments

Mailing List Radius



APN	OWNERNAME	OWNERADDRESS_ADDRI	OWNERADDRESS	OWNERADDRESS	OWNERAD	OWNERAC	OWNERADDRESS_COUNTRY
11224016	WOODLAND VILLAGE APARTMENTS	PO BOX 3568	FLAGSTAFF	AZ	86003		
10320077	MOUNTAINS WITHOUT WATER LLC	1501 S YALE ST NO 252	FLAGSTAFF	AZ	86001		
10320014I	MCDONALDS CORPORATION	3111 N CADEN CT NO 170	FLAGSTAFF	AZ	86004		
11224007	PLAZA WAY DEVELOPMENT LLC	5900 N CAMINO PRECIADO	TUCSON	AZ	85718		
10320069I	1503 YALE LLC	1503 S YALE ST NO 200	FLAGSTAFF	AZ	86001		
10320061	NO AZ REG BEHAVIORAL HEALTH AUTHORI	616 N BEAVER ST	FLAGSTAFF	AZ	86001		
11224004I	WOODLANDS PLAZA HOTEL	21172 S FIGUEROA ST	CARSON	CA	90745		
10320075I	YALE PLAZA LLC	417 N AGASSIZ ST NO 28	FLAGSTAFF	AZ	86001		
10320005	ELDEN PROPERTIES LLC	1914 E MOUNTAIN VIEW AVE NO 13	FLAGSTAFF	AZ	86004		
10320011	PARRA-ATAYDE ADRIAN & LAURA	1845 W SHELLIE DR	FLAGSTAFF	AZ	86001		
10320014I	MCDONALDS CORPORATION	3111 N CADEN CT NO 170	FLAGSTAFF	AZ	86004		
11224012I	MONKEY BUSINESS INVESTMENTS LLC	1840 W KAIBAB LN NO 200	FLAGSTAFF	AZ	86001		
10320071	YALE PLAZA OWNERS ASSOCIATION	2050 S WOODLANDS VILLAGE BLVD NO 1	FLAGSTAFF	AZ	86001		
10320063	VESTAR UNIVERSITY PLAZA LLC	2425 E CAMELBACK RD NO 750	PHOENIX	AZ	85016		
10321026	VP CINEMA LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016		
11224017	QWEST CORPORATION	1025 EL DORADO BLVD.	BROOMFIELD	CO	80021		
10320008	BLEEKERS INVESTMENTS LLC	5400 E EMPIRE AVE	FLAGSTAFF	AZ	86004		
10320064I	FLAGSTAFF MEDICAL CENTER INC	PO BOX 1268	FLAGSTAFF	AZ	86002		
11224011I	CHABAD OF FLAGSTAFF INC	2098 W TOBOGGAN CT	FLAGSTAFF	AZ	86001		
10320072	MARTIN REALTY LLC	1501 S YALE ST NO 150	FLAGSTAFF	AZ	86001		
11224021	DOWELL THERESA & ALAN FAMILY TRUST	906 W UNIVERSITY AVE NO B	FLAGSTAFF	AZ	86001		
10320059I	BROOKSIDE LLC	10632 N SCOTTSDALE RD NO B466	SCOTTSDALE	AZ	85254		
10303020	VESTAR UNIVERSITY PLAZA LLC	2425 E CAMELBACK RD NO 750	PHOENIX	AZ	85016		
10320009	PARRA-ATAYDE ADRIAN & LAURA	1845 W SHELLIE DR	FLAGSTAFF	AZ	86001		
10320070	AEC PROPERTIES INC	1150 N SAN FRANCISCO ST	FLAGSTAFF	AZ	86001		
11224019	HAVEN FLAGSTAFF REAL ESTATE LLC	1 WHITECLIFF	LAGUNA NIGUEL	CA	92677		
11224008	GREAT NORTHERN PROPERTIES LLLP	1130 38TH AVE NO B	GREELEY	CO	80634		
11224006I	PLAZA WAY DEVELOPMENT LLC	5900 N CAMINO PRECIADO	TUCSON	AZ	85718		
10320006	ELDEN PROPERTIES LLC	1914 E MOUNTAIN VIEW AVE NO 13	FLAGSTAFF	AZ	86004		
10320065	N AZ REG BEHAVIORAL HEALTH AUTHORIT	616 N BEAVER ST	FLAGSTAFF	AZ	86001		
10320073	MARTIN REALTY LLC	1501 S YALE ST NO 150	FLAGSTAFF	AZ	86001		
11224022	STARK REAL ESTATE HOLDINGS LLC	906 W UNIVERSITY AVE STE 100	FLAGSTAFF	AZ	86001		
11224005	N AZ REG BEHAVIORAL HEALTH AUTHORIT	616 N BEAVER ST	FLAGSTAFF	AZ	86001		

10320076/	MOUNTAINS WITHOUT WATER LLC	1501 S YALE ST NO 252	FLAGSTAFF	AZ	86001
11224010/	SIDLINGER BRUCE D	1650 S PLAZA WAY	FLAGSTAFF	AZ	86001
10320012	STUMP RONALD E & CHRISTAL A	7609 WHITEWOOD WAY	FLAGSTAFF	AZ	86004
11224010/	AXXO HOLDINGS LLC	824 W BIRCH AVE	FLAGSTAFF	AZ	86001
10321025	VP CINEMA LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
10320007	ELDEN PROPERTIES LLC	1914 E MOUNTAIN VIEW AVE NO 13	FLAGSTAFF	AZ	86004
10320013	PORTER MICHAEL	1776 N SCOTTSDALE RD NO 1931	SCOTTSDALE	AZ	85257
10321006	ELDEN PROPERTIES LLC	1914 E MOUNTAIN VIEW AVE NO 13	FLAGSTAFF	AZ	86004
11224020	DOWELL THERESA & ALAN FAMILY TRUST	906 W UNIVERSITY AVE NO B	FLAGSTAFF	AZ	86001
11224015	BREIT ACG MF STERLING POINTE LLC	PO BOX A3878	CHICAGO	IL	60690
10320059/	UNIVERSITY SQUARE APARTMENTS	PO BOX 3568	FLAGSTAFF	AZ	86003
10320068/	PADRINOS PATRICK E & CHEVON	4140 N ZERMATT WAY	FLAGSTAFF	AZ	86004
10320066	VESTAR UNIVERSITY PLAZA LLC	2425 E CAMELBACK RD NO 750	PHOENIX	AZ	85016
10320010	JAMB PROPERTIES OF NORTHERN ARIZONA/	3191 E COLD SPRINGS TRL	FLAGSTAFF	AZ	86004
11224009	SIDLINGER BRUCE D	1650 S PLAZA WAY	FLAGSTAFF	AZ	86001
10320074	MARTIN REALTY LLC	1501 S YALE ST NO 150	FLAGSTAFF	AZ	86001

Friends of Flagstaff's Future

P.O. Box 23462
Flagstaff, AZ 86002

Charlie Silver

720 West Aspen Avenue
Flagstaff, AZ 86001

Northern Arizona Association of Realtors, Jeffrey Herd

1515 East Cedar Avenue, Suite C-4
Flagstaff, AZ 86004

Maury Herman

Coast and Mountain Properties
3 North Leroux Street
Flagstaff, AZ 86001

Jess McNeely

Coconino County Community Development
2500 N Fort Valley Rd. Bldg 1
Flagstaff, Az 86001-1287

Rachel Bass

3083 W. Easterday Lane
Flagstaff 86001

Mary Beth Dreusike

US Navy, Intergovernmental Branch
850 Pacific Highway
Building 1 – 5th Floor, Suite 513
San Diego, CA 92132

Nat White

1120 North Rockridge Road
Flagstaff, AZ 86001

Northern Arizona Building Association

1500 East Cedar Avenue, Suite 86
Flagstaff, AZ 86004

Tish Bogan-Ozmun

5271 Mt. Pleasant Drive
Flagstaff, AZ 86004

Jay Christelman

Coconino County Community Development
2500 N Fort Valley Rd. Bldg 1
Flagstaff, Az 86001-1287

Steve Finch

Flagstaff Lodging, Restaurant &
Tourism Association
PO Box 30622

Norm Wallen

3716 N Grandview
Flagstaff, Az 86004

Dorenda Coleman

Arizona Army National Guard, AZAA-FMO
5636 E McDowell Rd, M5330
Phoenix, AZ 85008

Michele A. James

Executive Director
Friends of Flagstaff's Future
P.O. Box 23462
Flagstaff, Arizona 86002

Betsy McKellar

330 S Ash Lane
Flagstaff, AZ 86004

Marilyn Weissman

1055 East Apple Way
Flagstaff, AZ 86001

Tyler Denham

800 W Forest Meadows St, Apt 119
Flagstaff, AZ 86001

Adrian Skabelund

819 West Grand Canyon Ave.
Flagstaff, AZ 86001

Celia Barotz

3354 N Crest Street
Flagstaff, AZ 86001

David Carpenter

495 S River Run Suite 100
Flagstaff, AZ 86001



Public Participation Report
Project: Plaza Way Apartments
Project Number: PZ-20-00100-02

11/10/2021

November 1, 2021, a neighborhood meeting was held via zoom to notify owners and surrounding residents of the request for a Conditional Use Permit to develop two, three story buildings providing 40 units using the Planned Residential Development following standard T4.N2 Transect Zone in the Highway Commercial Zone.

In accordance with Section 10-20.30.070 of the Zoning Code a sign was placed on the property on October 18th and neighborhood meeting notifications were mailed first class on that date to owners within 600' of the property to inform them of the neighborhood meeting that would be held on November 1st.

Miramonte received one attendee from the mailouts, Bruce Sidlinger. The additional attendees were all part of the Project team. Mr. Sidlinger expressed concerns related to trespassers on his open space and was worried that residents may park at his commercial site at 1650 S. Plaza Way. The Project has a total of 60 parking spaces, plus 2 motorcycle spaces and 12 bicycle spaces. There are a total of 52 bedrooms, each will have an available parking space with 10 spaces to spare. However, to address Mr. Sidlinger's concerns Miramonte will do the following.

- Install a fence on the west property boundary of parcel 112-24-010B.
- Inform the tenants to not park on adjacent properties.

Miramonte and/or its property manager will be unable to monitor and enforce parking violations. It will be the responsibility of the adjacent property owner(s) to install signage and enforce any violations.

No further neighborhood meetings were required by the City of Flagstaff due to the lack of attendees.

Call Log:

10/29/21 Charity Lee spoke to Bruce Sidlinger property owner at 1650 S. Plaza Way, APN's 112-24-009 and 112-24-010A. Bruce owns two properties that are adjacent and to the west of the Plaza Way Apartments. Parcel 112-24-010A is a vacant parcel that abuts the Project. Bruce had concerns that the residents of the Plaza Way Apartments would not be able to differentiate between the open space at the apartment complex and his property and requested that Miramonte install a fence on the property boundary to prevent the residents from trespassing. Bruce also had concerns that the residents may park at his commercial site at 1650 S. Plaza Way, APN 112-24-009. Bruce had asked if Miramonte would install signage and/or install an electric parking gate on his property to prevent trespassers. Miramonte responded, that additional language would be included in our lease agreements to deter residents from parking on any adjacent property as it would be trespassing. Bruce was fine with adding language in our leases to that affect and was willing to work with Miramonte in the event he saw residents from Plaza Way parking on his lot he would contact the property manager to address the issue.

11/5/2021 Charity Lee spoke to Bruce Sidlinger. Miramonte would not be able to add language in the lease that would create a violation for the tenant if they were to park on an adjacent property owner's property. Bruce asked if we could possibly include language in the rules and regulations.

11/10/21 Charity Lee spoke to Bruce Sidlinger. Miramonte can include general language in the rules that discourage parking on adjacent properties but would be unable to enforce it. If trespassing is a concern, signage should be installed onsite by the property owner.

Enclosures:

- Picture of Sign Installed
- Neighborhood Meeting Certification
- Affidavit of Sign Posting
- Affidavit of Notifications to Affected Property Owners
- Neighborhood Notification
- Neighborhood Mailing List
- Registry of Interested Persons Mailing List
- Neighborhood Meeting Plan

3:50

LTE



October 18
1:50 PM

Edit

LIVE



Neighborhood Meeting Certification

I, Charity Lee, the authorized representative of Miramonte Homes, do hereby attest that the neighborhood meeting for Project No. PZ- 20-00100-02 was noticed and conducted in compliance with Section 10-20.30.060 of the City of Flagstaff Zoning Code and included the following:

- ☒ A Citizen Participation Plan, prepared in accordance with Section 10-20.30.030.C of the City of Flagstaff Zoning Code, was submitted to the City of Flagstaff on 8-24-2021 and accepted by the City of Flagstaff on 10-1-2021
- ☒ A list of property owners within 600 feet of the subject property boundaries was prepared and submitted to the City of Flagstaff as part of the Citizen Participation Plan.
- ☒ Notices of the neighborhood meeting were sent via first class mail on 10-18-2021 to all property owners within 600' of the Project to all tenants residing on the subject property, to all Homeowners Associations (HOAs) within 1,000 feet of the subject property, and all persons or groups whose names are listed on the Registry of Persons and Groups.
- ☒ A total of 1 neighborhood meeting notification sign(s) were installed on 10-18-2021 at the following location(s):
 - ☐ on the subject property, parcel 112-24-010B
 - ☐ _____
 - ☐ _____
- ☒ A written summary of the meetings, known as a Citizen Participation Report, was submitted to the City of Flagstaff on 11/10/2021
- ☒ Copies of the Citizen Participation Report were mailed on 11-12/2021 to all persons who recorded their names on the neighborhood meeting sign-in sheet.

Authorized Representative of the Applicant:

Charity Lee

Signature:



Affidavit of Sign Posting

Case Number: PZ-20-00100-02
Project Name: Plaza Way Apartments
Applicant Name: Miramonte Acquisitions LLC
Location: 1580 S. Plaza Way, Flagstaff, AZ. 86001

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the **applicant** for public hearings in the City of Flagstaff shall post signs as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to erect and to maintain the sign on the subject property 15 days prior to the hearing and to update the hearing information on the sign until final disposition of the case. It shall also be the responsibility of the applicant to remove the sign within seven (7) days after the final disposition of the case.**

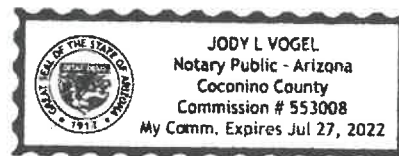
I confirm that the site has been posted as detailed in Section 10-20.30.080 of the Zoning Code as well as the Public Hearing Notice Sign Specifications included in this application for the case above and the site was posted at least fifteen (15) days prior to the public hearing.

See attached date stamped photo exhibit of posted signs.

Applicant's/Representative's Signature: Charity Lee

SUBSCRIBED AND SWORN before me this 5th day of November, 2021 by:

Jody L. Vogel & Lacombe
Notary Public



My Commission Expires:

July 27, 2022

Affidavit of Notifications to Affected Property Owners

Case Number: PZ-20-00100-02

Project Name: Plaza Way Apartments

Applicant Name: Miramonte Acquisitions LLC

Location: 1580 S. Plaza Way, Flagstaff, AZ. 86001

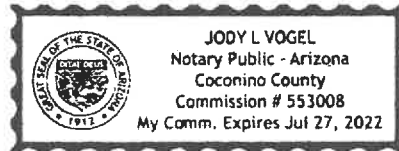
In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the **applicant** for public hearings in the City of Flagstaff shall notify affected property owners as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to establish a list of the names and addresses of persons who require notification of a public hearing as established in sections 10-20.30.60.(A).3, 10-20.30.60.(B), and 10-20.30.60.(C) of the Zoning Code, and mail a notice of required public hearing via first class mail to each of the persons on the list referenced above no later than 15 days prior to the public hearing date. It shall also be the responsibility of the applicant to submit a notarized copy of the mailing list to the Director prior to the fifteenth day before the public hearing date.**

I confirm that the public hearing notifications were mailed as detailed in Section 10-20.30.080 of the City of Flagstaff Zoning Code at least fifteen (15) days prior to the public hearing.

Applicant's/Representative's Signature: Charity Lee

SUBSCRIBED AND SWORN before me this 5th day of November, 2021 by:

Jody L. Vogel & Son
Notary Public



My Commission Expires:

July 27, 2022



October 18, 2021

Via First Class Mail

RE: Invitation for Citizen Participation Neighborhood Meeting
For: Conditional Use Permit
Developer: Miramonte Holdings
Owner: AX XO Holdings LLC, and Cedar Rose LLC
Project Name: Plaza Way Apartments
Project No. PZ-20-00100-02
Property Address: 1580 S. Plaza Way, Flagstaff, AZ. 86001
A.P.N.: 112-24-010B

Dear Neighbors and Interested Parties:

We are pleased to invite you to a virtual Neighborhood Meeting, as an opportunity for you to provide your comments related to the request for a Conditional Use Permit for the property at 1580 S. Plaza Way.

Miramonte proposes to develop the Plaza Way Apartments, a 40-unit multi-family residential rental community, providing additional housing for the city of Flagstaff. A Planned Residential Community is allowed in the Highway Commercial Zone with a Conditional Use Permit.

At the meeting, we will share additional documents and information about the project. The meeting structure will include an introduction of the project, optional written contribution from attendees, discussion of attendees' written contribution, and an opportunity for discussion with the various project team members.

The meeting will be held virtually via zoom

**Monday, November 1st, 2021
at 5:00PM**

To attend the meeting, login to the zoom link.

<https://us02web.zoom.us/j/84129738427?pwd=MmlMSVJKK2xBLOhKcEhURXRTcTR2QT09>

Meeting ID: 841 2973 8427

Passcode: 240223

Call in Number: +1 346 248 7799

Interested persons may submit their comments/questions in advance of the meeting to, Charity Lee, clee@miramontehomes.com, or by mail at Miramonte Homes, 102 S. Mikes Pike, Flagstaff, AZ. 86001. For more information call (928) 600-3594.



For Additional Information Contact:

Tiffany Antol, Planning Development Manager
City of Flagstaff, Community Development Department
211 W. Aspen Avenue, Flagstaff, Arizona, 86001
tantol@flagstaffaz.gov
(928) 213-2605

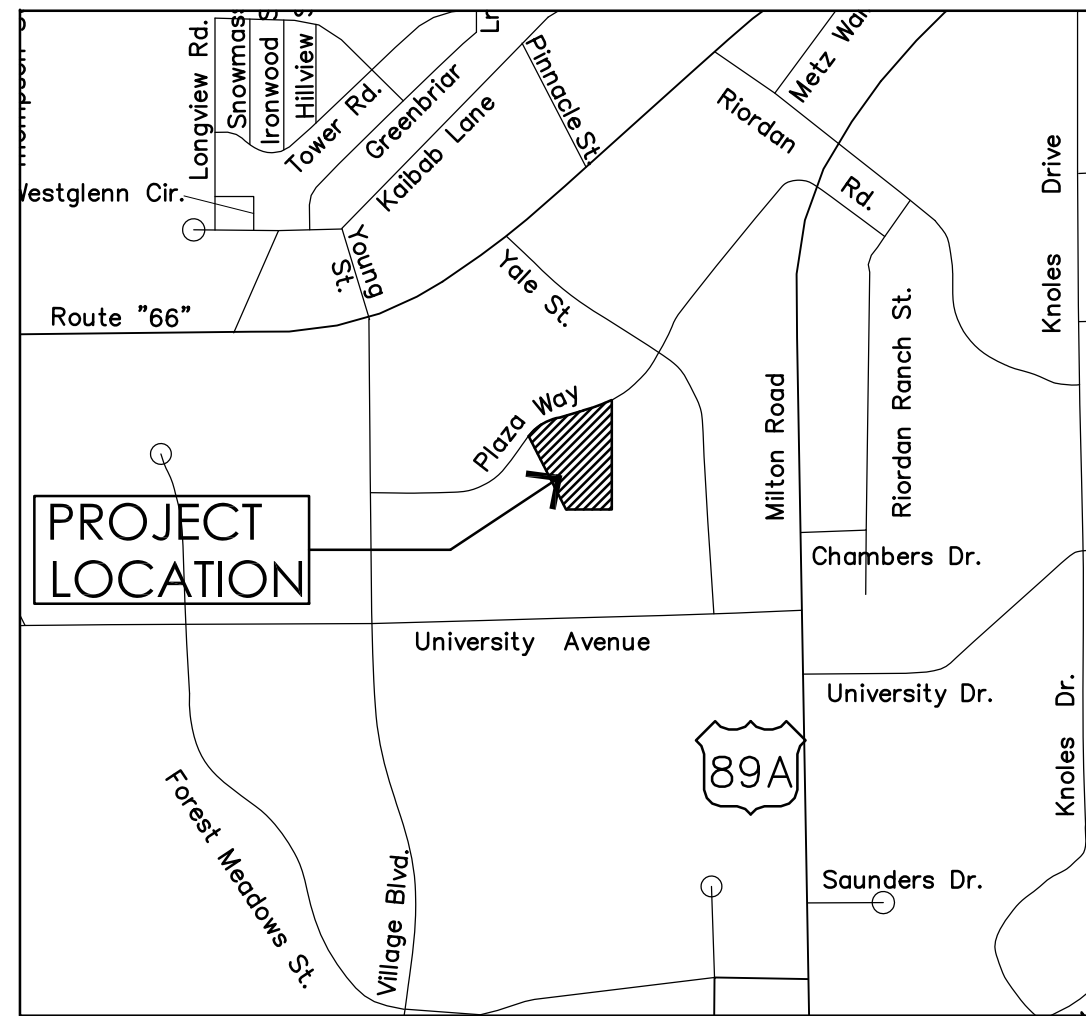
The developer, engineering team, and City of Flagstaff planning representatives will be available at the meeting to answer your questions.

Sincerely,

Charity Lee

Charity Lee
Land Acquisition and Development Manager
Miramonte Homes
102 S. Mikes Pike St.
Flagstaff, Az 86001
(928)600-3594
clee@miramontehomes.com

Encl.
Vicinity Map
Site Plan Exhibit
Architectural Drawings



VICINITY MAP
NTS
NORTH

SITE ANALYSIS:

TOPOGRAPHY:	CONTOUR LINES SHOW GRADUAL SLOPE TO THE EAST.
SOLAR ORIENTATION OR ASPECT:	GENERAL PATH OF POTENTIAL EXPOSURE SHOWN
EXISTING OR NATIVE VEGETATION TYPES AND QUALITY:	EXISTING/ NATIVE HEALTHY PONDEROSA PINE FOREST
VIEW CORRIDORS:	VIEW TO PONDEROSA PINE FOREST ACROSS THE STREET AND WEST OF PROPERTY
CLIMATIC CONSIDERATIONS:	FLAGSTAFF HIGH DESERT CLIMATE
SUBSURFACE CONDITIONS:	OBSERVED BASALT SURFACE
DRAINAGE SWALES AND STREAM CORRIDORS:	NONE
BUILT ENVIRONMENT AND LAND USE CONTEXT:	N: VACANT LOT S: EXIST. ASSISTED LIVING FACILITY E: EXIST. APARTMENT COMPLEX W: VACANT LOT

THIS SITE IS LOCATED WITHIN THE RESOURCE PROTECTION OVERLAY ZONE
COORD. w/ CIVIL DRAWINGS PREPARED BY SWI, INC. FOR ALL SITE, & UTILITY IMPROVEMENTS, & RESOURCE PROTECTION, TYP.

1 PRELIMINARY SITE PLAN
AS1.1 SCALE: 1"=20'



GENERAL PROJECT DATA

PROJECT DESCRIPTION:	(2) NEW 20 UNIT "APARTMENT BUILDINGS" ON EXISTING VACANT LOT.
SITE ADDRESS:	1580 S. PLAZA WAY FLAGSTAFF AZ, 86001
PROPERTY OWNER:	AXXO HOLDINGS LLC FLAGSTAFF AZ, 86001 CONTACT/ DEVELOPER: MATT PEACE PHONE: 699-1245
ARCHITECT:	SMITH ARCHITECTS, inc 1503 S. YALE ST., SUITE 200 FLAGSTAFF, AZ 86001 CONTACT: RYAN SMITH
APN:	112-24-0108
ZONING DISTRICT:	HIGHWAY COMMERCIAL-PRD, T4N.2
SUBDIVISION:	WOODLANDS VILLAGE
SITE AREA:	1.71 ACRES (74,487 S.F.)
BUILDING AREA:	20,093 SF PER BUILDING
PARKING REQUIRED:	1.25 PER STUDIO: 4-STUDIO = 5 SPACES 1.5 PER 1 BD: 24-1 BD = 36 SPACES 2 PER 2+ BD: 12-2BD 24 SPACES 25 PER 2+ BD: 12-2BD 6 SPACES TOTAL REQUIRED: 71 SPACES
PARKING REDUCTIONS:	MOTORCYCLE: *A REDUCTION OF ONE SPACE MAY BE ALLOWED IF ONE MOTORCYCLE SPACE FOR EVERY 25 REQUIRED MOTOR VEHICLE SPACES IS PROVIDED. 2 MOTORCYCLE SPACES PROVIDED 1 PARKING SPACE REDUCTION TRANSIT STOP (NEAREST @ S. WOODLANDS VILLAGE BLVD.): *A REDUCTION OF UP TO 10% IF WITHIN 1/4 MI. OF A BUS STOP. 71 X 10% = 7.1 7 PARKING SPACE REDUCTION BICYCLE PARKING: *A REDUCTION OF ONE SPACE FOR EACH FOUR BICYCLE SPACES PROVIDED TO A MAX. OF 5% OF THE REQUIRED MOTOR VEHICLE SPACES. 12 BICYCLE SPACES PROVIDED 3 PARKING SPACE REDUCTION 3 APPLICABLE PARKING SPACE REDUCTIONS TOTAL TOTAL REQUIRED 71-11 = 60 SPACES
PARKING PROVIDED:	57 STANDARD VEHICLE SPACES 3 ACCESSIBLE SPACES 60 TOTAL VEHICLE SPACES 2 MOTORCYCLE SPACES 12 BICYCLE SPACES
GARBAGE COLLECTION:	NEW DOUBLE DUMPSTER ENCLOSURE
OCCUPANCY GROUP:	R-2
BUILDING SETBACKS:	FRONT: 5' MIN.; 12' MAX. FACADE ZONE: 10' MIN.; 15' MAX. SIDE: 3' MIN. REAR: 3' MIN.
DENSITY:	GROSS DENSITY WITH THE RPO INSIDE OF A PEDESTRIAN SHED OF AN ACTIVITY CENTER = 29 29 X 1.71 = 49.59 UNITS ALLOWED. PROPOSED: 40 UNITS

SITE PLAN LEGEND

	HATCH INDICATES APPROX. NEW BUILDING FOOTPRINT
	EXIST. PONDEROSA PINE TREE TO REMAIN
	EXIST. PONDEROSA PINE TREE TO BE REMOVED

REVISION: DATE:

COF COMMENTS

2-16-21

COF COMMENTS

3-24-21

PLAZA WAY APARTMENTS

1580 S. PLAZA WAY

FLAGSTAFF, ARIZONA

smith

ARCHITECTS inc.

ARCHITECTURE | PLANNING | COLLABORATION

PH: 928.779.5993
www.smith-arc.com

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DRAWN BY: REVIEW BY:

T.SCANTLEBURY R.SMITH

PROJECT NO.:

2020-16

DATE:

FEBRUARY 2, 2021

SHEET:

AS1.1

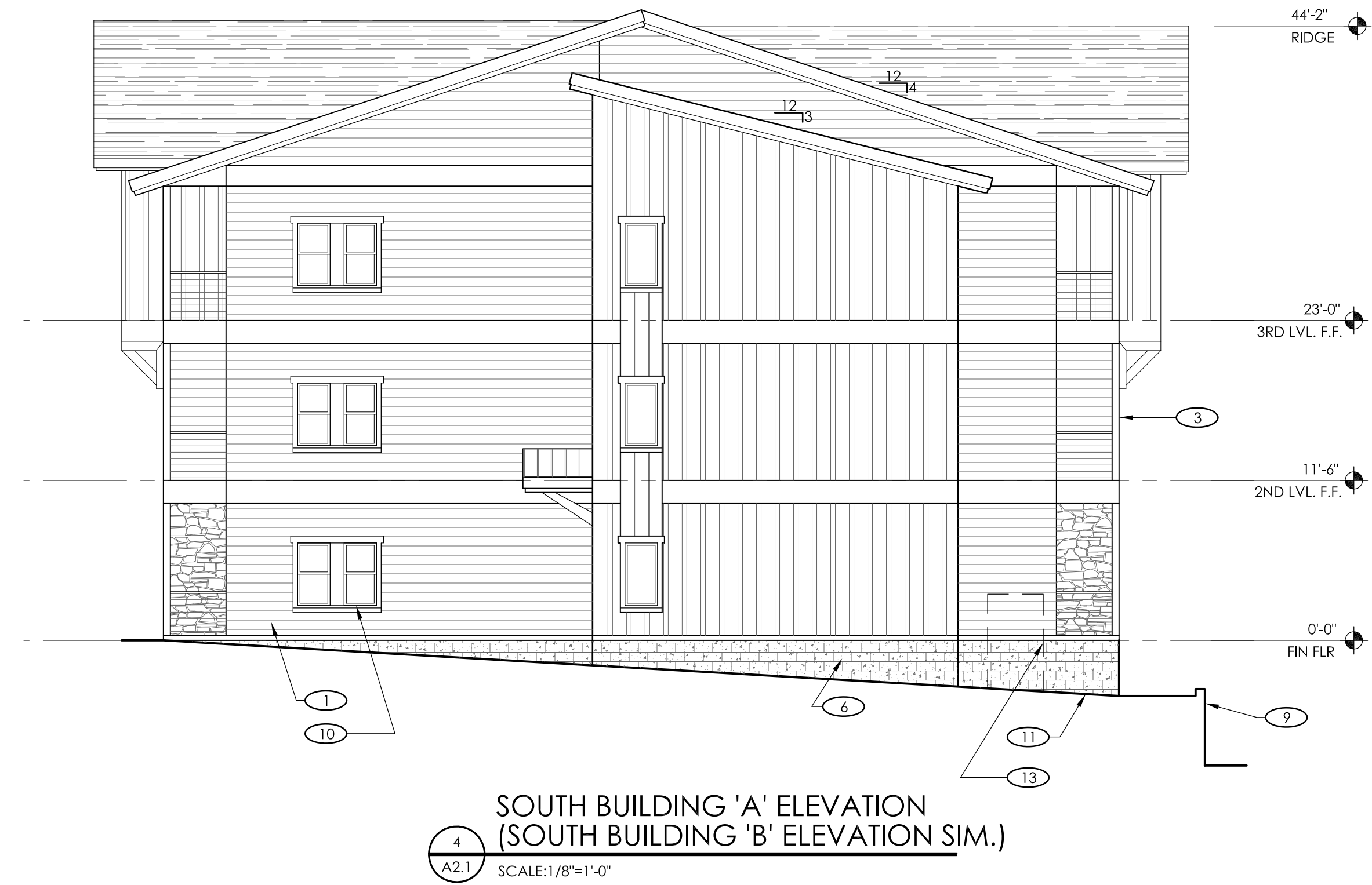
ARCHITECTURAL
SITE PLAN



NORTH BUILDING 'A' ELEVATION
SCALE: 1/8"=1'-0"



NORTH BUILDING 'B' ELEVATION
SCALE: 1/8"=1'-0"



SOUTH BUILDING 'A' ELEVATION
(SOUTH BUILDING 'B' ELEVATION SIM.)
SCALE: 1/8"=1'-0"



WEST BUILDING 'A' ELEVATION
(WEST BUILDING 'B' ELEVATION SIM.)
SCALE: 1/8"=1'-0"

EXTERIOR FINISH LEGEND & SCHEDULE

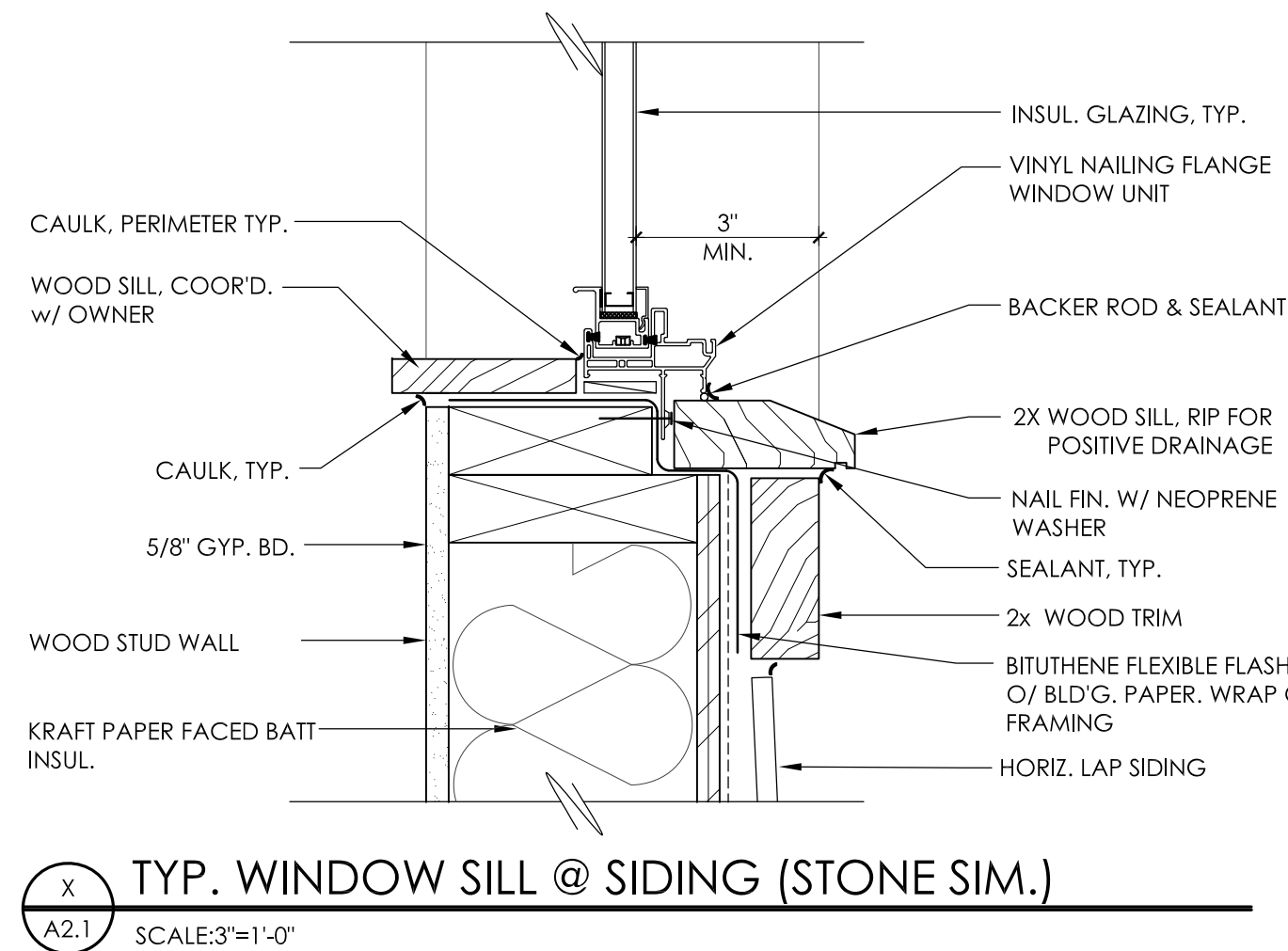
LEGEND	MATERIAL	DESCRIPTION / COLOR
	COMPOSITE SHINGLES	HIGH DEFINITION ASPHALT COMPOSITE SHINGLES "GAF, TIMBERLINE HD" OR EQUAL o/ (1) LAYER 40# FELT o/ ROOF STRUCTURE COLOR/ FINISH: WEATHERED WOOD
	STANDING SEAM MTL. ROOF/ SIDING	STANDING SEAM MTL. ROOF PANEL COLOR/ FINISH: DARK BRONZE
	HORIZONTAL LAP SIDING	FIBER CEMENT HORIZONTAL WOOD LAP SIDING w/ 8" EXPOSURE.
	BOARD & BATT SIDING	FIBER CEMENT 1 X4 BATTEN o/ 1 X12 BOARD
	NATURAL STONE VENEER	NATURAL MALAPAI STONE VENEER.
	MASONRY	SPLIT-FACE CONCRETE MASONRY UNITS COLOR/ FINISH: STANDARD CONCRETE GRAY

COLOR LEGEND

ACCENT	SHERWIN WILLIAMS "ATTITUDE GRAY"-SW 7060 LRV: 20	TRIM	SHERWIN WILLIAMS "STUDIO CLAY"-SW 9172 LRV: 27
BODY	SHERWIN WILLIAMS "LAUREL WOODS"-SW 7749 LRV: 6	CORBEL	SHERWIN WILLIAMS "REQUISITE GRAY"-SW 7023 LRV: 45

KEYED NOTES:

- FIBER CEMENT LAP SIDING
- STONE VENEER
- WOOD SUPPORT COLUMNS
- ALUM. STOREFRONT DOOR
- ALUM. STOREFRONT SYSTEM
- SPLIT-FACE CMU'S
- HORIZONTAL STL. GUARDRAIL
- PRE-CAST CONC. CAP
- RETAINING WALL
- VINYL WINDOW UNIT
- APPROX. FINISH GRADE. COOR'D. w/ CIVIL DWG'S.
- ROUGH SAWN PERGOLA FRAMING
- APPROX. MECH./ ELEC. EQUIPMENT TO BE SCREENED FROM PUBLIC WAY.



TYP. WINDOW SILL @ SIDING (STONE SIM.)
SCALE: 3/4"=1'-0"



EAST BUILDING 'A' ELEVATION
(EAST BUILDING 'B' ELEVATION SIM.)
SCALE: 1/8"=1'-0"

REVISION:	DATE:
COF COMMENTS	3-24-21

PLAZA WAY APARTMENTS
1580 S. PLAZA WAY
FLAGSTAFF, ARIZONA

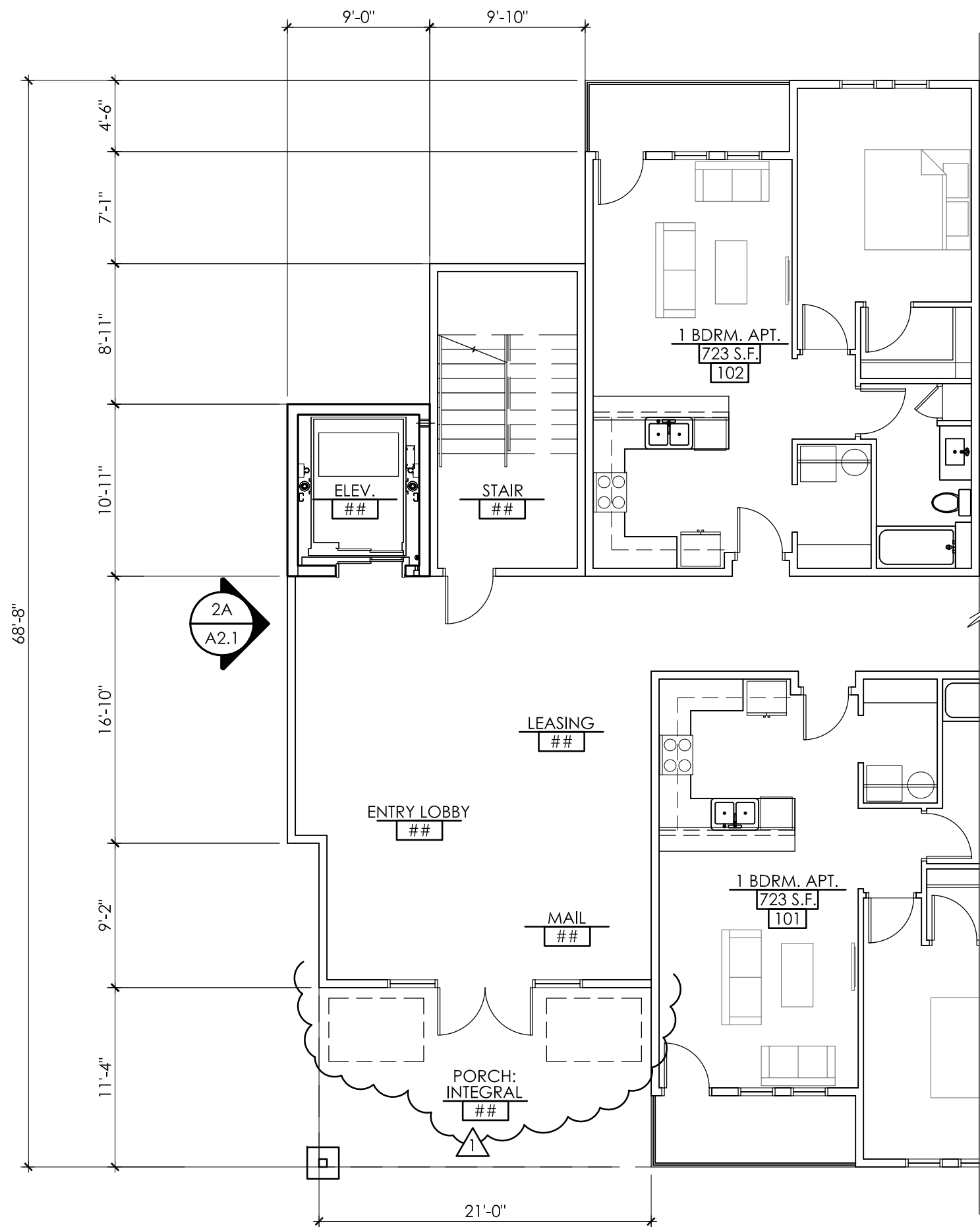
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PH: 928.779.5993
www.smith-arc.com
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FLAGSTAFF, ARIZONA 86001

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I.SCANTLEBURY	R.SMITH
PROJECT NO.:	2020-16
DATE:	FEBRUARY 2, 2021
SHEET:	

A2.1
BUILDING ELEVATIONS

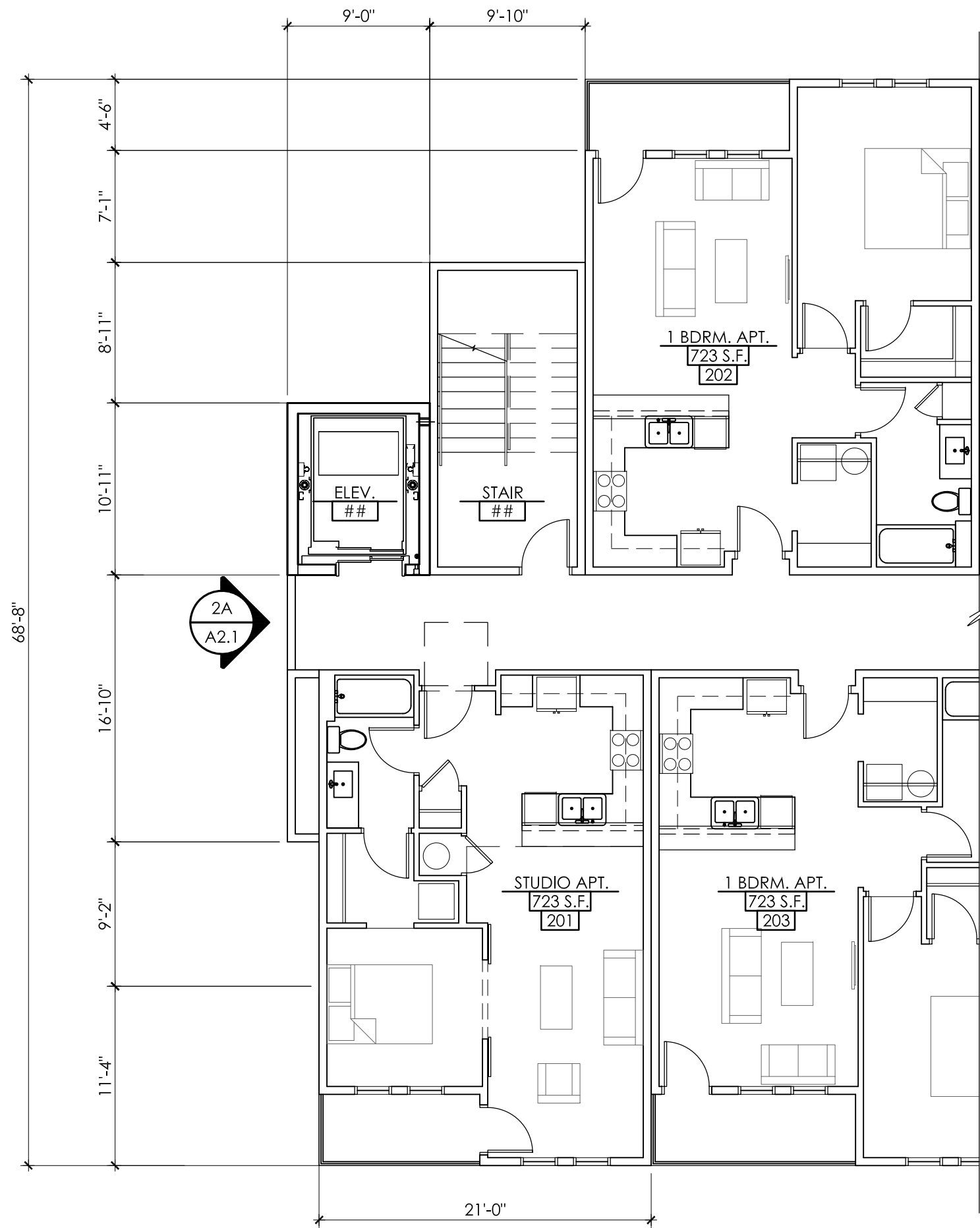


**BUILDING 'B' PARTIAL
FIRST FLOOR PLAN**

1A
A1.1

SCALE: 1/8"=1'-0"
* ALL INTERIOR PARTITIONS WILL BE 10'-0" HIGH U.N.O.

NORTH

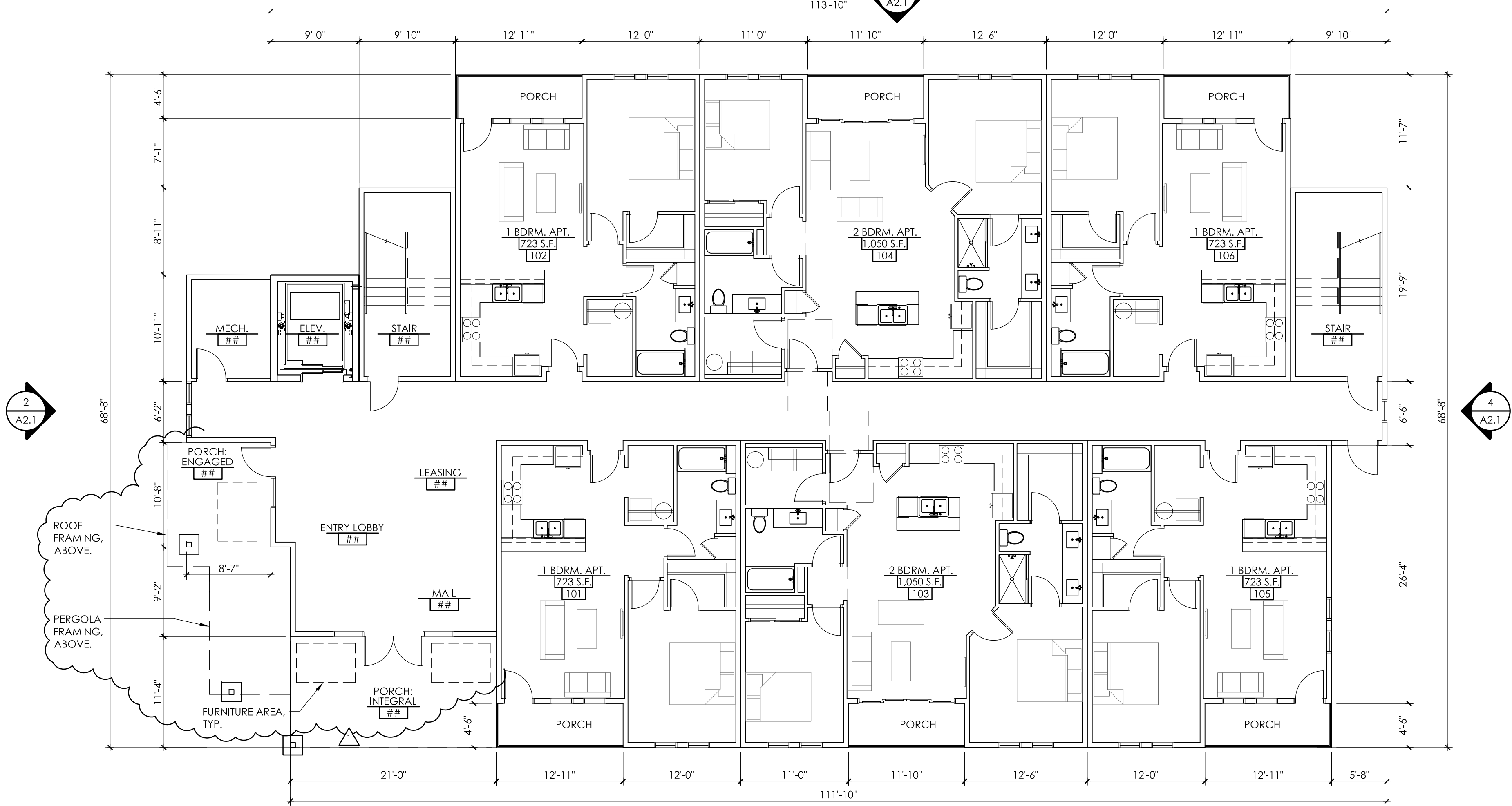


**BUILDING 'B' PARTIAL
SECOND FLOOR PLAN**

2A
A1.1

SCALE: 1/8"=1'-0"
* ALL INTERIOR PARTITIONS WILL BE 10'-0" HIGH U.N.O.

NORTH

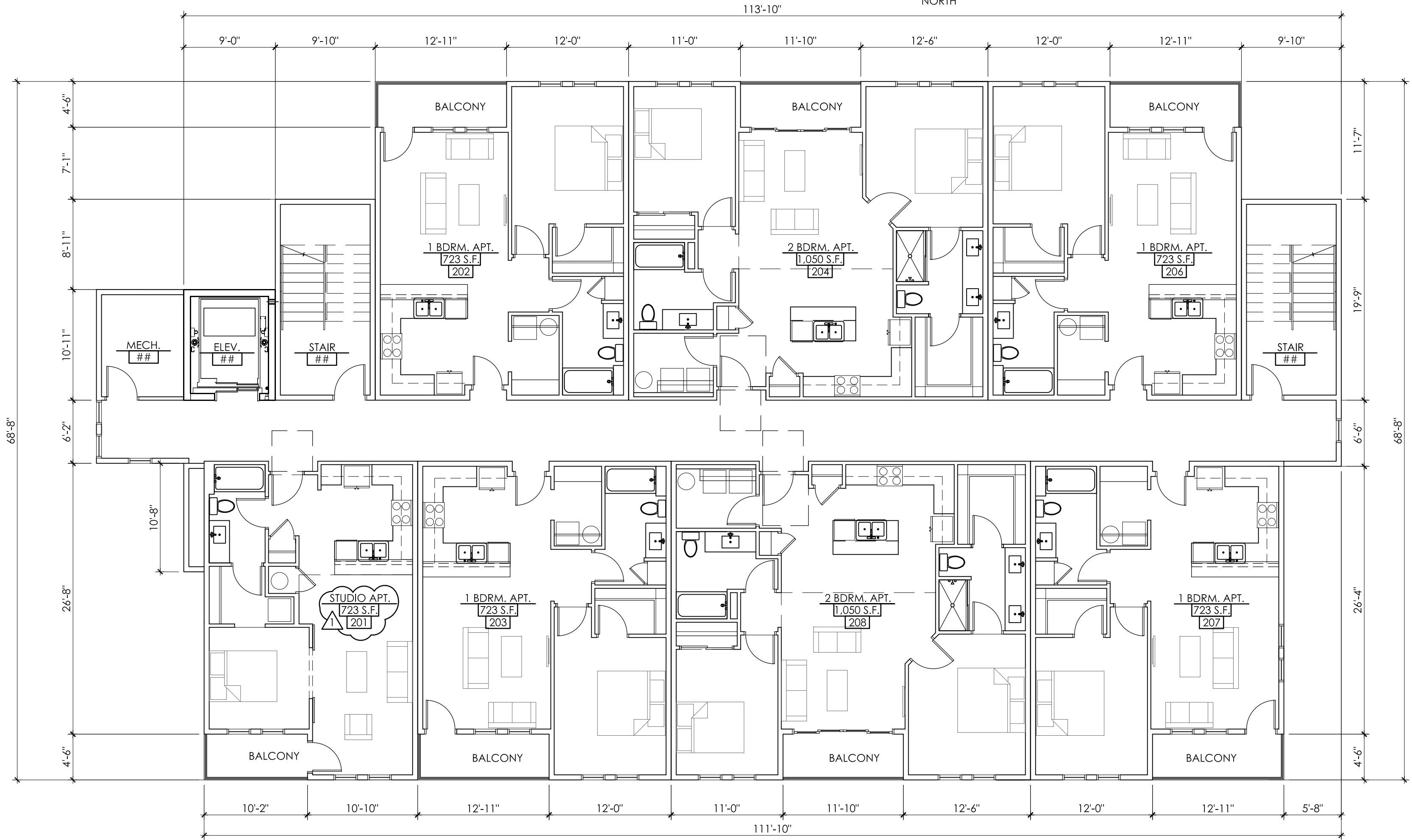


BUILDING 'A' FIRST FLOOR PLAN

1
A1.1

SCALE: 1/8"=1'-0"
* ALL INTERIOR PARTITIONS WILL BE 10'-0" HIGH U.N.O.

NORTH



BUILDING 'A' SECOND FLOOR PLAN

2
A1.1

SCALE: 1/8"=1'-0"
* ALL INTERIOR PARTITIONS WILL BE 10'-0" HIGH U.N.O.

NORTH

REVISION:	DATE:
A2.1	3-24-21
COF COMMENTS	

PLAZA WAY APARTMENTS
1580 S. PLAZA WAY
FLAGSTAFF, ARIZONA

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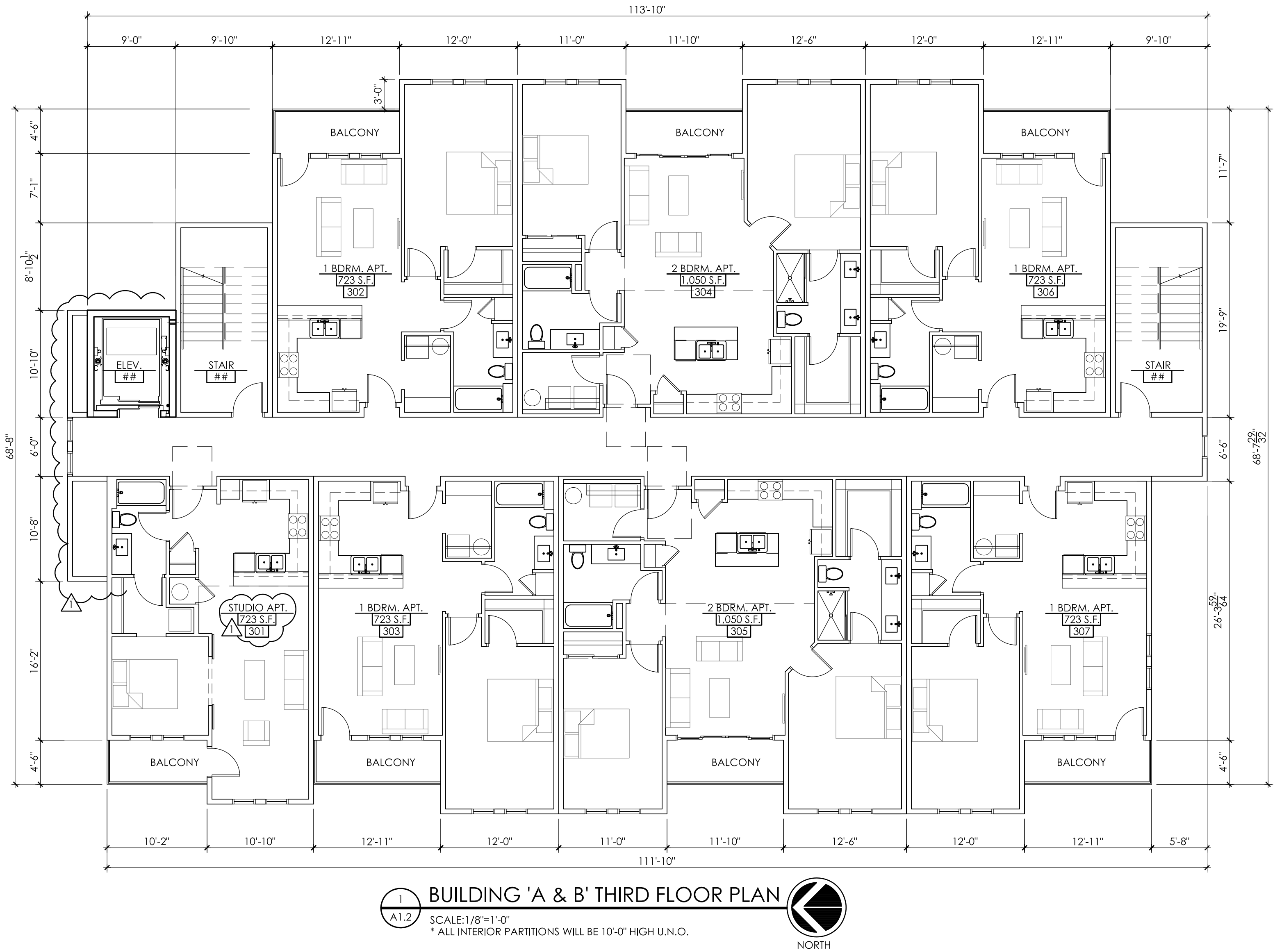
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T. SCANTLEBURY	R. SMITH
PROJECT NO.:	
2020-16	
DATE:	
FEBRUARY 2, 2021	
SHEET:	

A1.1
FLOOR PLANS



REVISION:	DATE:
COF COMMENTS	3-24-21

PLAZA WAY APARTMENTS
1580 S. PLAZA WAY
FLAGSTAFF, ARIZONA

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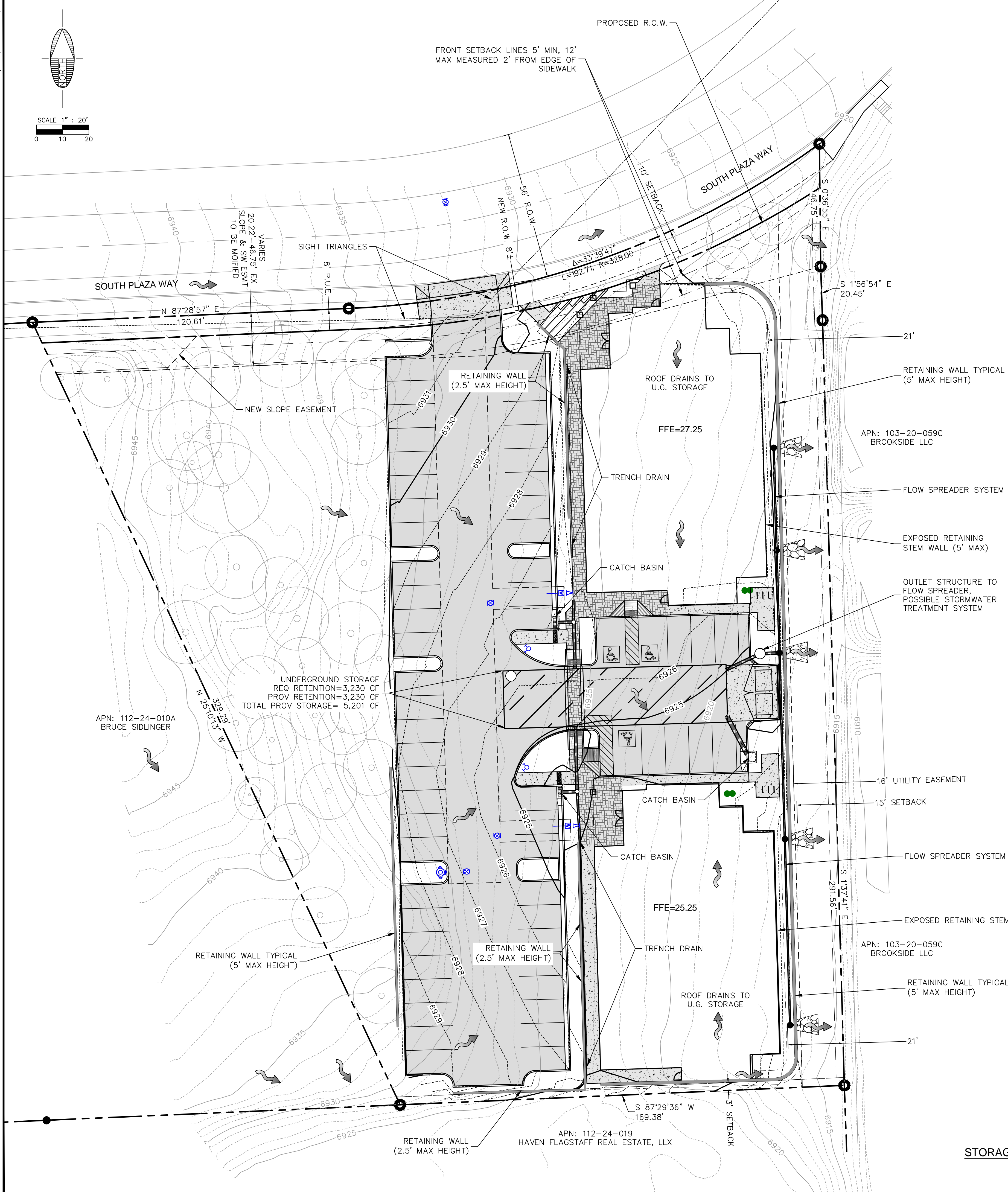
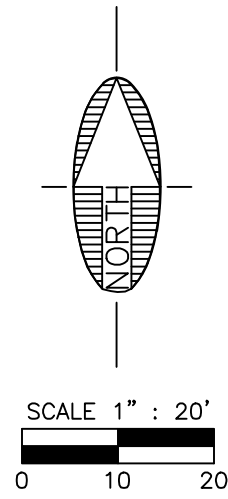
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T.SCANTLEBURY	R.SMITH
PROJECT NO.:	
2020-16	
DATE:	
FEBRUARY 2, 2021	
SHEET:	

A1.2
FLOOR PLANS

FILE: P:\2020\2024\DRAWINGS\SITE PLANS\SITE PLAN-GRADING_AND_DRAINAGE_PLAN.DWG SYSSLER
PLOTTED: Apr 28, 2021-4:12pm



CIVIL SITE PLAN

FOR

PLAZA WAY CONDOMINIUMS

1580 S. PLAZA WAY

FLAGSTAFF, ARIZONA

PORTION OF LOT 10, WOODLANDS VILLAGE UNIT 1, AS SHOWN BY RECORD OF SURVEY RECORDED AS INSTRUMENT 3487631, AND CASE 4 MAPS, PG 62-62A. LOCATED IN SECTION 21, TOWNSHIP 21 NORTH, RANGE 7 EAST GILA AND SALT RIVER MERIDIAN, COCONINO COUNTY, FLAGSTAFF, ARIZONA

PROPERTY OWNER/DEVELOPER:

AXXO HOLDINGS, LLC
FLAGSTAFF, AZ 86001
CONTACT: MATT PEACE

PROJECT ARCHITECT

SMITH ARCHITECTS, INC.
1503 S. YALE ST. SUIT 200
FLAGSTAFF, AZ 86001
(928) 779-5993
CONTACT: RYAN SMITH

PROJECT ENGINEER:

SHEPARD-WESNITZER INC.
110 WEST DALE AVE.
FLAGSTAFF, AZ 86001
(928) 773-0354
CONTACT: STEPHEN IRWIN

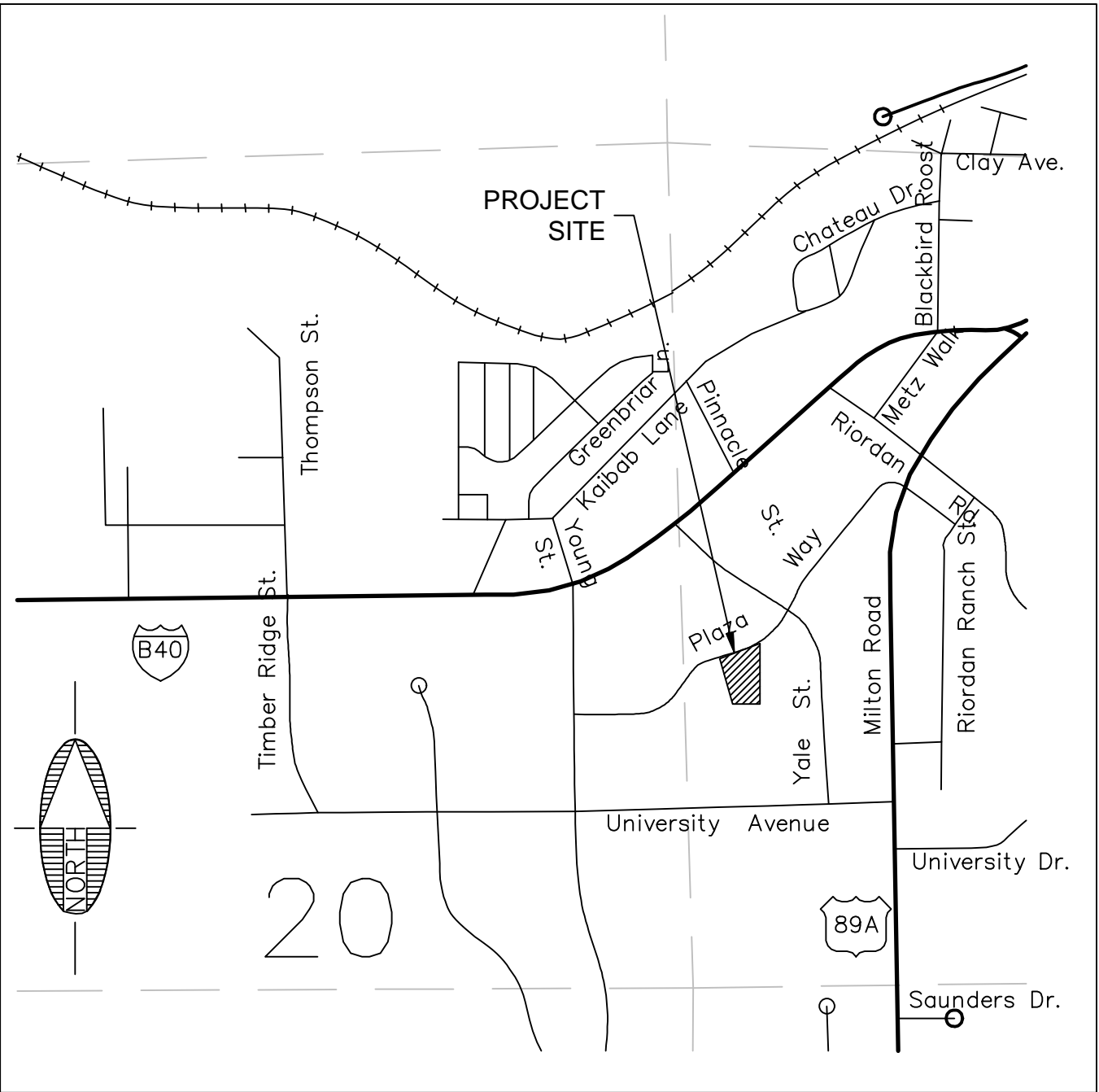
PROJECT INFORMATION

SITE ADDRESS: 1580 S. PLAZA WAY
FLAGSTAFF, AZ 86001

APNS: 112-24-010B

AREA: GROSS: 1.71 ACRES (74,487 SF)
NET: 1.91 ACRES (83,168 SF)
BLDG: 13,732 SF (18% COVERAGE)

ZONING: HIGHWAY COMMERCIAL-PRD



VICINITY MAP
N.T.S.

LEGEND

- ROW
- EASEMENT
- LOT LINE
- SETBACK
- STORM DRAIN PIPE
- FIRE HYDRANT
- GATE VALVE
- EX SEWER MANHOLE
- STORM DRAIN MANHOLE
- CATCH BASIN
- LIGHT POLE

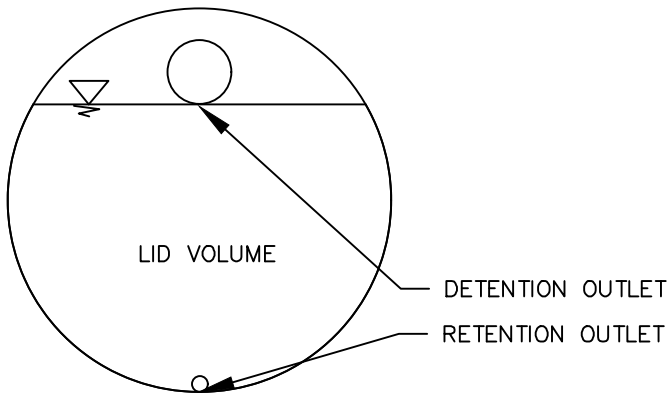
IMPERVIOUS AREA SUMMARY

PRE-DEVELOPMENT IMPERVIOUS AREA = 0 SF
POST-DEVELOPMENT IMPERVIOUS AREA = 38,768 SF
NEW IMPERVIOUS AREA = 38,768 SF

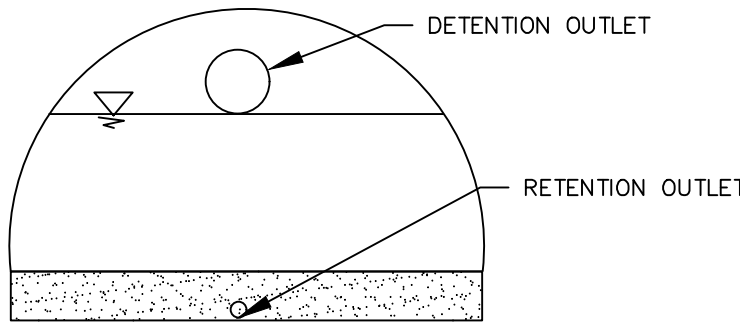
1" LID VOLUME = 3,230 CF
LID AND DETENTION ARE REQUIRED AND WILL BE PROVIDED IN UNDERGROUND STORAGE TANKS.

FEMA DESIGNATION:

THIS PROJECT IS LOCATED WITHIN ZONE X OF FEMA FIRM MAP #04005C6816G, EFFECTIVE SEPTEMBER 3, 2010. ZONE X IS DESCRIBED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.





STORAGE TANK OUTLET SECTION

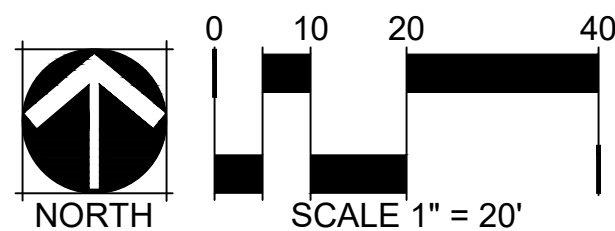
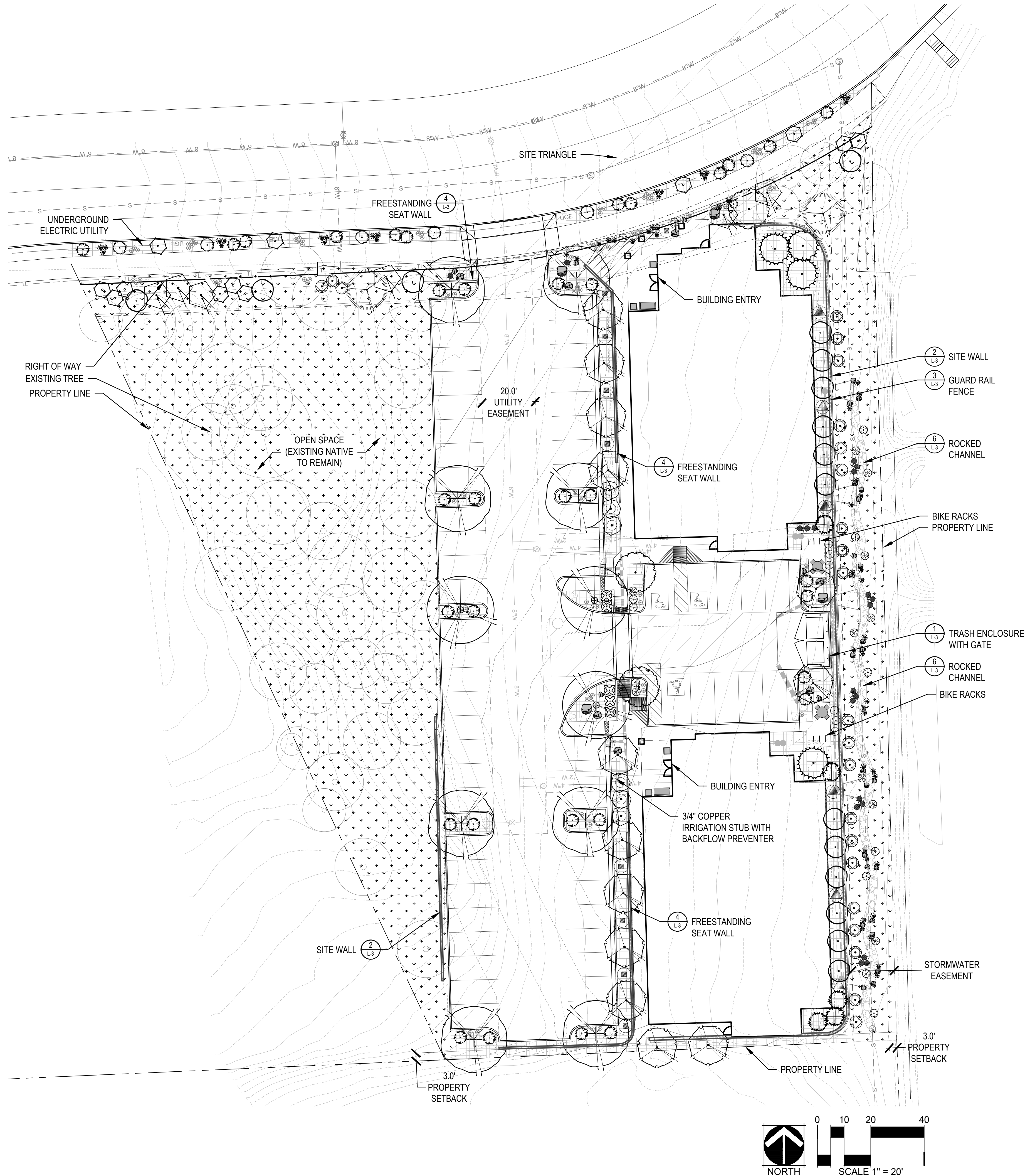


STORAGE TANK OUTLET SECTION
(ALTERNATE DESIGN)

PRELIMINARY

NOT FOR CONSTRUCTION,
BIDDING OR RECORDING

Contact Arizona 811 at least two full working days before you begin excavation		DRAWING NO.		JOB NO: 20243		PLAZA WAY CONDOMINIUMS		FLAGSTAFF ARIZONA	
 Call 811 or click Arizona811.com		SHT NO. 1		OF 3		DATE: APR 21		75 Kalliof Place Sedona, AZ 86336 928.282.1061 928.282.2058 fax	
						SCALE: AS SHOWN			
						DRAWN: SVJ			
						DESIGN: SVJ			
						CHECKED: SGI			
								www.swiaz.com	
								SITE PLAN	
								PRELIMINARY GRADING & DRAINAGE PLAN	
								Shephard  Wesnitzer, Inc.	



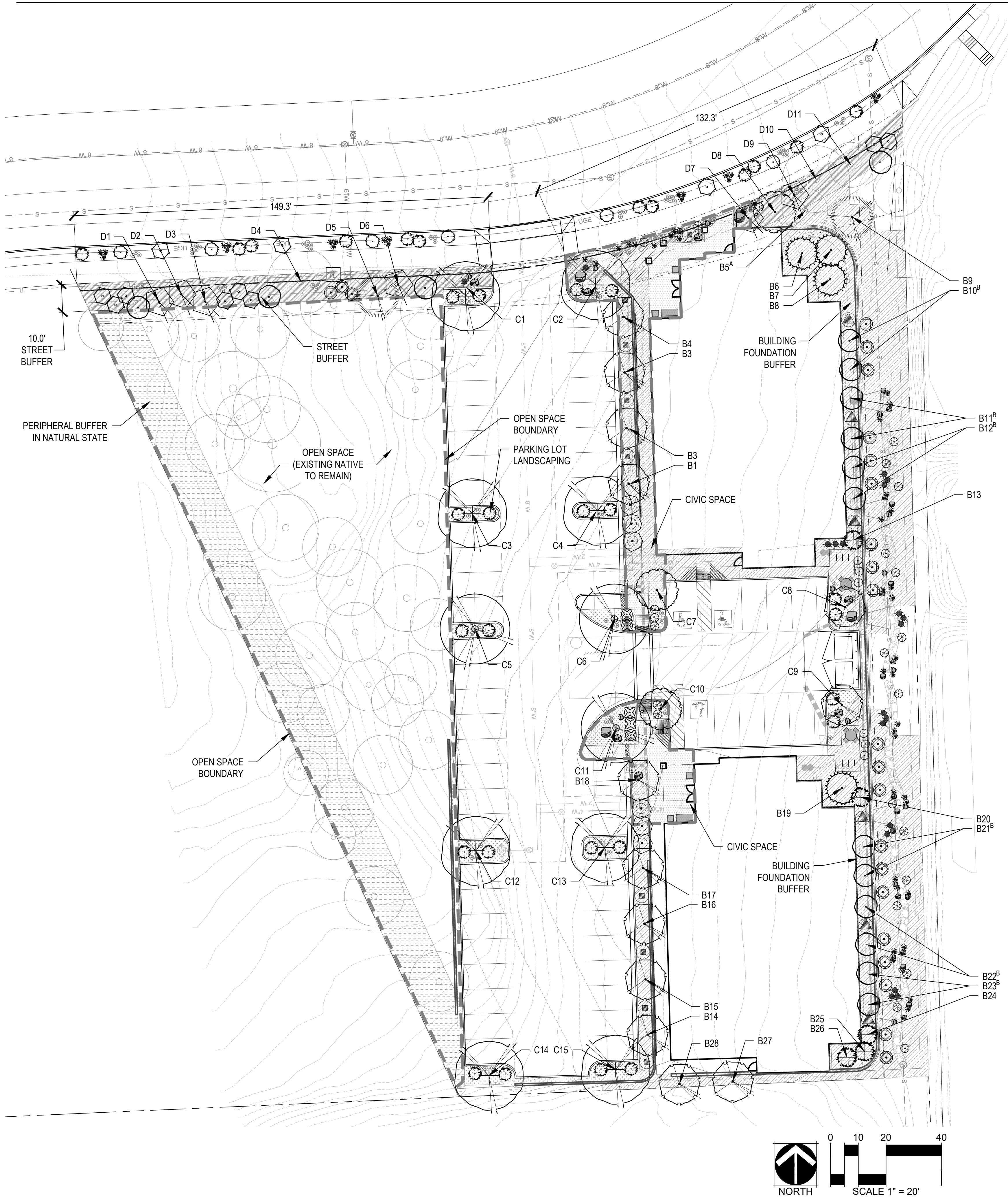
PLANT SCHEDULE

SYM.	GENUS & SPECIES COMMON NAME	PLANTING SIZE	ESTIMATED MATURE SIZE	SPACING	QTY (PRIV.)
TREES (DECIDUOUS CANOPY)					
	Acer freemanii Autumn Blaze Maple	2" CAL, B&B	45' H X 30' W	AS SHOWN	3
	Gleditsia triacanthos inermis 'Skyline' Skyline Honey Locust	2" CAL, B&B	50' H X 40' W	AS SHOWN	8
TREES (EVERGREEN)					
	Juniperus chinensis 'Blue Point' Blue Point Juniper	6' HT MIN., B&B	15' H X 5' W	AS SHOWN	5
	Picea pungens 'bakeri' Bakeri Spruce	6' HT MIN., B&B	20' H X 12' W	AS SHOWN	4
	Pinus edulis Pinyon Pine	6' HTMIN., B&B	30' H X 20' W	AS SHOWN	2
TREES (DECIDUOUS ORNAMENTAL)					
	Acer tataricum Hot Wings Maple	15 GALLON MULTI-STEM	20' H X 20' W	AS SHOWN	3
	Populus tremuloides Quaking Aspen	1.5" CAL, B&B SINGLE-STEM	35' H X 15' W	AS SHOWN	6
	Pyrus calleryana 'Chanticleer' Chanticleer Pear	1.5" CAL, B&B SINGLE STEM	25' H X 15' W	AS SHOWN	14
DECIDUOUS SHRUBS					
	Amelanchier alnifolia Saskatoon Serviceberry	5-GALLON	15' H X 8' W	8' O.C.	16
	Cornus sericea 'Arctic Fire' Arctic Fire Dogwood	5-GALLON	4' H X 4' W	4'-5' O.C.	5
	Perovskia atriplicifolia 'Little Spire' Dwarf Russian Sage	5-GALLON	2' H X 3' W	3'-4' O.C.	8
	Potentilla fruticosa 'Gold Drop' Gold Drop Potentilla	2-GALLON	3' H X 3' W	3'-4' O.C.	15
	Rhus trilobata 'Autumn Amber' Autumn Amber Sumac	5-GALLON	2' H X 6' W	4'-5' O.C.	6
	Ribes aureum Golden Currant	5-GALLON	7' H X 7' W	6'-7' O.C.	6
	Rosa woodsii Woods' Rose	2-GALLON	3' H X 3' W	3'-4' O.C.	6
	Symphoricarpos albus Snowberry	2-GALLON	3' H X 3' W	3'-4' O.C.	2
	Syringa patula 'Miss Kim' Miss Kim Lilac	5-GALLON	4' H X 5' W	4'-5' O.C.	9
EVERGREEN SHRUBS					
	Arctostaphylos x coloradoensis panchito Panchito Manzanita	2-GALLON	1' H X 5' W	4'-5' O.C.	6
	Chamaebatia millefolium Fernbush	5-GALLON	5' H X 6' W	5'-6' O.C.	12
	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	5-GALLON	1' H X 6' W	4'-5' O.C.	34
	Mahonia aquifolium compacta Compact Oregon Grape Holly	5-GALLON	3' H X 5' W	4'-5' O.C.	23
ORNAMENTAL GRASS					
	Bouteloua gracilis 'Blonde Ambition' Blonde Ambition Grama Grass	1-GALLON	4' H X 3' W	3'-4' O.C.	59
	Panicum virgatum 'Shenandoah' Shenandoah Switchgrass	1-GALLON	4' H X 3' W	3'-4' O.C.	20
ACCENT PERENNIALS					
	Achillea x Moonshine Moonshine Yarrow	1-GALLON	16" H X 18" W	1.5' O.C.	TBD
	Geranium x 'Johnson's Blue' Johnson's Blue Cranesbill	1-GALLON	8" H X 24" W	2' O.C.	TBD
	Rudbeckia fulgida 'Goldsturm' Black-Eye Susan	1-GALLON	24" H X 18" W	1.5' O.C.	TBD
	Sedum spectabile 'Autumn Joy' Autumn Joy Sedum	1-GALLON	18" H X 18" W	1.5' O.C.	TBD
GROUNDCOVER PERENNIALS					
	Cerastium tomentosum Snow in Summer	1-GALLON	6" H X 18" W	1.5' O.C.	TBD
	Mahonia repens Creeping Mahonia	1-GALLON	8" H X 18" W	1.5' O.C.	TBD
					TOTAL PERENNIALS: 89

DIAGRAM LEGEND

-
- NATIVE GRASS
(RESEED WHERE
DISTURBED)
-
- LANDSCAPE BED W/
ROCK MULCH
-
- ROCKED CHANNEL
-
- BIKE RACKS
-
- BENCH
-
- BOULDERS
-
- PLANTED POT
-
- FIXED TABLE
-
- EXISTING
PONDEROSA PINE

SITE LANDSCAPE CALCULATIONS, CIVIC SPACE, & OPEN SPACE DIAGRAM



SITE LANDSCAPE CALCULATIONS

LOT 1 - RESIDENTIAL 1.71 ACRES		REQUIRED		MINIMUM SIZE REQUIRED	PROVIDED
PERIPHERAL BUFFER					
TOTAL L.F. 370	TREES	1 PER 25 LINEAR FEET = 15	15 GALLON	0 ^C	
	SHRUBS	2 PER TREE = 30	5 GALLON	0 ^C	
	GROUNDCOVERS	2 PER TREE = 30	1 GALLON	0 ^C	
EXISTING TREES					8
BUILDING FOUNDATION - NORTH**					
TOTAL L.F. 330	TREES	1 PER 25 LINEAR FEET = 13	15 GALLON	10 ^{AB}	
	SHRUBS	2 PER TREE = 26	5 GALLON	33 ^{AB}	
	GROUNDCOVERS	2 PER TREE = 26	1 GALLON	26	
EXISTING TREES					1
BUILDING FOUNDATION - SOUTH**					
TOTAL L.F. 365	TREES	1 PER 25 LINEAR FEET = 15	15 GALLON	12 ^A	
	SHRUBS	2 PER TREE = 30	5 GALLON	36 ^A	
	GROUNDCOVERS	2 PER TREE = 30	1 GALLON	30	
EXISTING TREES					0
PARKING AREA					
TOTAL PARKING SPACES 60	TREES	2 EVERY 8 PARKING SPACE = 15	15 GALLON	15	
	SHRUBS	2 PER TREE = 30	5 GALLON	34 ^A	
	GROUNDCOVERS	2 PER TREE = 30	1 GALLON	32 ^A	
MIN. INTERIOR LANDSCAPED AREA		30sf PER SPACE + 1,800sf			1,922sf
STREET BUFFER					
TOTAL L.F. 282	TREES	1 PER 25 LINEAR FEET = 11	15 GALLON	8	
	SHRUBS	2 PER TREE = 22	5 GALLON	20 ^A	
	GROUNDCOVER	2 PER TREE = 22	1 GALLON	16 ^A	
EXISTING TREES*					3

^A EACH EXISTING TREE THAT IS 6"-10" IN DIAMETER AT BREAST HEIGHT (DBH) MAY SUBSTITUTE FOR THE REQUIREMENT OF ONE LANDSCAPE TREE. FOR EACH EXISTING TREE RETAINED IN A LANDSCAPE AREA, THE REQUIREMENT FOR SHRUBS AND GROUNDCOVERS ASSOCIATED WITH THAT TREE WILL BE WAIVED. (C.O.F. LANDSCAPING STANDARDS SECTION 10-50.60.050.A).
^B TWO FIVE-GALLON SHRUBS MAY SUBSTITUTED FOR ONE REQUIRED TREE. TWO ONE-GALLON GROUNDCOVER PLANTS MAY BE SUBSTITUTED FOR ONE FIVE-GALLON SHRUB. (C.O.F. LANDSCAPING STANDARDS SECTION 10-50.60.050.B).
^C PERIPHERAL LANDSCAPING IS REQUIRED IN SETBACKS EXCEPT WHERE LANDSCAPE IS RETAINED IN A NATURAL STATE AND THE DIRECTOR DETERMINES THAT LANDSCAPING IS NOT NECESSARY TO ACHIEVE THE PURPOSES OF THIS DIVISION (C.O.F. LANDSCAPING STANDARDS SECTION 10-50.60.040.A.1.b)

SITE DEVELOPMENT REQUIREMENTS

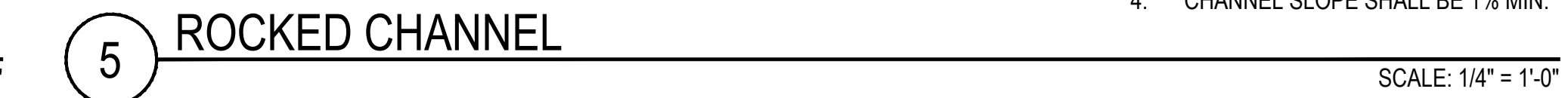
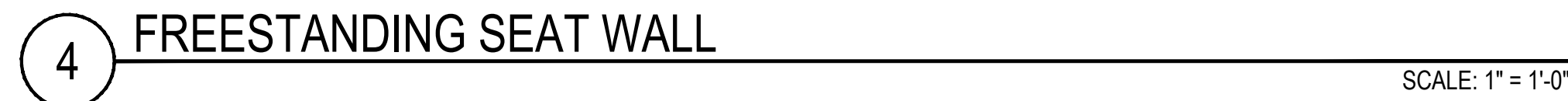
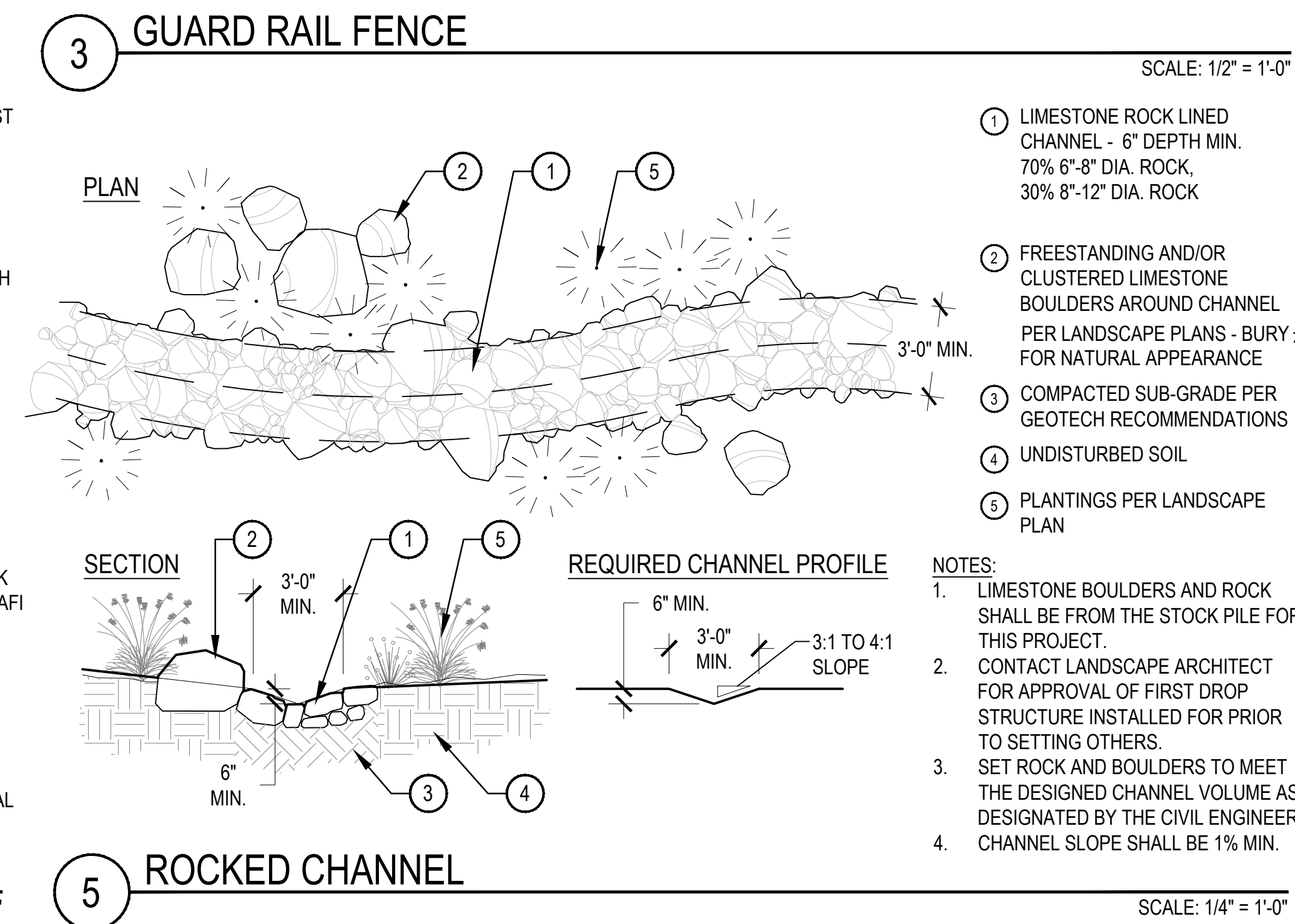
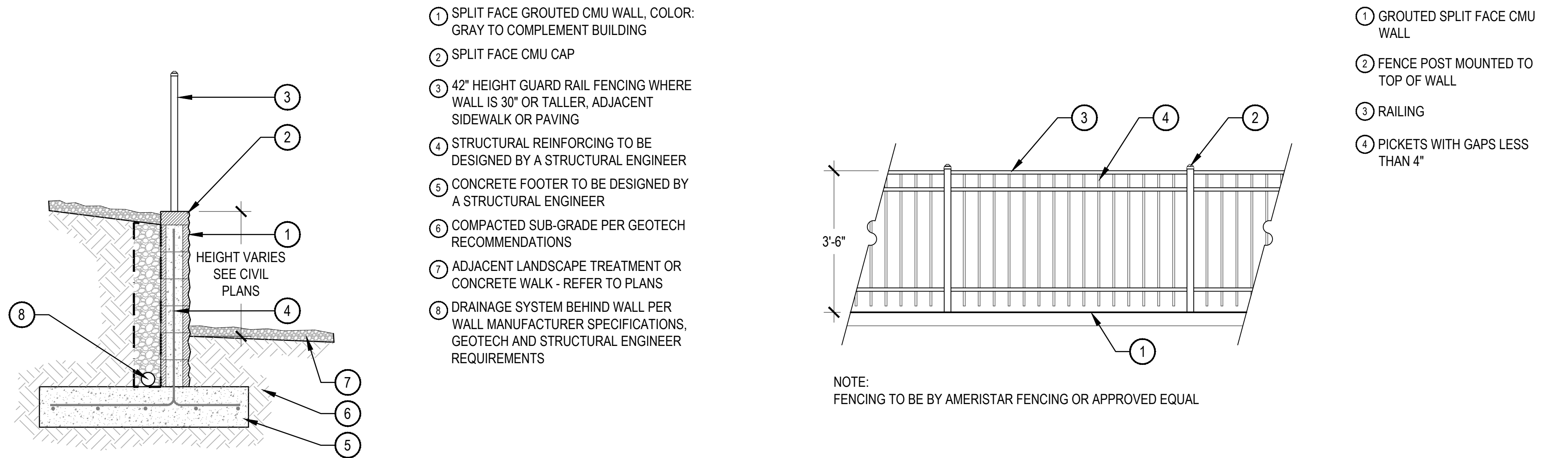
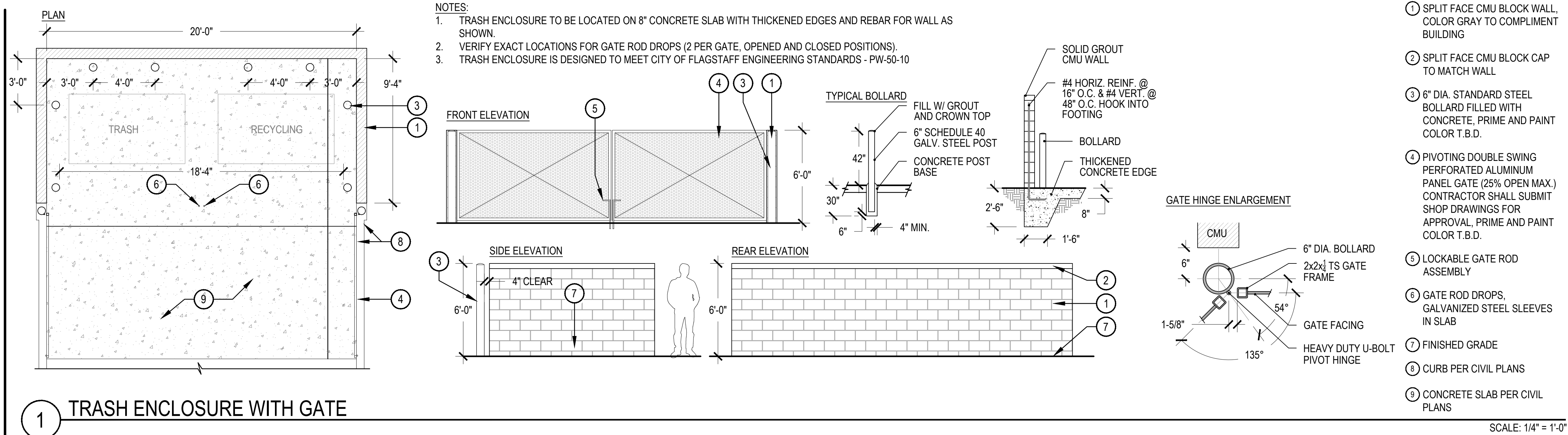
LOT 1 - RESIDENTIAL 1.71 ACRES		REQUIRED	PROVIDED
PEDESTRIAN AMENITY SPACE/CIVIC SPACE		N/A (SITE CONTAINS FEWER THAN 50 UNITS)	3,737sf
OPEN SPACE		3,725sf (5% OF TOTAL AREA)	18,194sf

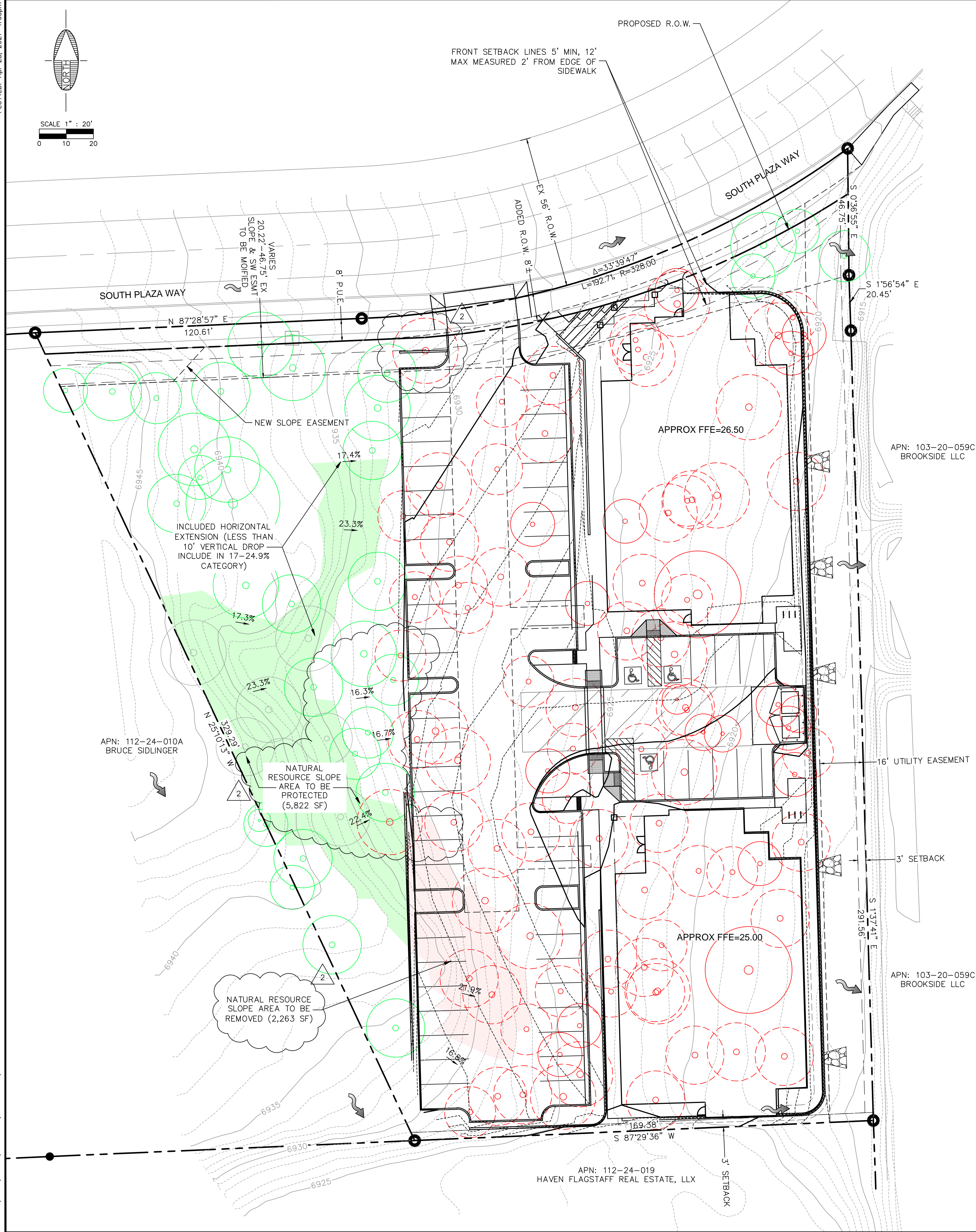
DIAGRAM LEGEND

	BUILDING FOUNDATION BUFFER
	PARKING AREA
	STREET BUFFER
	CIVIC SPACE
	OPEN SPACE

TREE COUNT CODE

A#	PERIPHERAL BUFFER
B#	BUILDING FOUNDATION BUFFER
C#	PARKING AREA
D#	STREET BUFFER





RESOURCE PRESERVATION					
SLOPE RESOURCES					
SLOPES	0-16.99%	17-24.99%	25-34.99%	>35%	
EXISTING (SF)	66,523.00	8,085.00	0	0	
PROTECTED (SF)	22,858.00	5,822.00	0.00	0.00	
% PROTECTED	34%	72%	100%	100%	
% REQUIRED PROTECTION	0%	60%	80%	100%	
PROTECTED ABOVE REQUIREMENT(SF)		971			
ADDED TREE POINTS		19			

TOTAL TREE RESOURCES					
TYPE	PINE	PINE	PINE	PINE	PINE
DIAMETER (IN)	6-8	9-12	13-17	18-24	>25
NUMBER EXISTING	2	22	79	29	1
POINTS	1	2	4	8	20
SUM OF POINTS	2	44	316	232	20
SUBTOTAL TREE POINTS=					614
30% PRESERVATION RATE=					184.2

POST-DEVELOPMENT TREES					
TYPE	PINE	PINE	PINE	PINE	PINE
DIAMETER (IN)	6-8	9-12	13-17	18-24	>25
NUMBER REMAINING	1	6	17	8	1
POINTS	1	2	4	8	20
SUM OF POINTS	1	12	68	64	20
TREE POINTS=					165
ADDITIONAL SLOPE POINTS=					19
REQUIRE PRESERVATION RATE=					30%
PRESERVATION RATE=					30%

NOTE:

1. PER CITY OF FLAGSTAFF ZONING CODE SECTION 10-50.90.060, COMMERCIAL ZONES PRESERVATION RATE IS 30%.

LEGEND

ROW

EASEMENT

LOT LINE

SETBACK

PROTECTED TREE

REMOVED TREE

PROTECTED SLOPE

REMOVED SLOPE

FLAGSTAFF ARIZONA

PLAZA WAY CONDOMINIUMS

SITE PLAN

NATURAL RESOURCE PROTECTION PLAN

JOB NO: 20243

DATE: APR 21

SCALE: AS SHOWN

DRAWN: SJW

CHECKED: SCJ

75 Kallist Place
Scottsdale, AZ 86336
928.282.2058 fax
www.swiwz.com

SWI

Shephard Wesnitzer, Inc.

REVISIONS

NO.	DESCRIPTION	DATE	BY
2	SITE PLAN 2ND SUBMITTAL	4/29/2021	

Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA 811

Call 811 or click Arizona811.com

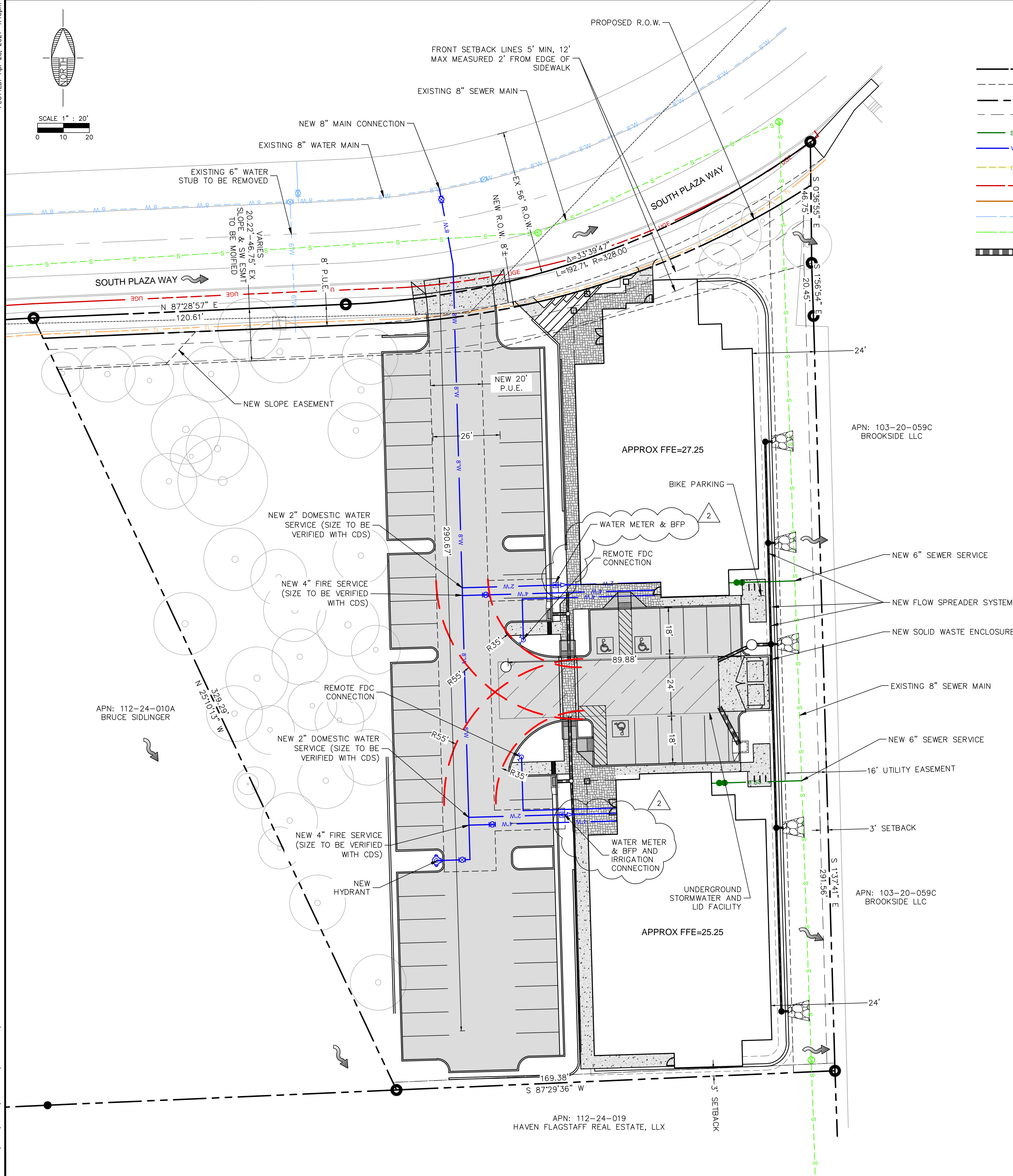
DRAWING NO. SP03

SHT NO. 3 OF 3

PRELIMINARY

NOT FOR CONSTRUCTION,
BIDDING OR RECORDING

FILE: P:\2020\2024\DRAWINGS\SITE PLANS\UTILITY_PLANDWG_SVOSSLER PLOTTED: Apr 28, 2021-4:16pm



PRELIMINARY
NOT FOR CONSTRUCTION,
BIDDING OR RECORDING

REVISIONS				DRAWING NO.	
NO.	DESCRIPTION	DATE	BY	SHT NO.	OF
2	SITE PLAN 2ND SUBMITTAL	4/29/2021		2	3

75 Kallist Place
Scottsdale, AZ 85256
928.282.2058 fax
www.swi-az.com

SWI
Shephard Wesnitzer, Inc.

PLAZA WAY CONDOMINIUMS
SITE PLAN
PRELIMINARY UTILITY PLAN

FLAGSTAFF
ARIZONA

Plaza Way Apartments

Vicinity Map

PZ-20-00100-02

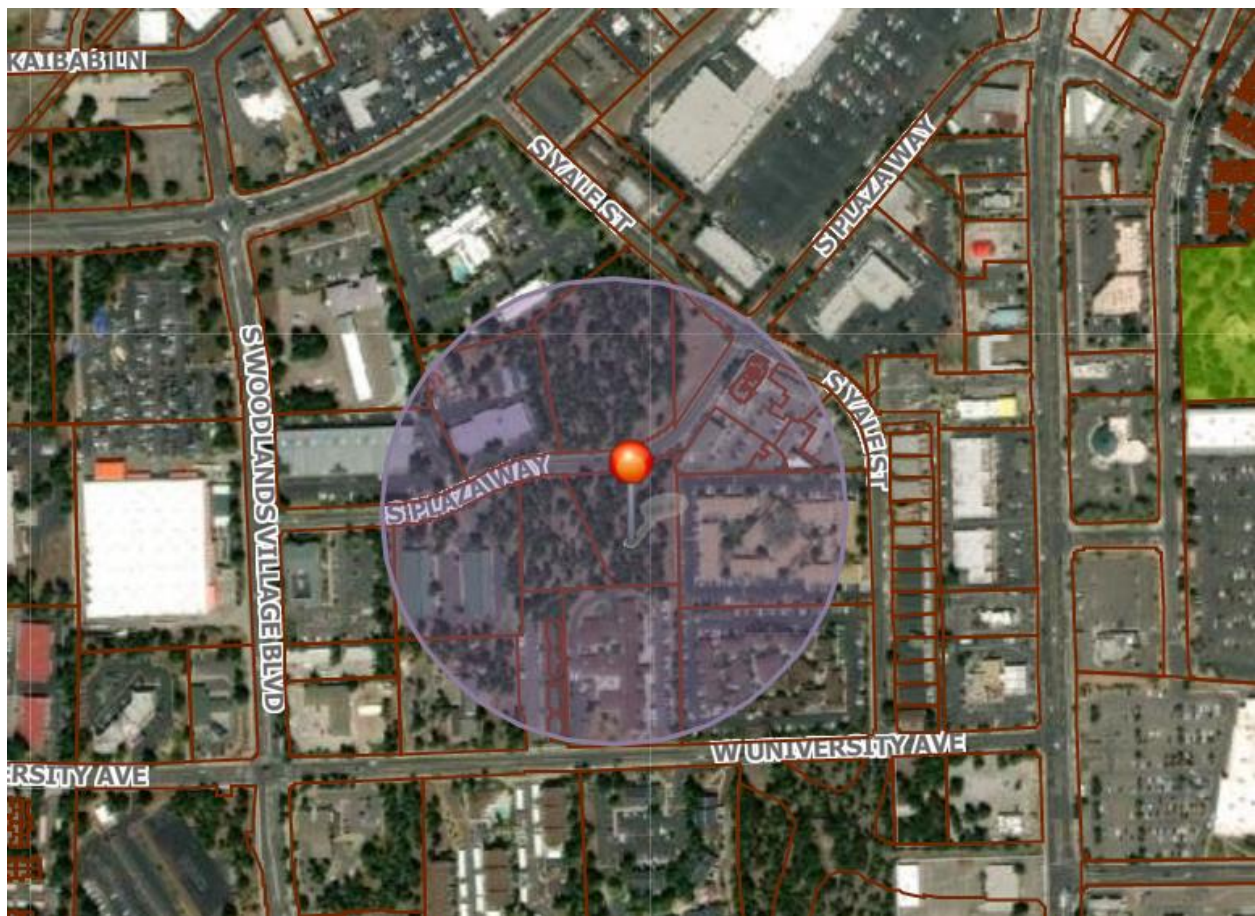
1580 S. Plaza Way, Flagstaff, AZ. 86001

APN: 112-24-010B



1581 S. Plaza Way Apartments

Mailing List Radius



PORTER MICHAEL
1776 N. SCOTTSDALE RD. NO.
1931
SCOTTSDALE, AZ. 85257

BREIT ACG MF STERLING POINTE
LLC
P.O. BOX A3878
CHICAGO, IL. 60690

UNIVERISTY SQUARE
APARTMENTS
P.O. BOX 3568
FLAGSTAFF, AZ. 86003

PADR NOS PATRICK & CHEVON
4140 N. ZERMATT WAY
FLAGSTAFF, AZ. 86004

JAMB PROPERTIES OF
NORTHERN ARIZONA
3191 E. COLD SPRINGS TRAIL
FLAGSTAFF, AZ. 86004

Friends of Flagstaff's Future

P.O. Box 23462
Flagstaff, AZ 86002

Charlie Silver

720 West Aspen Avenue
Flagstaff, AZ 86001

Northern Arizona Association of Realtors, Jeffrey Herd

1515 East Cedar Avenue, Suite C-4
Flagstaff, AZ 86004

Maury Herman

Coast and Mountain Properties
3 North Leroux Street
Flagstaff, AZ 86001

Jess McNeely

Coconino County Community Development
2500 N Fort Valley Rd. Bldg 1
Flagstaff, Az 86001-1287

Rachel Bass

3083 W. Easterday Lane
Flagstaff 86001

Mary Beth Dreusike

US Navy, Intergovernmental Branch
850 Pacific Highway
Building 1 – 5th Floor, Suite 513
San Diego, CA 92132

Nat White

1120 North Rockridge Road
Flagstaff, AZ 86001

Northern Arizona Building Association

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Flagstaff, AZ 86004

Tish Bogan-Ozmun

5271 Mt. Pleasant Drive
Flagstaff, AZ 86004

Jay Christelman

Coconino County Community Development
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Flagstaff, Az 86001-1287

Steve Finch

Flagstaff Lodging, Restaurant &
Tourism Association
PO Box 30622

Norm Wallen

3716 N Grandview
Flagstaff, Az 86004

Dorenda Coleman

Arizona Army National Guard, AZAA-FMO
5636 E McDowell Rd, M5330
Phoenix, AZ 85008

Michele A. James

Executive Director
Friends of Flagstaff's Future
P.O. Box 23462
Flagstaff, Arizona 86002

Betsy McKellar

330 S Ash Lane
Flagstaff, AZ 86004

Marilyn Weissman

1055 East Apple Way
Flagstaff, AZ 86001

Tyler Denham

800 W Forest Meadows St, Apt 119
Flagstaff, AZ 86001

Adrian Skabelund

819 West Grand Canyon Ave.
Flagstaff, AZ 86001

Celia Barotz

3354 N Crest Street
Flagstaff, AZ 86001

David Carpenter

495 S River Run Suite 100
Flagstaff, AZ 86001



**Neighborhood Meeting and Citizen Outreach Plan
for
Plaza Way Apartments
1580 S. Plaza Way, Flagstaff, AZ. 86001
112-24-010B
PZ-20-00100-02
September 24, 2021**

In connection with our application for a Conditional Use Permit, the applicant, Miramonte Acquisitions, LLC, (Miramonte) has formulated this Neighborhood Meeting and Citizen Outreach Plan and welcomes feedback from the City of Flagstaff (the “City”) regarding any of the details set forth herein. The information herein is intended to comply with relevant portions of the Flagstaff Zoning Code (the “Code”), Section 10-20.30.060.

Introduction

Miramonte Acquisitions, LLC is proposing to develop a 1.77-acre parcel located at 1580 S. Plaza Way, Flagstaff, AZ. 86001, Assessor Parcel Number 112-24-010B. The development will consist of two, three story apartment buildings consisting of 40-units and 52 bedrooms, (24) one-bedroom units, (12) two-bedroom units, and (4) studios. One bedroom and studio units will be approximately 723 SF with two-bedroom units approximately 1050 SF. The two buildings total approximately 40,186 SF.

The property is zoned Highway Commercial (HC). Planned Residential Development is allowed in the HC zone with a conditional use permit. The Planned Residential Development (PRD) mechanism will be used, following standards: T4.N2 Transect Zone.

Neighborhood Meeting

A. Purpose

Miramonte understands the purpose of the required neighborhood meeting to encompass the following goals:

- Encourage Miramonte to allow for informed decision making through the dissemination of proposals and alternatives. *See Code Section 10-20.30.060(B)(1).*
- Ensure that Miramonte pursues early and effective citizen participation in conjunction with its applications, giving it the opportunity to understand and try to mitigate any real or perceived impacts its applications may have on the community. *See Code Section 10-20.30.060(B)(2).*
- Ensure that the citizens and property owners within the community have an adequate opportunity to learn about how Miramonte's applications may affect them and to work with Miramonte to resolve concerns at an early stage of the process. *See Code Section 10-20.30.060(B)(3).*
- Facilitate ongoing communication between Miramonte potentially affected citizens and adjacent property owners, City staff, Planning Commissioners and elected officials throughout the application review process. *See Code Section 10-20.30.060(B)(4).*

B. Applicability and Requirements

Miramonte understands its application will require it to hold a neighborhood meeting and that it is responsible for the costs associated with the meeting. If the Director requires as much, Miramonte will host additional neighborhood meetings. Miramonte would like to schedule the first neighborhood meeting on **November 1st, 2021.**

C. Neighborhood Meeting Plan

Pursuant to Code Section 10-20.30.060(C)(2), Miramonte's plan for how it intends to conduct the neighborhood meeting must be submitted to and approved by the Director in compliance with the review schedule. In anticipation of this requirement, Miramonte includes the following proposed plan for conducting the neighborhood meeting. The neighborhood meeting will be hosted at a suitable gathering location at or near the proposed project site. Miramonte may hold the public meeting(s) at the subject site, if it is determined to be a suitable location for the meeting(s). Miramonte intends to hold in-person meetings, assuming that social distancing requirements caused by the COVID-19 pandemic can be met. If in-person meetings are not feasible as a result of the pandemic, then Miramonte will either delay the meeting until such time as in-person meeting can be suitably held or it will conduct the meeting virtually, if approved by the Director. Again, while Miramonte has determined the location, date and time of the neighborhood meeting, it will include such information in its plan sent to the Director in compliance with the review schedule.

While the Director may determine that additional notices are required, Miramonte will, at a minimum, provide notices, via first class mail and email (if available) to the following parties:

- Property owners, citizens, jurisdictions and public agencies within 600 feet of the proposed project;
- The head of any homeowners association, or community/neighborhood representative within 1,000 feet of the proposed project;
- All persons or groups whose names are on the registry of persons and groups described in Code Section 10-20.30.080(B) who are interested in receiving such notice; and
- If required by the Director, to any party falling within an expanded notification area.

Further, Miramonte will post a sign on the subject property. The sign posted on the subject property will be at least 4' x 4' and will be clearly visible from Woody Mountain Road and will have an attached information tube containing copies of the meeting notice. This sign will be installed at least 10 days prior the neighbor meeting. In addition, each of these notices will set forth the purpose and substance of the proposed application, and the time, date and place of the neighborhood meeting. Miramonte will submit a copy of such notice to the Director.

At the meeting(s), Miramonte will circulate a sign-in sheet (or collection of participant information for a virtual meeting), and will provide an introduction of the proposed development, with an overview of the development's design and goals. After Miramonte provides an overview of the proposed project, Miramonte will engage in a charrette-style interaction, encouraging attendees' written contribution of any comments or concerns about the proposed development, and in particular will solicit attendees' desired community outcomes. For a virtual meeting, Miramonte will invite contribution of comments and concerns to be submitted in advance of the meeting via email and at the meeting via chat features through the online meeting service. Upon collection of the attendees' written responses, Miramonte will discuss some of the comments received and facilitate an open forum discussion with attendees. Miramonte will provide attendees with contact information to permit follow up discussions with any interested participant.

D. Record of Proceedings

Pursuant to Code Section 10-20.30.060(F), after the meeting(s), Miramonte will create a written summary of the meeting(s) and will submit the report to the Director in its next formal submission. The report will include the information specified in Code Section 10-20.30.060(F), including (i) certification, on a form established by the Director, that the meeting was properly noticed and conducted; (ii) dates and locations of all meetings; (iii) a copy of the notices provided, including dates and number of mailings or deliveries; (iv) a copy of the mailing list and a summary of where residents, property owners, and potentially affected citizens receiving notices, newsletters, or other written materials were located; (v) the number and names of people that participated in the process based on the sign-in sheet; and a dated photograph of the sign installed on the subject property, as discussed above.

In addition, Miramonte's report will contain a summary of concerns, issues and problems expressed during the neighborhood meeting(s), including: (i) the substance of the concerns, issues, and

problems raised during the process; (ii) how Miramonte has responded to these comments. Further, Miramonte's responses will be included in an associated report.

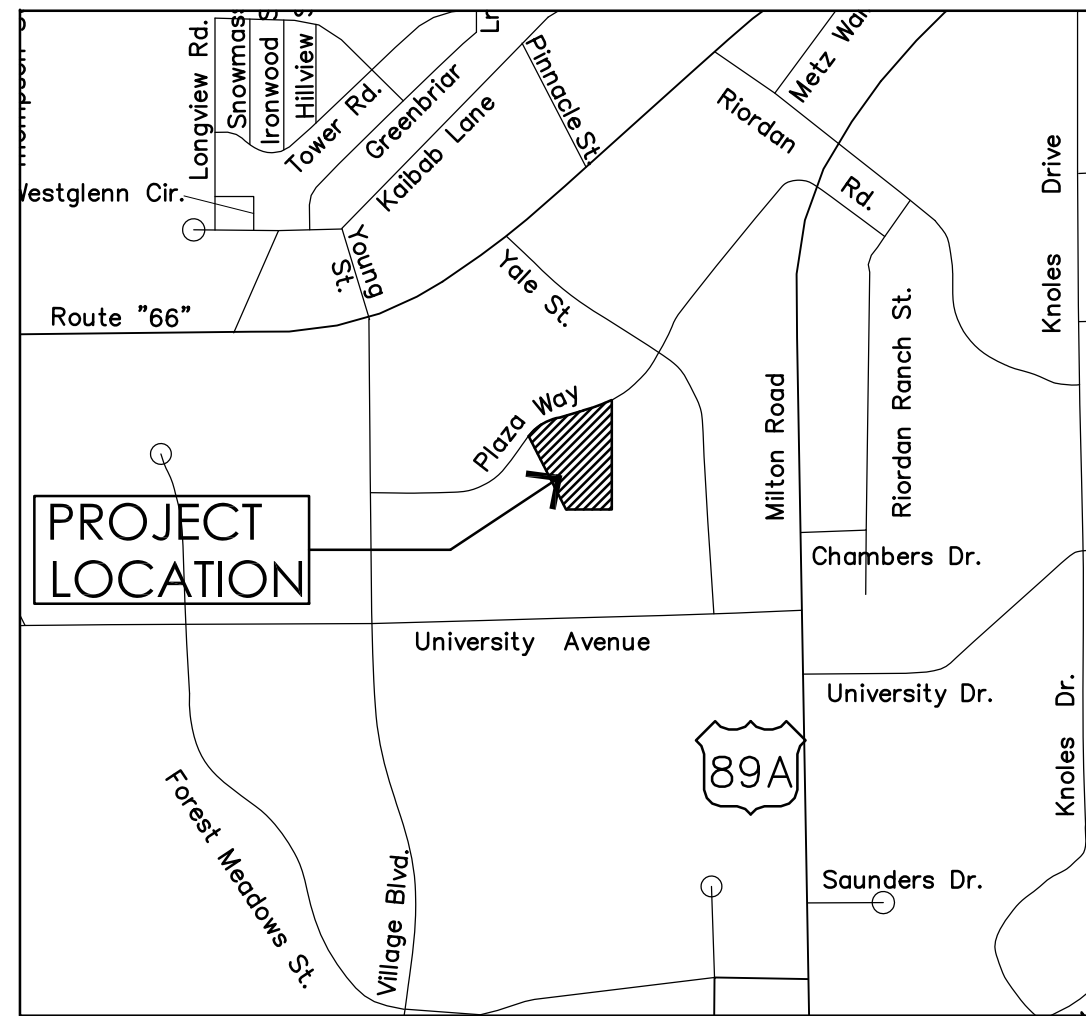
Finally, Miramonte will provide a copy of the written summary to all attendees who recorded their name on the sign-in sheet. Miramonte welcomes any feedback from the City regarding its proposed neighborhood meeting plan.

Notice of Public Hearings

A. Planning Commission Public Hearing

In addition to the neighborhood meeting(s), the Director must schedule a hearing with the Planning Commission to provide additional opportunities for interested members of the public to be informed of and provide comments on Miramonte's development proposals. Miramonte will notice the public hearing as required by Code Section 10-20.30.080.

As indicated above, Miramonte understands the need for heightened community involvement throughout the application process and welcomes the City's input on any of the information and plans set forth herein. To the extent not expressly indicated, Miramonte intends to conduct the neighborhood meeting(s) and citizen outreach in accordance with the requirements of the Code.



VICINITY MAP
NTS
NORTH

SITE ANALYSIS:

TOPOGRAPHY:	CONTOUR LINES SHOW GRADUAL SLOPE TO THE EAST.
SOLAR ORIENTATION OR ASPECT:	GENERAL PATH OF POTENTIAL EXPOSURE SHOWN
EXISTING OR NATIVE VEGETATION TYPES AND QUALITY:	EXISTING/ NATIVE HEALTHY PONDEROSA PINE FOREST
VIEW CORRIDORS:	VIEW TO PONDEROSA PINE FOREST ACROSS THE STREET AND WEST OF PROPERTY
CLIMATIC CONSIDERATIONS:	FLAGSTAFF HIGH DESERT CLIMATE
SUBSURFACE CONDITIONS:	OBSERVED BASALT SURFACE
DRAINAGE SWALES AND STREAM CORRIDORS:	NONE
BUILT ENVIRONMENT AND LAND USE CONTEXT:	N: VACANT LOT S: EXIST. ASSISTED LIVING FACILITY E: EXIST. APARTMENT COMPLEX W: VACANT LOT

THIS SITE IS LOCATED WITHIN THE RESOURCE PROTECTION OVERLAY ZONE
COORD. w/ CIVIL DRAWINGS PREPARED BY SWI, INC. FOR ALL SITE, & UTILITY IMPROVEMENTS, & RESOURCE PROTECTION, TYP.

1 PRELIMINARY SITE PLAN
AS1.1 SCALE: 1"=20'



GENERAL PROJECT DATA

PROJECT DESCRIPTION:	(2) NEW 20 UNIT "APARTMENT BUILDINGS" ON EXISTING VACANT LOT.
SITE ADDRESS:	1580 S. PLAZA WAY FLAGSTAFF AZ, 86001
PROPERTY OWNER:	AXXO HOLDINGS LLC FLAGSTAFF AZ, 86001 CONTACT/ DEVELOPER: MATT PEACE PHONE: 699-1245
ARCHITECT:	SMITH ARCHITECTS, inc 1503 S. YALE ST., SUITE 200 FLAGSTAFF, AZ 86001 CONTACT: RYAN SMITH
APN:	112-24-0108
ZONING DISTRICT:	HIGHWAY COMMERCIAL-PRD, T4N.2
SUBDIVISION:	WOODLANDS VILLAGE
SITE AREA:	1.71 ACRES (74,487 S.F.)
BUILDING AREA:	20,093 SF PER BUILDING
PARKING REQUIRED:	1.25 PER STUDIO: 4-STUDIO = 5 SPACES 1.5 PER 1 BD: 24-1 BD = 36 SPACES 2 PER 2+ BD: 12-2BD 24 SPACES 25 PER 2+ BD: 12-2BD 6 SPACES TOTAL REQUIRED: 71 SPACES
PARKING REDUCTIONS:	MOTORCYCLE: *A REDUCTION OF ONE SPACE MAY BE ALLOWED IF ONE MOTORCYCLE SPACE FOR EVERY 25 REQUIRED MOTOR VEHICLE SPACES IS PROVIDED. 2 MOTORCYCLE SPACES PROVIDED 1 PARKING SPACE REDUCTION TRANSIT STOP (NEAREST @ S. WOODLANDS VILLAGE BLVD.): *A REDUCTION OF UP TO 10% IF WITHIN 1/4 MI. OF A BUS STOP. 71 X 10% = 7.1 7 PARKING SPACE REDUCTION BICYCLE PARKING: *A REDUCTION OF ONE SPACE FOR EACH FOUR BICYCLE SPACES PROVIDED TO A MAX. OF 5% OF THE REQUIRED MOTOR VEHICLE SPACES. 12 BICYCLE SPACES PROVIDED 3 PARKING SPACE REDUCTION 3 APPLICABLE PARKING SPACE REDUCTIONS TOTAL TOTAL REQUIRED 71-11 = 60 SPACES
PARKING PROVIDED:	57 STANDARD VEHICLE SPACES 3 ACCESSIBLE SPACES 60 TOTAL VEHICLE SPACES 2 MOTORCYCLE SPACES 12 BICYCLE SPACES
GARBAGE COLLECTION:	NEW DOUBLE DUMPSTER ENCLOSURE
OCCUPANCY GROUP:	R-2
BUILDING SETBACKS:	FRONT: 5' MIN.; 12' MAX. FACADE ZONE: 10' MIN.; 15' MAX. SIDE: 3' MIN. REAR: 3' MIN.
DENSITY:	GROSS DENSITY WITH THE RPO INSIDE OF A PEDESTRIAN SHED OF AN ACTIVITY CENTER = 29 29 X 1.71 = 49.59 UNITS ALLOWED. PROPOSED: 40 UNITS

SITE PLAN LEGEND

	HATCH INDICATES APPROX. NEW BUILDING FOOTPRINT
	EXIST. PONDEROSA PINE TREE TO REMAIN
	EXIST. PONDEROSA PINE TREE TO BE REMOVED

REVISION: DATE:

COF COMMENTS2-16-21

COF COMMENTS3-24-21

PLAZA WAY APARTMENTS

1580 S. PLAZA WAY

FLAGSTAFF, ARIZONA

smith ARCHITECTS inc.

ARCHITECTURE | PLANNING | COLLABORATION

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PRELIMINARY
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DRAWN BY: T.SCANTLEBURY REVIEW BY: R.SMITH

PROJECT NO.: 2020-16

DATE: FEBRUARY 2, 2021

SHEET:

AS1.1

ARCHITECTURAL SITE PLAN

PH: 928.779.5993

www.smith-arc.com

1503 S. YALE STREET, SUITE 200
FLAGSTAFF, ARIZONA 86001



NORTH BUILDING 'A' ELEVATION
SCALE: 1/8"=1'-0"



NORTH BUILDING 'B' ELEVATION
SCALE: 1/8"=1'-0"



SOUTH BUILDING 'A' ELEVATION
(SOUTH BUILDING 'B' ELEVATION SIM.)
SCALE: 1/8"=1'-0"



WEST BUILDING 'A' ELEVATION
(WEST BUILDING 'B' ELEVATION SIM.)
SCALE: 1/8"=1'-0"

EXTERIOR FINISH LEGEND & SCHEDULE

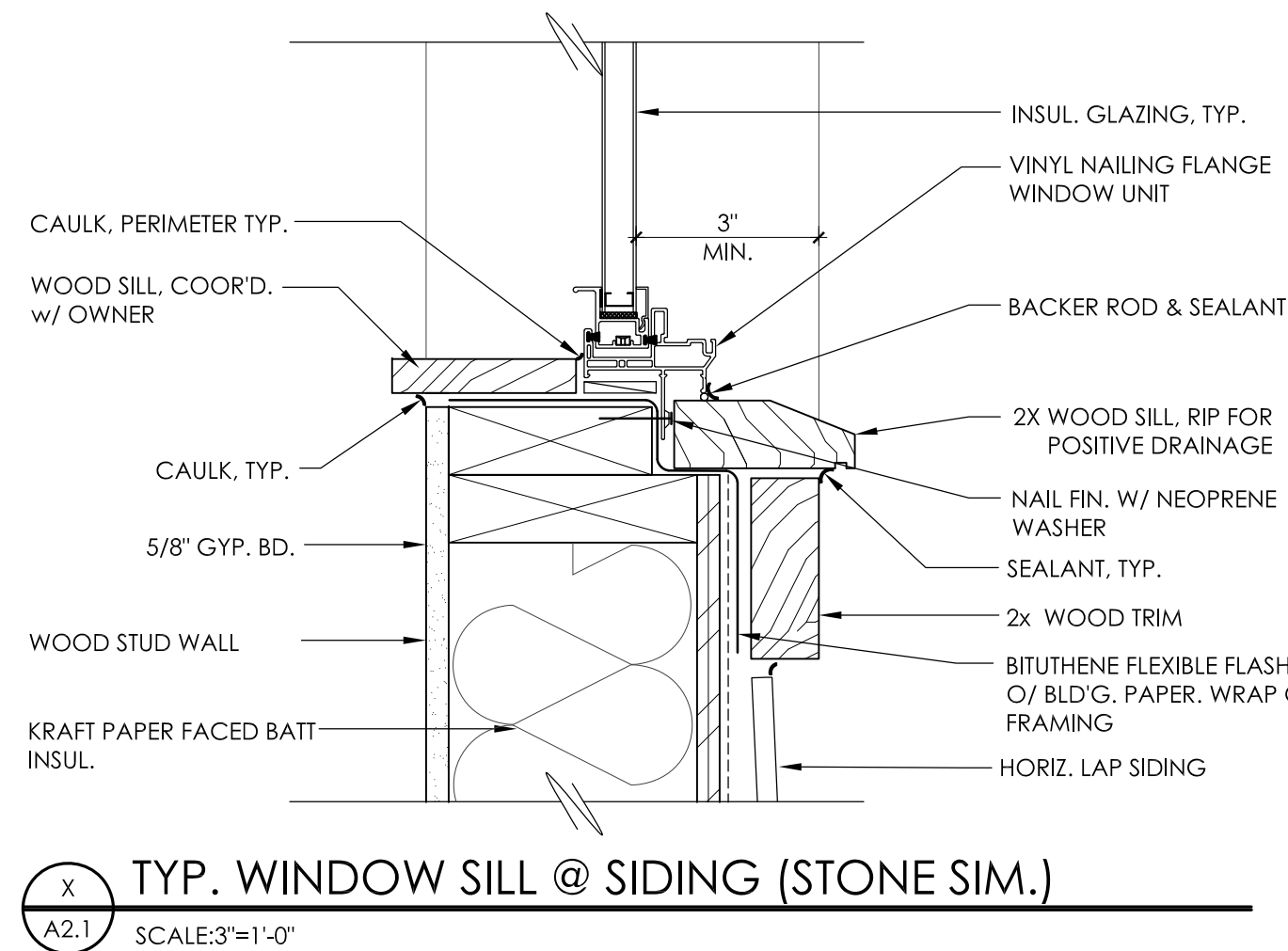
LEGEND	MATERIAL	DESCRIPTION / COLOR
	COMPOSITE SHINGLES	HIGH DEFINITION ASPHALT COMPOSITE SHINGLES "GAF, TIMBERLINE HD" OR EQUAL o/ (1) LAYER 40# FELT o/ ROOF STRUCTURE COLOR/ FINISH: WEATHERED WOOD
	STANDING SEAM MTL. ROOF/ SIDING	STANDING SEAM MTL. ROOF PANEL COLOR/ FINISH: DARK BRONZE
	HORIZONTAL LAP SIDING	FIBER CEMENT HORIZONTAL WOOD LAP SIDING w/ 8" EXPOSURE.
	BOARD & BATT SIDING	FIBER CEMENT 1 X4 BATTEN o/ 1 X12 BOARD
	NATURAL STONE VENEER	NATURAL MALAPAI STONE VENEER.
	MASONRY	SPLIT-FACE CONCRETE MASONRY UNITS COLOR/ FINISH: STANDARD CONCRETE GRAY

COLOR LEGEND

ACCENT	SHERWIN WILLIAMS "ATTITUDE GRAY"-SW 7060 LRV: 20	TRIM	SHERWIN WILLIAMS "STUDIO CLAY"-SW 9172 LRV: 27
BODY	SHERWIN WILLIAMS "LAUREL WOODS"-SW 7749 LRV: 6	CORBEL	SHERWIN WILLIAMS "REQUISITE GRAY"-SW 7023 LRV: 45

KEYED NOTES:

- FIBER CEMENT LAP SIDING
- STONE VENEER
- WOOD SUPPORT COLUMNS
- ALUM. STOREFRONT DOOR
- ALUM. STOREFRONT SYSTEM
- SPLIT-FACE CMU'S
- HORIZONTAL STL. GUARDRAIL
- PRE-CAST CONC. CAP
- RETAINING WALL
- VINYL WINDOW UNIT
- APPROX. FINISH GRADE. COOR'D. w/ CIVIL DWG'S.
- ROUGH SAWN PERGOLA FRAMING
- APPROX. MECH./ ELEC. EQUIPMENT TO BE SCREENED FROM PUBLIC WAY.



TYP. WINDOW SILL @ SIDING (STONE SIM.)
SCALE: 3"=1'-0"



EAST BUILDING 'A' ELEVATION
(EAST BUILDING 'B' ELEVATION SIM.)
SCALE: 1/8"=1'-0"

REVISION:	DATE:
COF COMMENTS	3-24-21

PLAZA WAY APARTMENTS
1580 S. PLAZA WAY
FLAGSTAFF, ARIZONA

smith ARCHITECTS inc.
ARCHITECTURE | PLANNING | COLLABORATION
PH: 928.779.5993
www.smith-arc.com
1503 S. YALE STREET, SUITE 200
FLAGSTAFF, ARIZONA 86001

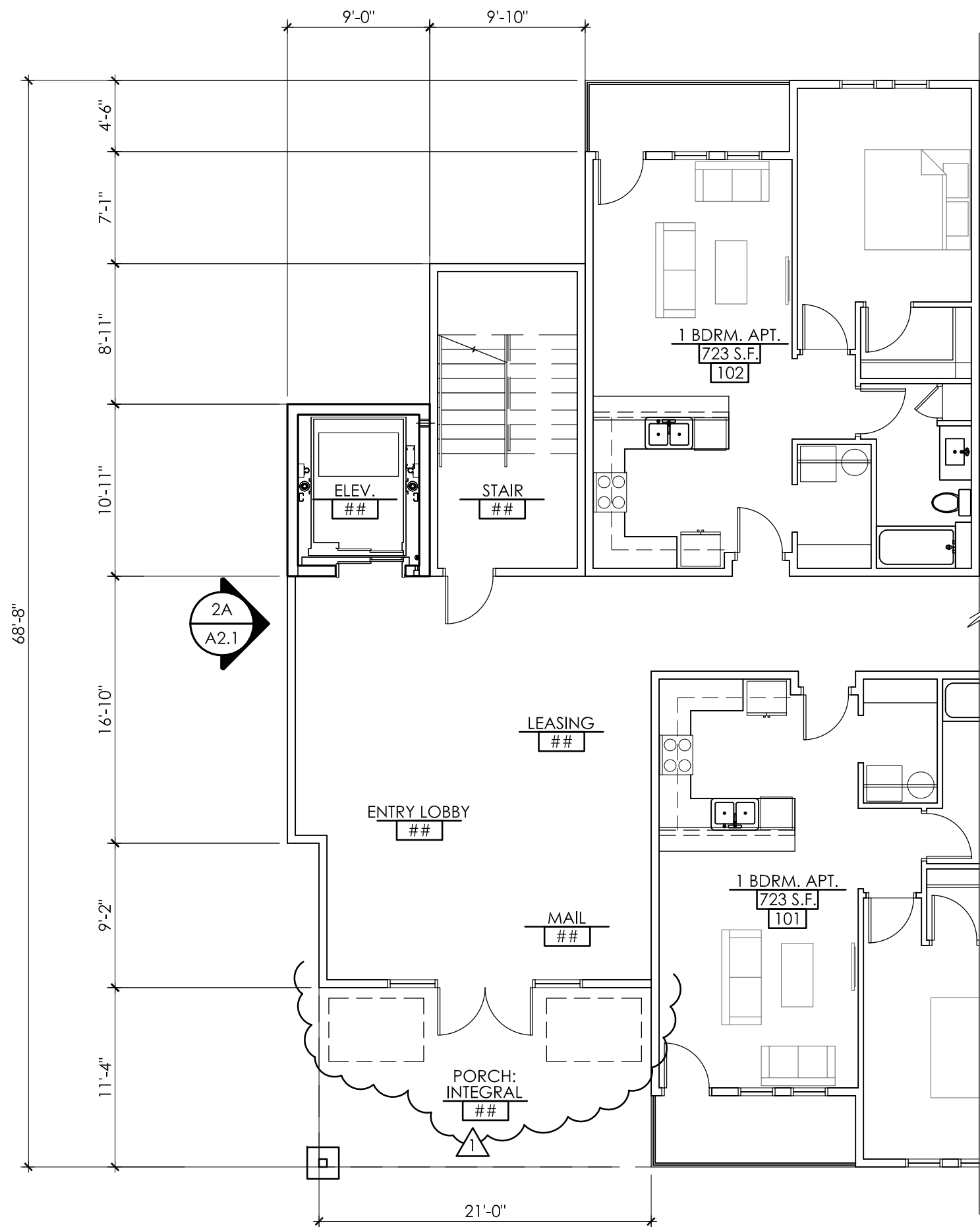
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I.SCANTLEBURY	R.SMITH
PROJECT NO.:	
2020-16	
DATE:	
FEBRUARY 2, 2021	
SHEET:	

A2.1
BUILDING ELEVATIONS

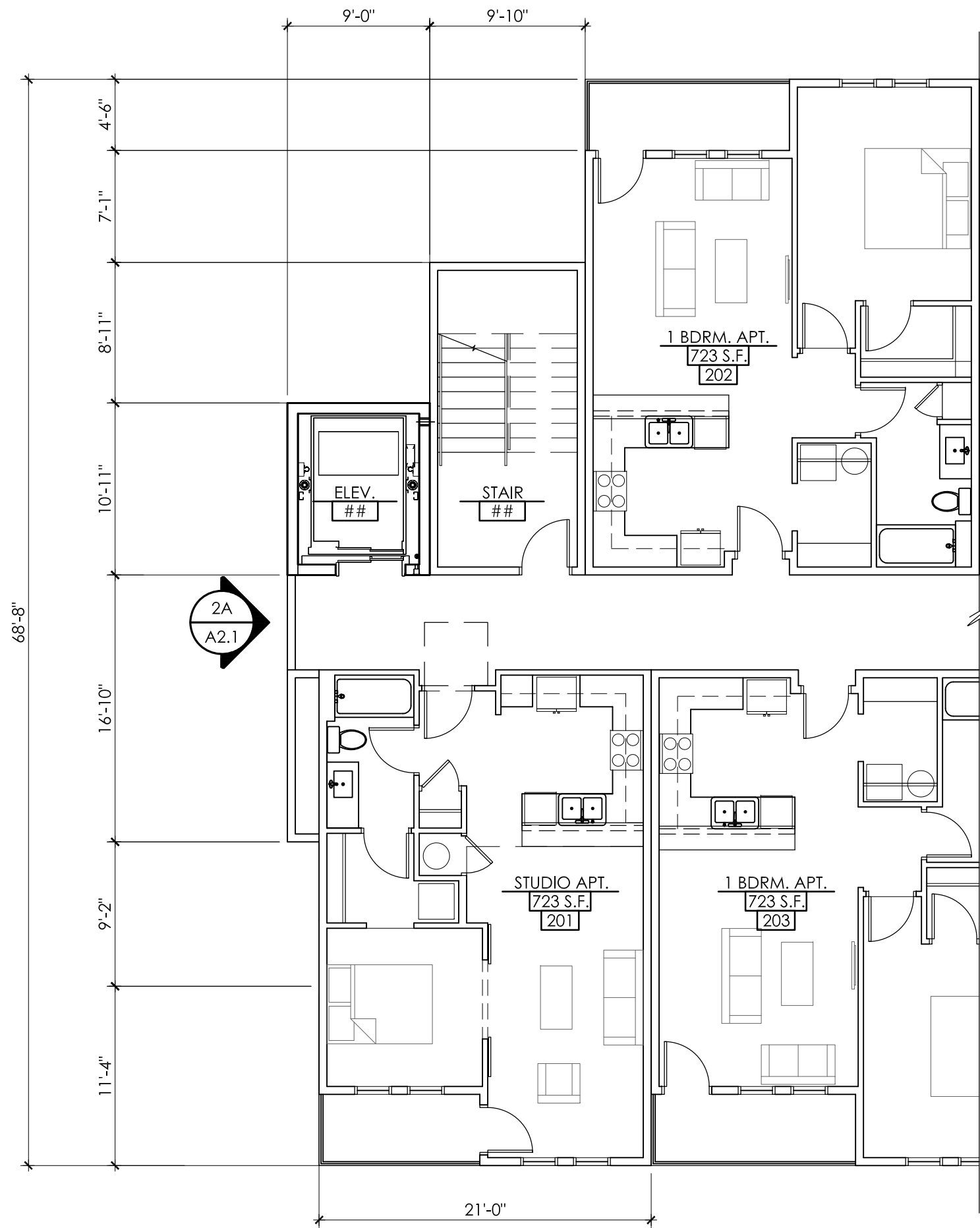
FILE: 1902_A1.1.dwg LAST UPDATE: 12-05-19 LAST PLOT: 12-05-19



**BUILDING 'B' PARTIAL
FIRST FLOOR PLAN**

SCALE: 1/8"=1'-0"
* ALL INTERIOR PARTITIONS WILL BE 10'-0" HIGH U.N.O.

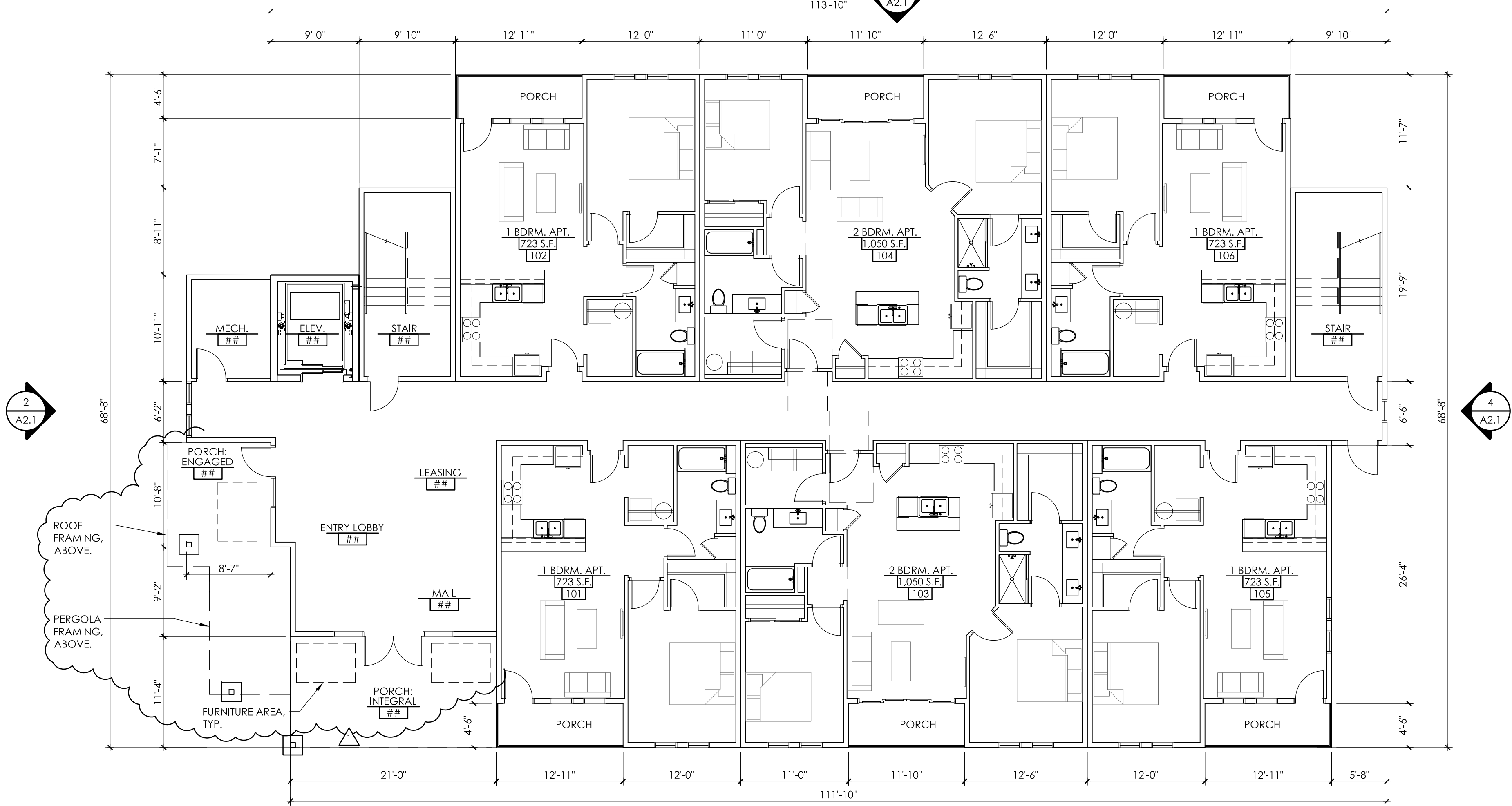
NORTH



**BUILDING 'B' PARTIAL
SECOND FLOOR PLAN**

SCALE: 1/8"=1'-0"
* ALL INTERIOR PARTITIONS WILL BE 10'-0" HIGH U.N.O.

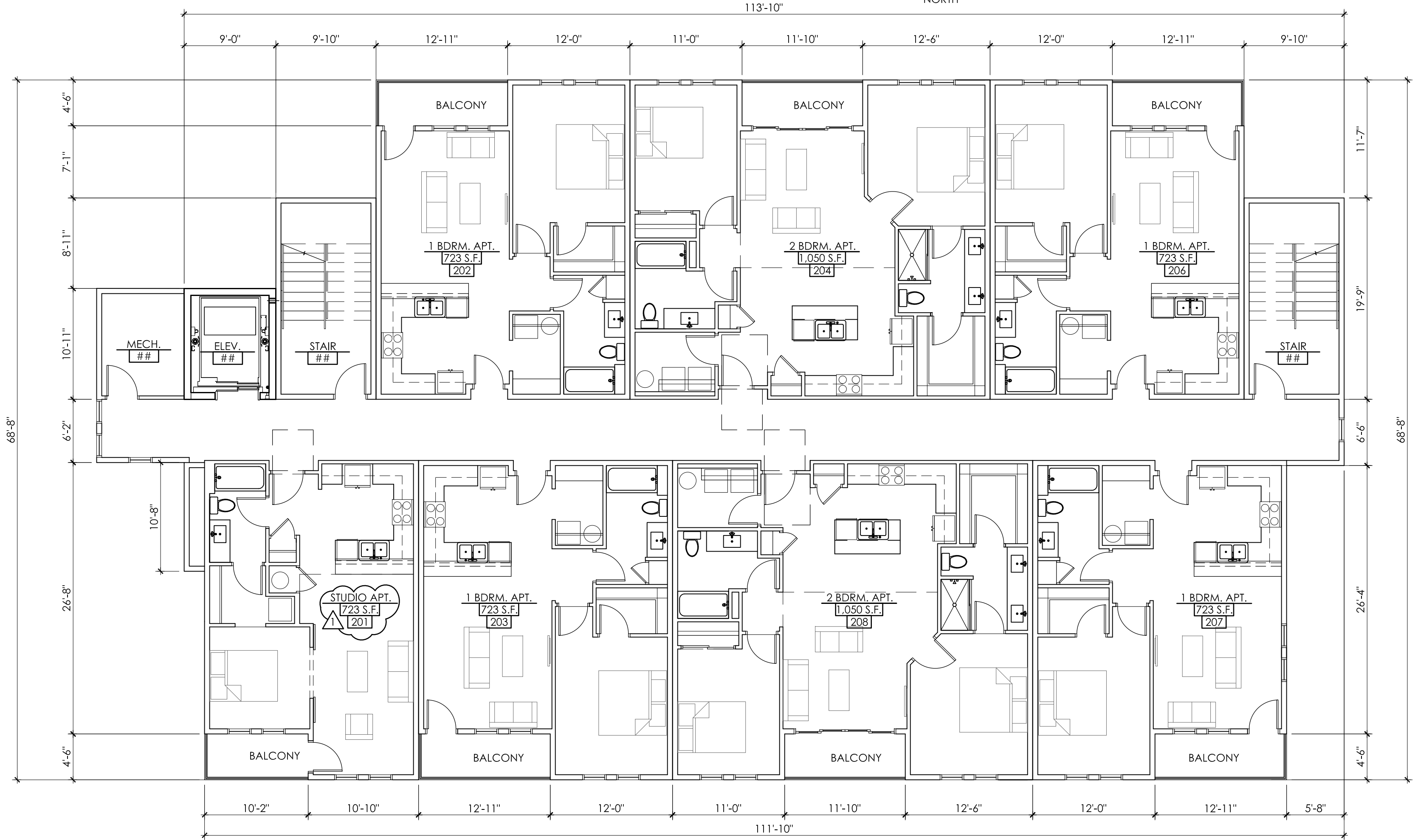
NORTH



BUILDING 'A' FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"
* ALL INTERIOR PARTITIONS WILL BE 10'-0" HIGH U.N.O.

NORTH



BUILDING 'A' SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"
* ALL INTERIOR PARTITIONS WILL BE 10'-0" HIGH U.N.O.

NORTH

REVISION:	DATE:
A2.1	3-24-21
COF COMMENTS	

PLAZA WAY APARTMENTS

1580 S. PLAZA WAY
FLAGSTAFF, ARIZONA

smith ARCHITECTS inc.
ARCHITECTURE | PLANNING | COLLABORATION

PH: 928.779.5993
FX: 928.774.0785

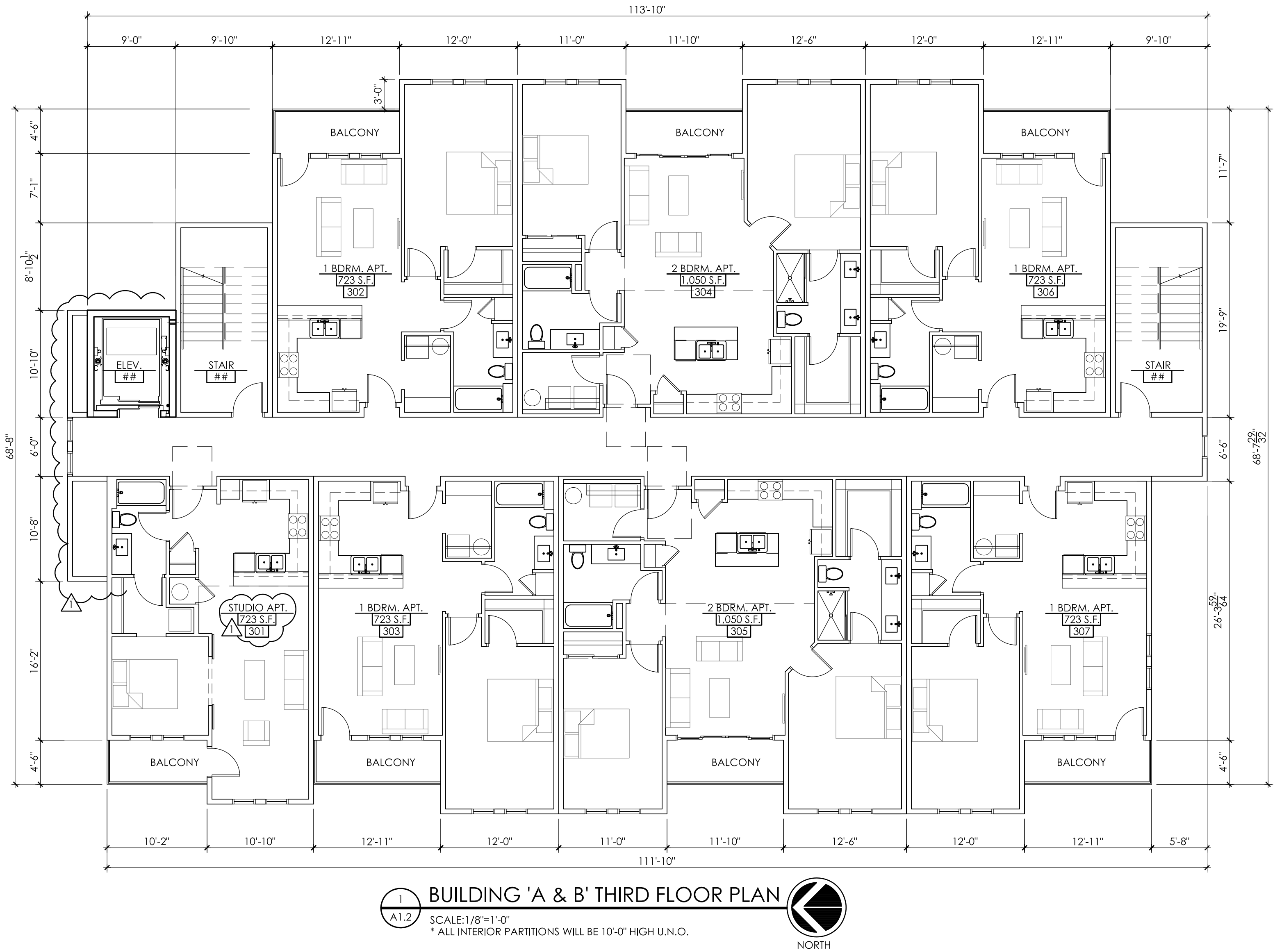
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T. SCANTLEBURY	R. SMITH
PROJECT NO.:	
2020-16	
DATE:	
FEBRUARY 2, 2021	
SHEET:	

A1.1
FLOOR PLANS



REVISION:	DATE:
COF COMMENTS	3-24-21

PLAZA WAY APARTMENTS
1580 S. PLAZA WAY
FLAGSTAFF, ARIZONA

smith

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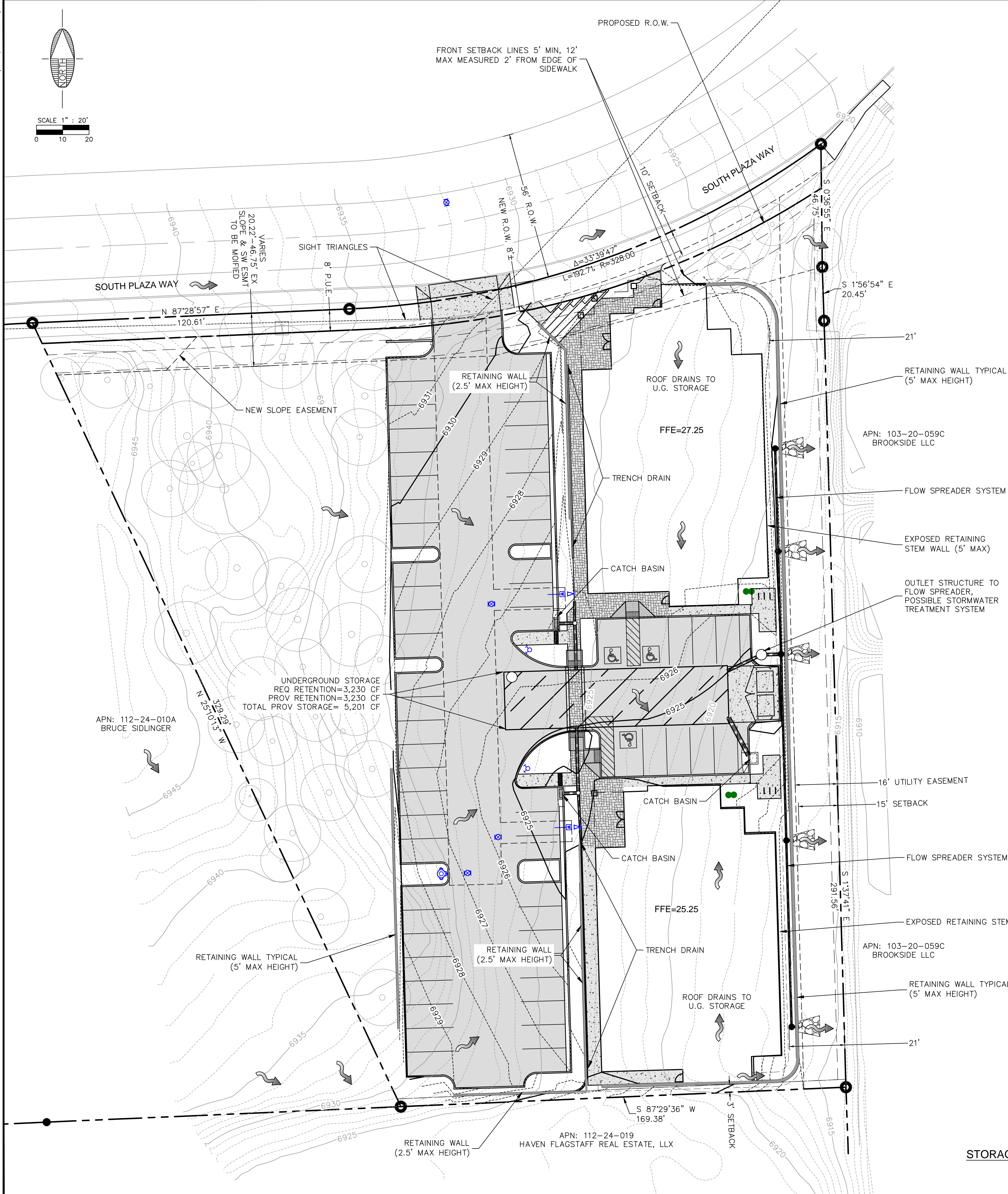
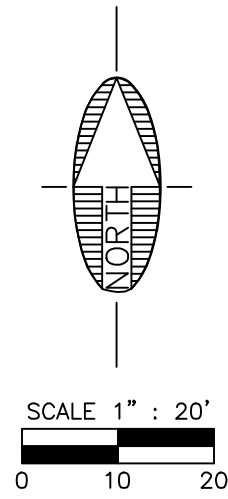
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DRAWN BY:	REVIEW BY:
T.SCANTLEBURY	R.SMITH
PROJECT NO.:	
2020-16	
DATE:	
FEBRUARY 2, 2021	
SHEET:	

A1.2

FLOOR PLANS

FILE: P:\2020\2024\DRAWINGS\SITE PLANS\SITE PLAN-GRADING_AND_DRAINAGE_PLAN.DWG SYOSSLER
PLOTTED: Apr 28, 2021-4:12pm



CIVIL SITE PLAN

FOR

PLAZA WAY CONDOMINIUMS

1580 S. PLAZA WAY

FLAGSTAFF, ARIZONA

PORTION OF LOT 10, WOODLANDS VILLAGE UNIT 1, AS SHOWN BY RECORD OF SURVEY RECORDED AS INSTRUMENT 3487631, AND CASE 4 MAPS, PG 62-62A. LOCATED IN SECTION 21, TOWNSHIP 21 NORTH, RANGE 7 EAST GILA AND SALT RIVER MERIDIAN, COCONINO COUNTY, FLAGSTAFF, ARIZONA

PROPERTY OWNER/DEVELOPER:

AXXO HOLDINGS, LLC
FLAGSTAFF, AZ 86001
CONTACT: MATT PEACE

PROJECT ARCHITECT

SMITH ARCHITECTS, INC.
1503 S. YALE ST. SUIT 200
FLAGSTAFF, AZ 86001
(928) 779-5993
CONTACT: RYAN SMITH

PROJECT ENGINEER:

SHEPHARD-WESNITZER INC.
110 WEST DALE AVE.
FLAGSTAFF, AZ 86001
(928) 773-0354
CONTACT: STEPHEN IRWIN

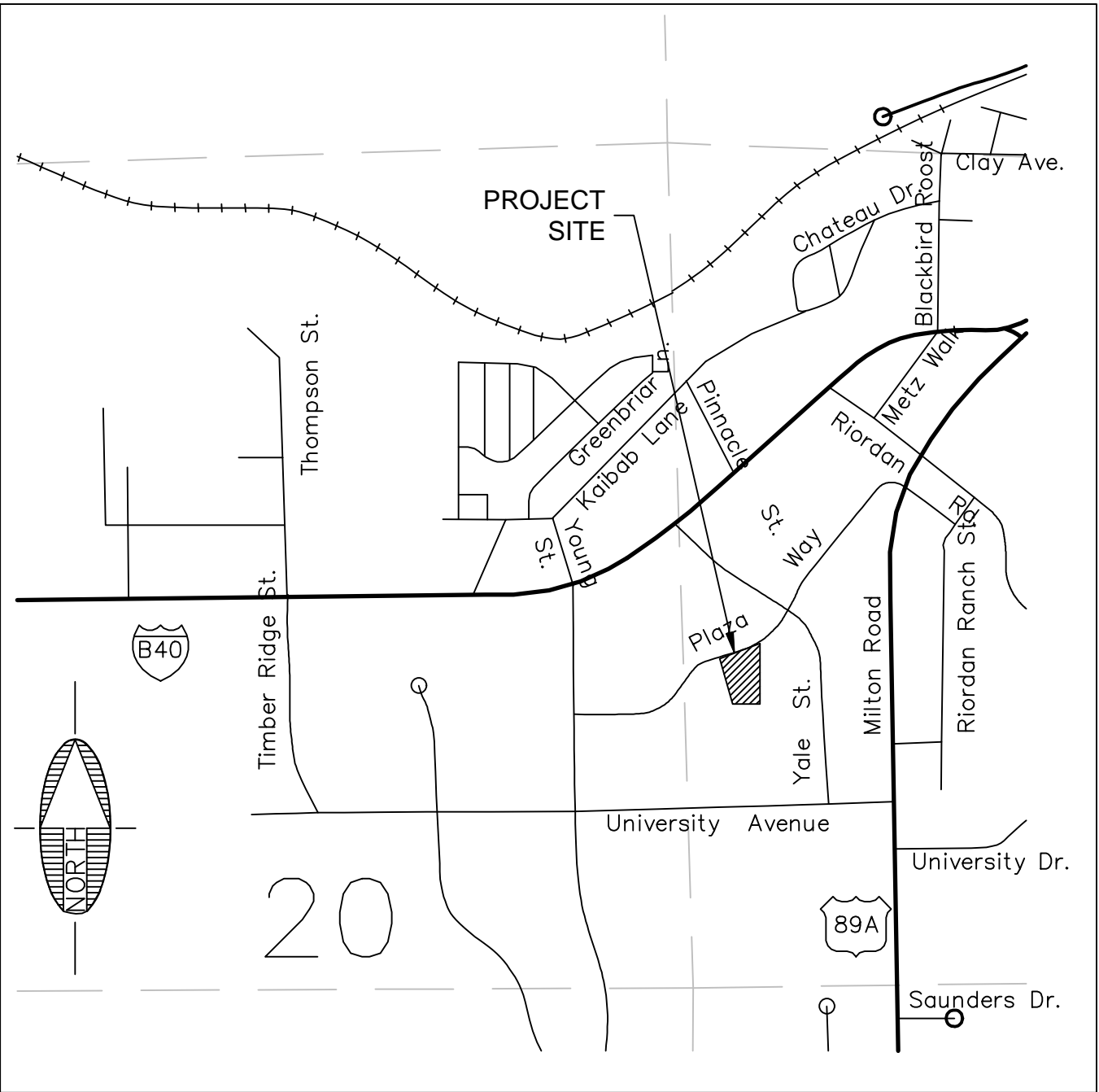
PROJECT INFORMATION

SITE ADDRESS: 1580 S. PLAZA WAY
FLAGSTAFF, AZ 86001

APNS: 112-24-010B

AREA: GROSS: 1.71 ACRES (74,487 SF)
NET: 1.91 ACRES (83,168 SF)
BLDG: 13,732 SF (18% COVERAGE)

ZONING: HIGHWAY COMMERCIAL-PRD



VICINITY MAP
N.T.S.

LEGEND

- ROW
- EASEMENT
- LOT LINE
- SETBACK
- STORM DRAIN PIPE
- FIRE HYDRANT
- GATE VALVE
- EX SEWER MANHOLE
- STORM DRAIN MANHOLE
- CATCH BASIN
- LIGHT POLE

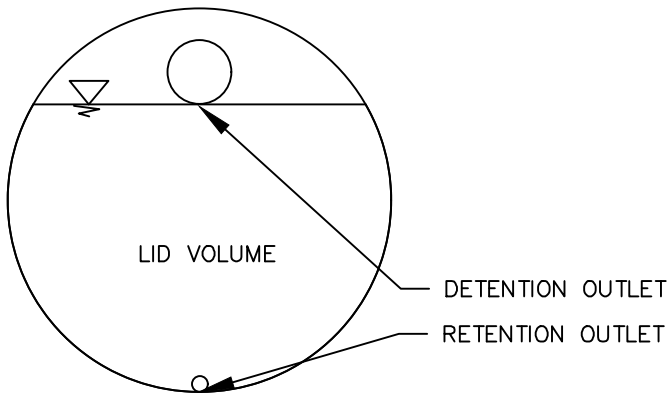
IMPERVIOUS AREA SUMMARY

PRE-DEVELOPMENT IMPERVIOUS AREA = 0 SF
POST-DEVELOPMENT IMPERVIOUS AREA = 38,768 SF
NEW IMPERVIOUS AREA = 38,768 SF

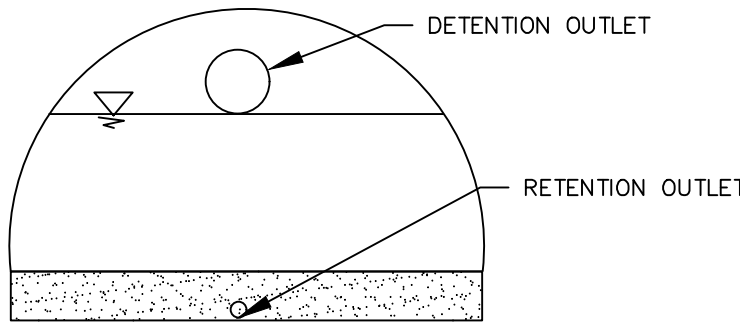
1" LID VOLUME = 3,230 CF
LID AND DETENTION ARE REQUIRED AND WILL BE PROVIDED IN UNDERGROUND STORAGE TANKS.

FEMA DESIGNATION:

THIS PROJECT IS LOCATED WITHIN ZONE X OF FEMA FIRM MAP #04005C6816G, EFFECTIVE SEPTEMBER 3, 2010. ZONE X IS DESCRIBED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.





STORAGE TANK OUTLET SECTION

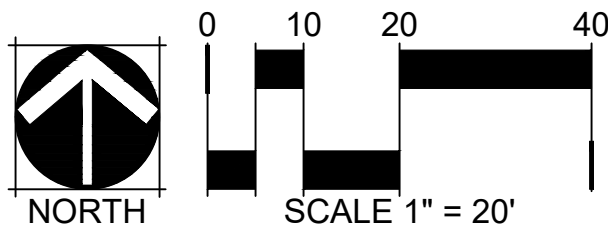
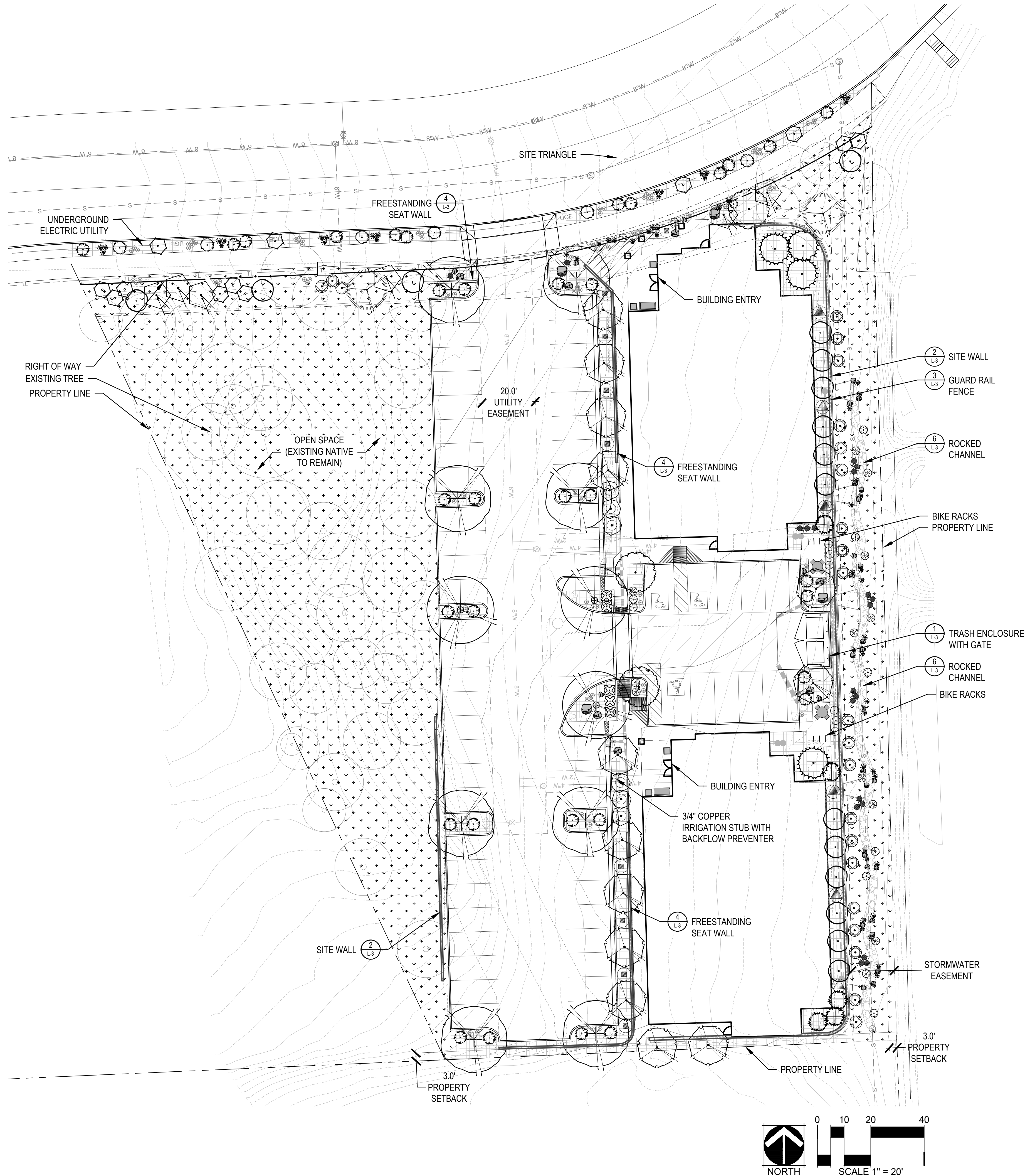


STORAGE TANK OUTLET SECTION
(ALTERNATE DESIGN)

PRELIMINARY

NOT FOR CONSTRUCTION,
BIDDING OR RECORDING

Contact Arizona 811 at least two full working days before you begin excavation		DRAWING NO.		JOB NO: 20243		PLAZA WAY CONDOMINIUMS		FLAGSTAFF ARIZONA	
 Call 811 or click Arizona811.com		SHT NO. 1		OF 3		75 Kalliof Place Sedona, AZ 86336 928.282.1061 928.282.2058 fax		DATE: APR 21	
								SCALE: AS SHOWN	
								DRAWN: SJV	
								DESIGN: SVJ	
								CHECKED: SCJ	
								www.swiaz.com	
								SITE PLAN	
								PRELIMINARY GRADING & DRAINAGE PLAN	
								Shephard  Wesnitzer, Inc.	



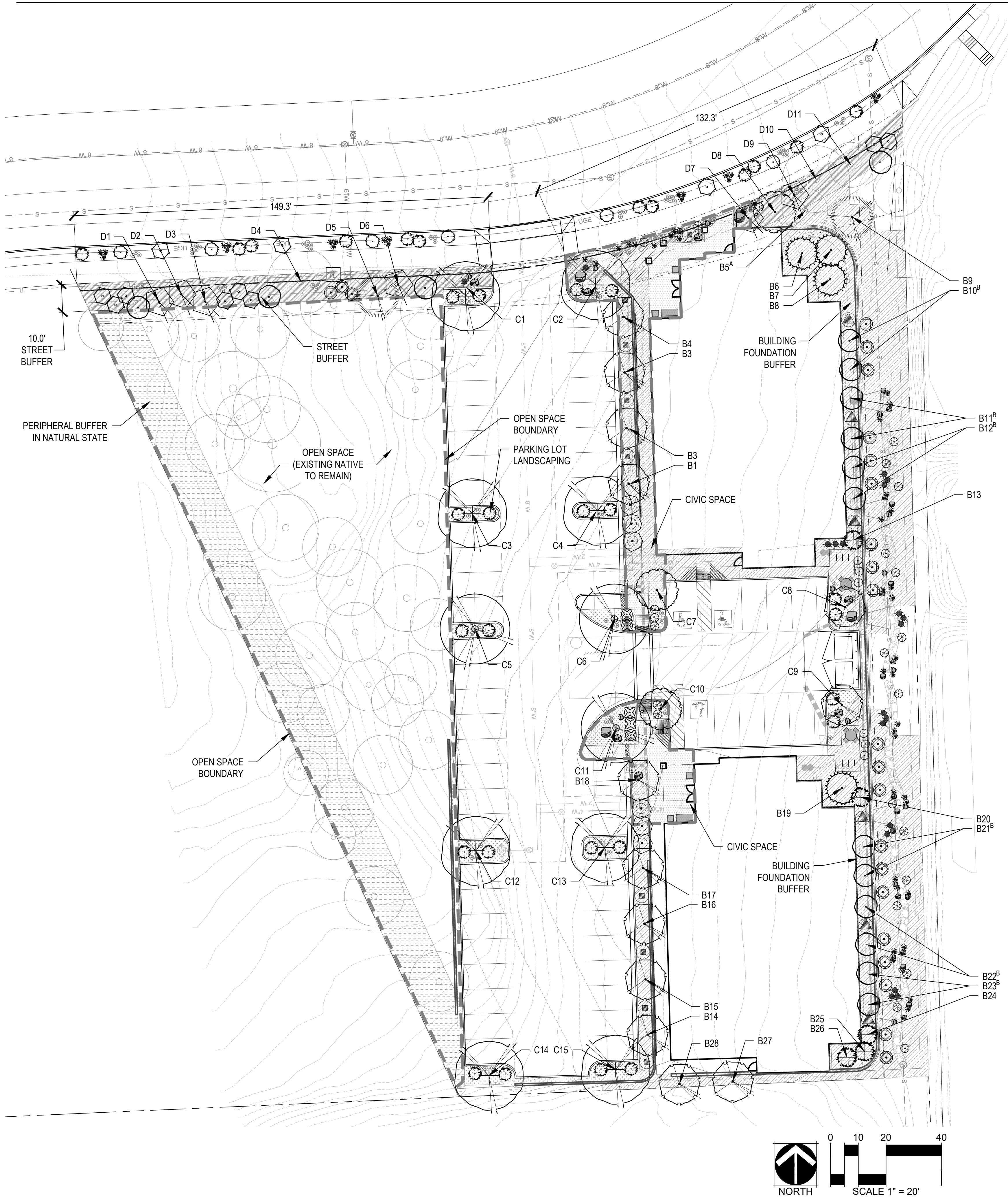
PLANT SCHEDULE

SYM.	GENUS & SPECIES COMMON NAME	PLANTING SIZE	ESTIMATED MATURE SIZE	SPACING	QTY (PRIV.)
TREES (DECIDUOUS CANOPY)					
	Acer freemanii	2" CAL, B&B	45' H X 30' W	AS SHOWN	3
	Autumn Blaze Maple				
	Gleditsia triacanthos inermis	2" CAL, B&B	50' H X 40' W	AS SHOWN	8
	'Skyline' Skyline Honey Locust				
TREES (EVERGREEN)					
	Juniperus chinensis 'Blue Point'	6' HT MIN., B&B	15' H X 5' W	AS SHOWN	5
	Blue Point Juniper				
	Picea pungens 'bakeri'	6' HT MIN., B&B	20' H X 12' W	AS SHOWN	4
	Bakeri Spruce				
	Pinus edulis	6' HTMIN., B&B	30' H X 20' W	AS SHOWN	2
	Pinyon Pine				
TREES (DECIDUOUS ORNAMENTAL)					
	Acer tataricum	15 GALLON MULTI-STEM	20' H X 20' W	AS SHOWN	3
	Hot Wings Maple				
	Populus tremuloides	1.5" CAL, B&B SINGLE-STEM	35' H X 15' W	AS SHOWN	6
	Quaking Aspen				
	Pyrus calleryana 'Chanticleer'	1.5" CAL, B&B SINGLE STEM	25' H X 15' W	AS SHOWN	14
	Chanticleer Pear				
DECIDUOUS SHRUBS					
	Amelanchier alnifolia	5-GALLON	15' H X 8' W	8' O.C.	16
	Saskatoon Serviceberry				
	Cornus sericea 'Arctic Fire'	5-GALLON	4' H X 4' W	4'-5' O.C.	5
	Arctic Fire Dogwood				
	Perovskia atriplicifolia 'Little Spire'	5-GALLON	2' H X 3' W	3'-4' O.C.	8
	Dwarf Russian Sage				
	Potentilla fruticosa 'Gold Drop'	2-GALLON	3' H X 3' W	3'-4' O.C.	15
	Gold Drop Potentilla				
	Rhus trilobata 'Autumn Amber'	5-GALLON	2' H X 6' W	4'-5' O.C.	6
	Autumn Amber Sumac				
	Ribes aureum	5-GALLON	7' H X 7' W	6'-7' O.C.	6
	Golden Currant				
	Rosa woodsii	2-GALLON	3' H X 3' W	3'-4' O.C.	6
	Woods' Rose				
	Symphoricarpos albus	2-GALLON	3' H X 3' W	3'-4' O.C.	2
	Snowberry				
	Syringa patula 'Miss Kim'	5-GALLON	4' H X 5' W	4'-5' O.C.	9
	Miss Kim Lilac				
EVERGREEN SHRUBS					
	Arctostaphylos x coloradoensis panchito	2-GALLON	1' H X 5' W	4'-5' O.C.	6
	Panchito Manzanita				
	Chamaebatia millefolium	5-GALLON	5' H X 6' W	5'-6' O.C.	12
	Fernbush				
	Juniperus horizontalis 'Blue Chip'	5-GALLON	1' H X 6' W	4'-5' O.C.	34
	Blue Chip Juniper				
	Mahonia aquifolium compacta	5-GALLON	3' H X 5' W	4'-5' O.C.	23
	Compact Oregon Grape Holly				
ORNAMENTAL GRASS					
	Bouteloua gracilis 'Blonde Ambition'	1-GALLON	4' H X 3' W	3'-4' O.C.	59
	Blonde Ambition Grama Grass				
	Panicum virgatum 'Shenandoah'	1-GALLON	4' H X 3' W	3'-4' O.C.	20
	Shenandoah Switchgrass				
ACCENT PERENNIALS					
	Achillea x Moonshine	1-GALLON	16" H X 18" W	1.5' O.C.	TBD
	Moonshine Yarrow				
	Geranium x 'Johnson's Blue'	1-GALLON	8" H X 24" W	2' O.C.	TBD
	Johnson's Blue Cranesbill				
	Rudbeckia fulgida 'Goldsturm'	1-GALLON	24" H X 18" W	1.5' O.C.	TBD
	Black-Eye Susan				
	Sedum spectabile 'Autumn Joy'	1-GALLON	18" H X 18" W	1.5' O.C.	TBD
	Autumn Joy Sedum				
GROUNDCOVER PERENNIALS					
	Cerastium tomentosum	1-GALLON	6" H X 18" W	1.5' O.C.	TBD
	Snow in Summer				
	Mahonia repens	1-GALLON	8" H X 18" W	1.5' O.C.	TBD
	Creeping Mahonia				
					TOTAL PERENNIALS: 89

DIAGRAM LEGEND

-
- NATIVE GRASS
(RESEED WHERE
DISTURBED)
-
- LANDSCAPE BED W/
ROCK MULCH
-
- ROCKED CHANNEL
-
- BIKE RACKS
-
- BENCH
-
- BOULDERS
-
- PLANTED POT
-
- FIXED TABLE
-
- EXISTING
PONDEROSA PINE

SITE LANDSCAPE CALCULATIONS, CIVIC SPACE, & OPEN SPACE DIAGRAM



SITE LANDSCAPE CALCULATIONS

LOT 1 - RESIDENTIAL 1.71 ACRES		REQUIRED	MINIMUM SIZE REQUIRED	PROVIDED
PERIPHERAL BUFFER				
TOTAL L.F. 370	TREES	1 PER 25 LINEAR FEET = 15	15 GALLON	0 ^C
	SHRUBS	2 PER TREE = 30	5 GALLON	0 ^C
	GROUNDCOVERS	2 PER TREE = 30	1 GALLON	0 ^C
EXISTING TREES				8
BUILDING FOUNDATION - NORTH**				
TOTAL L.F. 330	TREES	1 PER 25 LINEAR FEET = 13	15 GALLON	10 ^{AB}
	SHRUBS	2 PER TREE = 26	5 GALLON	33 ^{AB}
	GROUNDCOVERS	2 PER TREE = 26	1 GALLON	26
EXISTING TREES				1
BUILDING FOUNDATION - SOUTH**				
TOTAL L.F. 365	TREES	1 PER 25 LINEAR FEET = 15	15 GALLON	12 ^A
	SHRUBS	2 PER TREE = 30	5 GALLON	36 ^A
	GROUNDCOVERS	2 PER TREE = 30	1 GALLON	30
EXISTING TREES				0
PARKING AREA				
TOTAL PARKING SPACES 60	TREES	2 EVERY 8 PARKING SPACE = 15	15 GALLON	15
	SHRUBS	2 PER TREE = 30	5 GALLON	34 ^A
	GROUNDCOVERS	2 PER TREE = 30	1 GALLON	32 ^A
MIN. INTERIOR LANDSCAPED AREA		30sf PER SPACE + 1,800sf		1,922sf
STREET BUFFER				
TOTAL L.F. 282	TREES	1 PER 25 LINEAR FEET = 11	15 GALLON	8
	SHRUBS	2 PER TREE = 22	5 GALLON	20 ^A
	GROUNDCOVER	2 PER TREE = 22	1 GALLON	16 ^A
EXISTING TREES*				3

^A EACH EXISTING TREE THAT IS 6"-10" IN DIAMETER AT BREAST HEIGHT (DBH) MAY SUBSTITUTE FOR THE REQUIREMENT OF ONE LANDSCAPE TREE. FOR EACH EXISTING TREE RETAINED IN A LANDSCAPE AREA, THE REQUIREMENT FOR SHRUBS AND GROUNDCOVERS ASSOCIATED WITH THAT TREE WILL BE WAIVED. (C.O.F. LANDSCAPING STANDARDS SECTION 10-50.60.050.A).
^B TWO FIVE-GALLON SHRUBS MAY SUBSTITUTED FOR ONE REQUIRED TREE. TWO ONE-GALLON GROUNDCOVER PLANTS MAY BE SUBSTITUTED FOR ONE FIVE-GALLON SHRUB. (C.O.F. LANDSCAPING STANDARDS SECTION 10-50.60.050.B).
^C PERIPHERAL LANDSCAPING IS REQUIRED IN SETBACKS EXCEPT WHERE LANDSCAPE IS RETAINED IN A NATURAL STATE AND THE DIRECTOR DETERMINES THAT LANDSCAPING IS NOT NECESSARY TO ACHIEVE THE PURPOSES OF THIS DIVISION (C.O.F. LANDSCAPING STANDARDS SECTION 10-50.60.040.A.1.b)

SITE DEVELOPMENT REQUIREMENTS

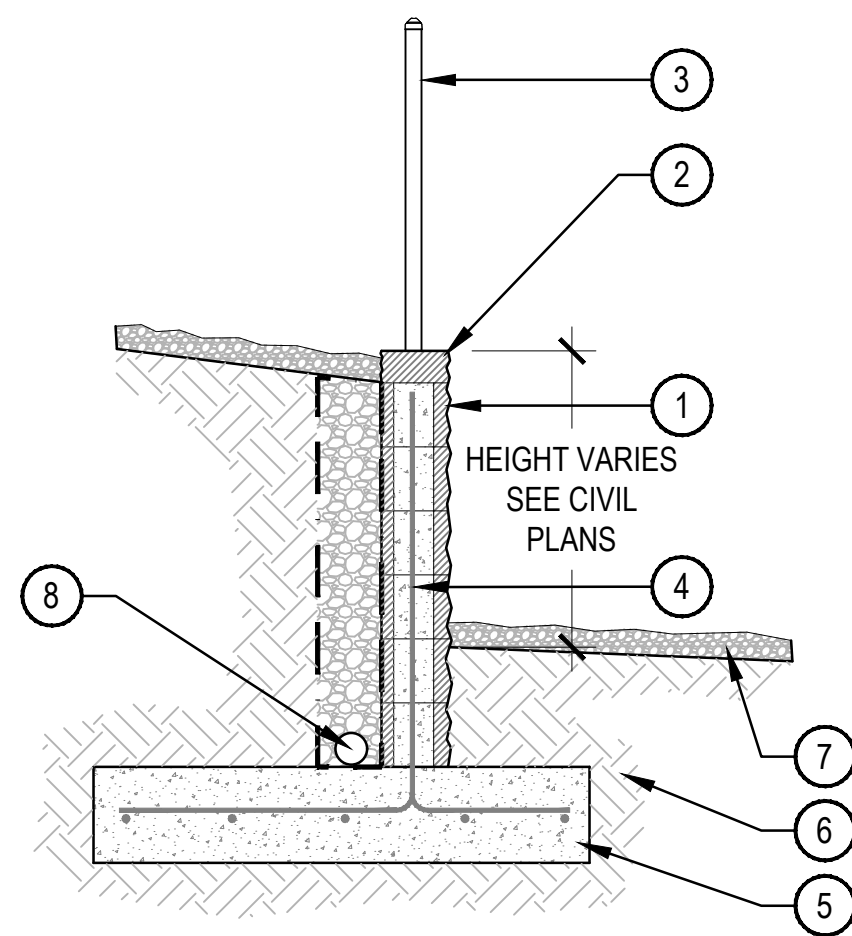
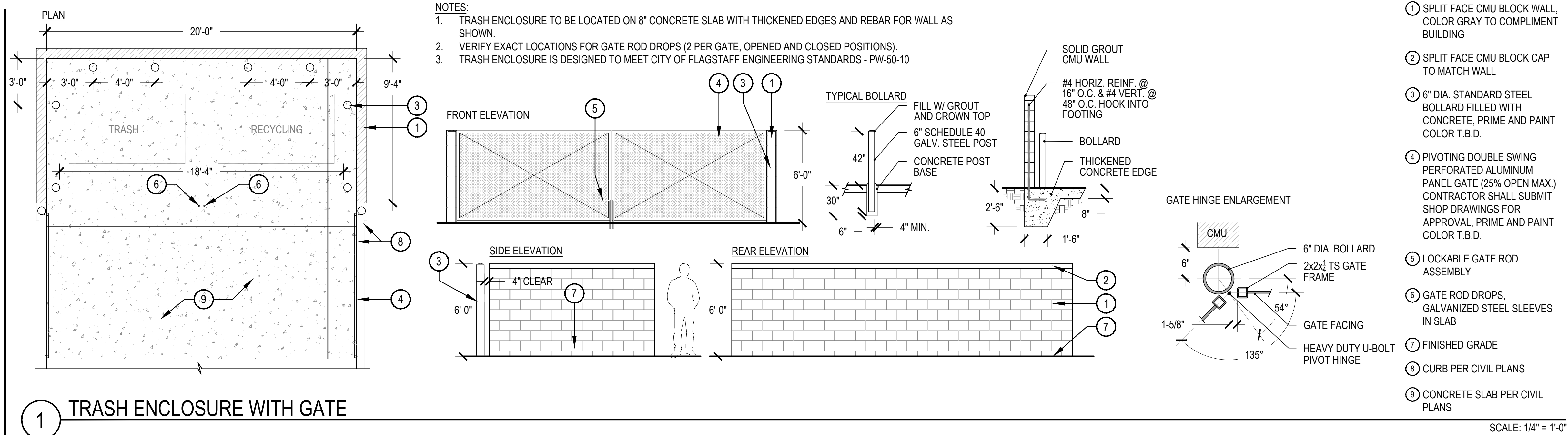
LOT 1 - RESIDENTIAL 1.71 ACRES		REQUIRED	PROVIDED
PEDESTRIAN AMENITY SPACE/CIVIC SPACE		N/A (SITE CONTAINS FEWER THAN 50 UNITS)	3,737sf
OPEN SPACE		3,725sf (5% OF TOTAL AREA)	18,194sf

DIAGRAM LEGEND

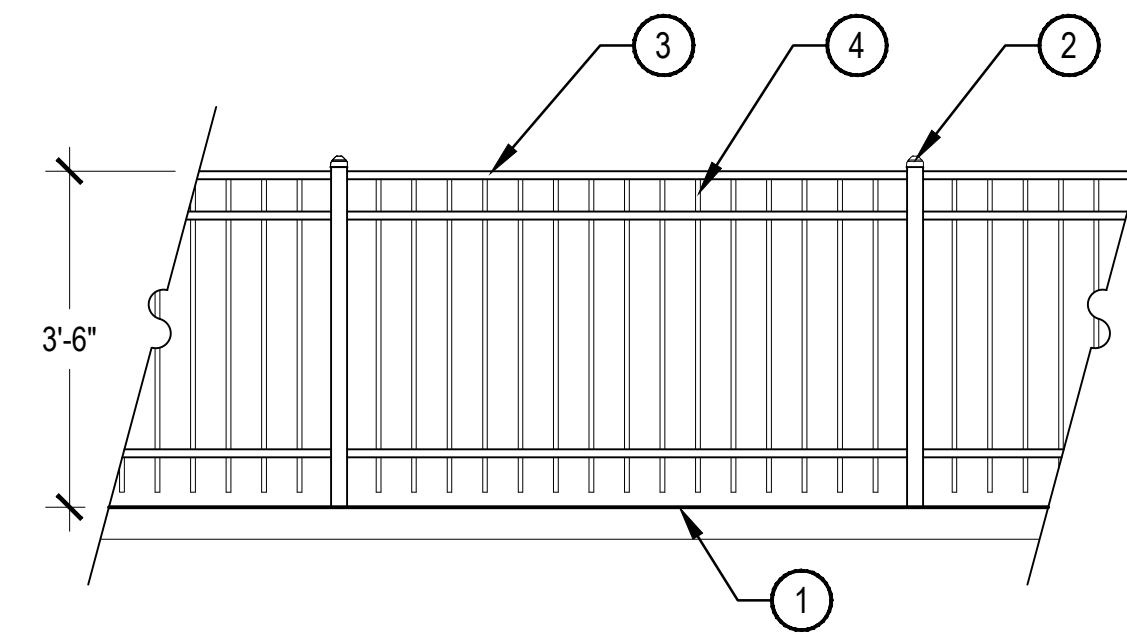
	BUILDING FOUNDATION BUFFER
	PARKING AREA
	STREET BUFFER
	CIVIC SPACE
	OPEN SPACE

TREE COUNT CODE

A#	PERIPHERAL BUFFER
B#	BUILDING FOUNDATION BUFFER
C#	PARKING AREA
D#	STREET BUFFER



1. SPLIT FACE GROUTED CMU WALL, COLOR: GRAY TO COMPLEMENT BUILDING
2. SPLIT FACE CMU CAP
3. 42" HEIGHT GUARD RAIL FENCING WHERE WALL IS 30" OR TALLER, ADJACENT SIDEWALK OR PAVING
4. STRUCTURAL REINFORCING TO BE DESIGNED BY A STRUCTURAL ENGINEER
5. CONCRETE FOOTER TO BE DESIGNED BY A STRUCTURAL ENGINEER
6. COMPACTED SUB-GRADE PER GEOTECH RECOMMENDATIONS
7. ADJACENT LANDSCAPE TREATMENT OR CONCRETE WALK - REFER TO PLANS
8. DRAINAGE SYSTEM BEHIND WALL PER WALL MANUFACTURER SPECIFICATIONS, GEOTECH AND STRUCTURAL ENGINEER REQUIREMENTS

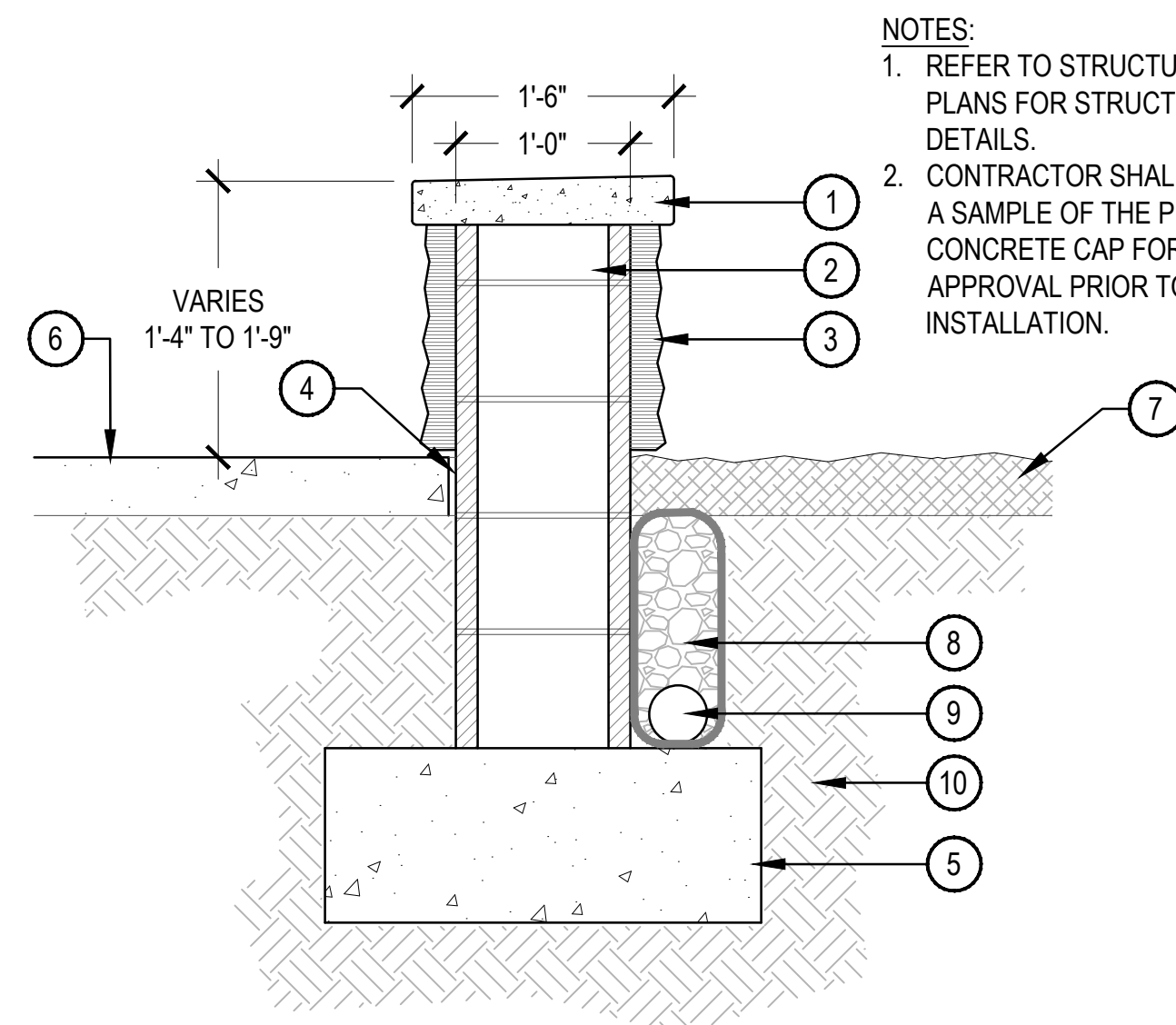


NOTE:
FENCING TO BE BY AMERISTAR FENCING OR APPROVED EQUAL

1. GROUTED SPLIT FACE CMU WALL
2. FENCE POST MOUNTED TO TOP OF WALL
3. RAILING
4. PICKETS WITH GAPS LESS THAN 4"

2 SITE WALL

SCALE: 1/2" = 1'-0"



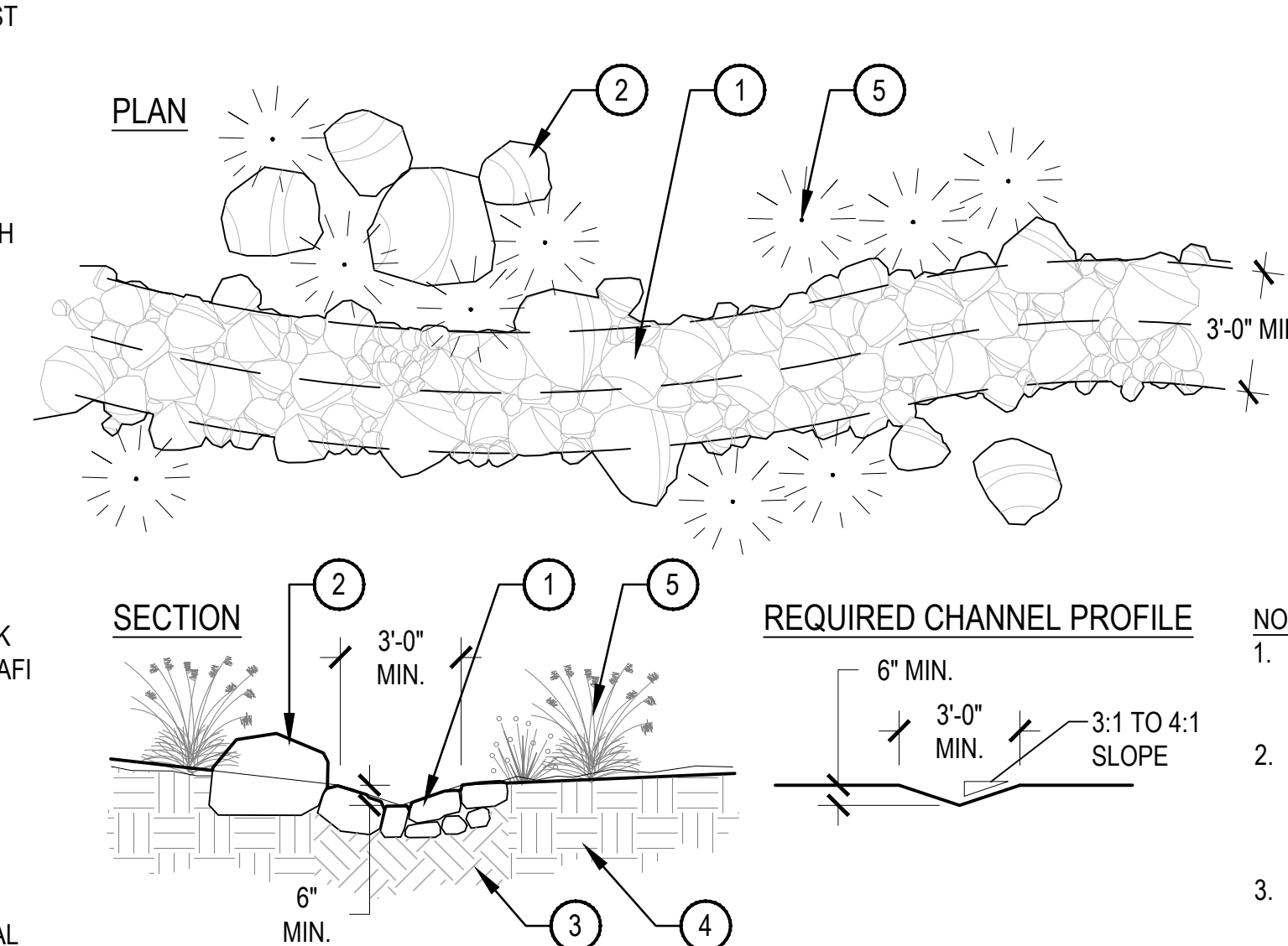
1. INTEGRALLY COLORED PRECAST CONCRETE CAP - 3" THICK, 18" WIDE, 24" LONG. SLOPE TOP 1/4" PER FOOT
2. 12"x8"x16" CMU BLOCK
3. FAUX STONE VENEER TO MATCH BUILDING
4. 1/2" SEALED EXPANSION JOINT
5. CONCRETE FOOTER
6. ADJACENT CONCRETE FLATWORK
7. ADJACENT DECOMPOSED GRANITE SURFACING OR PLANTING BED
8. 8" WIDE CLEAN DRAINAGE ROCK COMPLETELY WRAPPED IN MIRAFI 140 FILER FABRIC
9. 4" PERFORATED PVC PIPE (WHERE CALLED FOR ON THE COURTYARD GRADING PLAN - CONNECT TO STORM SEWER SYSTEM
10. SUB-GRADE PER GEOTECHNICAL RECOMMENDATIONS

4 FREESTANDING SEAT WALL

SCALE: 1" = 1'-0"

3 GUARD RAIL FENCE

SCALE: 1/2" = 1'-0"

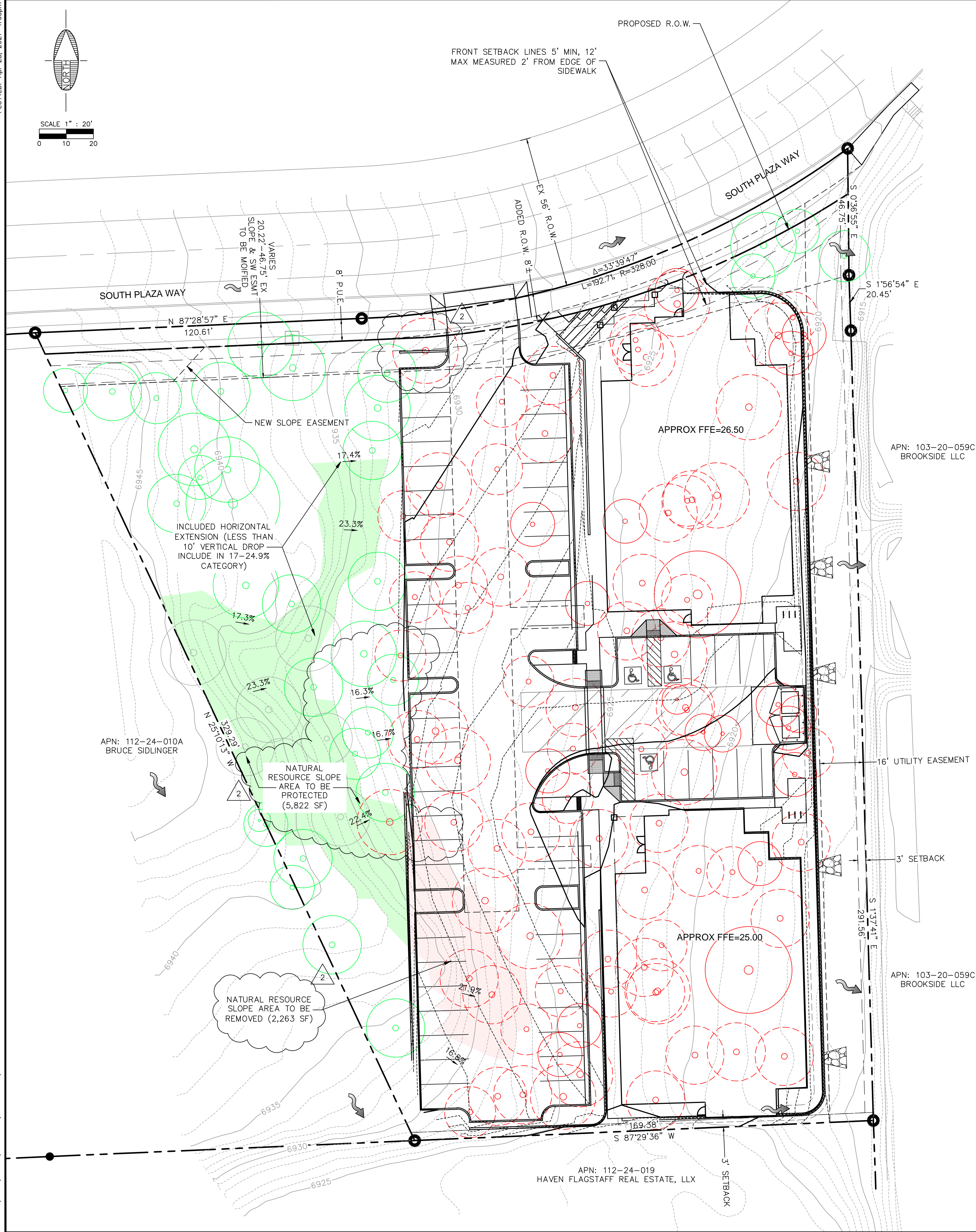


1. LIMESTONE ROCK LINED CHANNEL - 6" DEPTH MIN. 70% 6"-8" DIA. ROCK, 30% 8"-12" DIA. ROCK
2. FREESTANDING AND/OR CLUSTERED LIMESTONE BOULDERS AROUND CHANNEL PER LANDSCAPE PLANS - BURY 1/4" FOR NATURAL APPEARANCE
3. COMPACTED SUB-GRADE PER GEOTECH RECOMMENDATIONS
4. UNDISTURBED SOIL
5. PLANTINGS PER LANDSCAPE PLAN

- NOTES:
1. LIMESTONE BOULDERS AND ROCK SHALL BE FROM THE STOCK PILE FOR THIS PROJECT.
 2. CONTACT LANDSCAPE ARCHITECT FOR APPROVAL OF FIRST DROP STRUCTURE INSTALLED FOR PRIOR TO SETTING OTHERS.
 3. SET ROCK AND BOULDERS TO MEET THE DESIGNED CHANNEL VOLUME AS DESIGNATED BY THE CIVIL ENGINEER.
 4. CHANNEL SLOPE SHALL BE 1% MIN.

5 ROCKED CHANNEL

SCALE: 1/4" = 1'-0"



RESOURCE PRESERVATION					
SLOPE RESOURCES					
SLOPES	0-16.99%	17-24.99%	25-34.99%	>35%	
EXISTING (SF)	66,523.00	8,085.00	0	0	
PROTECTED (SF)	22,858.00	5,822.00	0.00	0.00	
% PROTECTED	34%	72%	100%	100%	
% REQUIRED PROTECTION	0%	60%	80%	100%	
PROTECTED ABOVE REQUIREMENT(SF)		971			
ADDED TREE POINTS		19			

TOTAL TREE RESOURCES					
TYPE	PINE	PINE	PINE	PINE	PINE
DIAMETER (IN)	6-8	9-12	13-17	18-24	>25
NUMBER EXISTING	2	22	79	29	1
POINTS	1	2	4	8	20
SUM OF POINTS	2	44	316	232	20
SUBTOTAL TREE POINTS=					614
30% PRESERVATION RATE=					184.2

POST-DEVELOPMENT TREES					
TYPE	PINE	PINE	PINE	PINE	PINE
DIAMETER (IN)	6-8	9-12	13-17	18-24	>25
NUMBER REMAINING	1	6	17	8	1
POINTS	1	2	4	8	20
SUM OF POINTS	1	12	68	64	20
TREE POINTS=					165
ADDITIONAL SLOPE POINTS=					19
REQUIRE PRESERVATION RATE=					30%
PRESERVATION RATE=					30%

NOTE:

1. PER CITY OF FLAGSTAFF ZONING CODE SECTION 10-50.90.060, COMMERCIAL ZONES PRESERVATION RATE IS 30%.

LEGEND

ROW

EASEMENT

LOT LINE

SETBACK

PROTECTED TREE

REMOVED TREE

PROTECTED SLOPE

REMOVED SLOPE

FLAGSTAFF ARIZONA

PLAZA WAY CONDOMINIUMS

SITE PLAN

NATURAL RESOURCE PROTECTION PLAN

JOB NO: 20243

DATE: APR 21

SCALE: AS SHOWN

DRAWN: SJW

CHECKED: SCJ

75 Kallist Place
Scottsdale, AZ 86336
928.282.2058 fax
www.swi-az.com

SWI

Shephard Wesnitzer, Inc.

REVISIONS

NO.	DESCRIPTION	DATE	BY
2	SITE PLAN 2ND SUBMITTAL	4/29/2021	

Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA 811

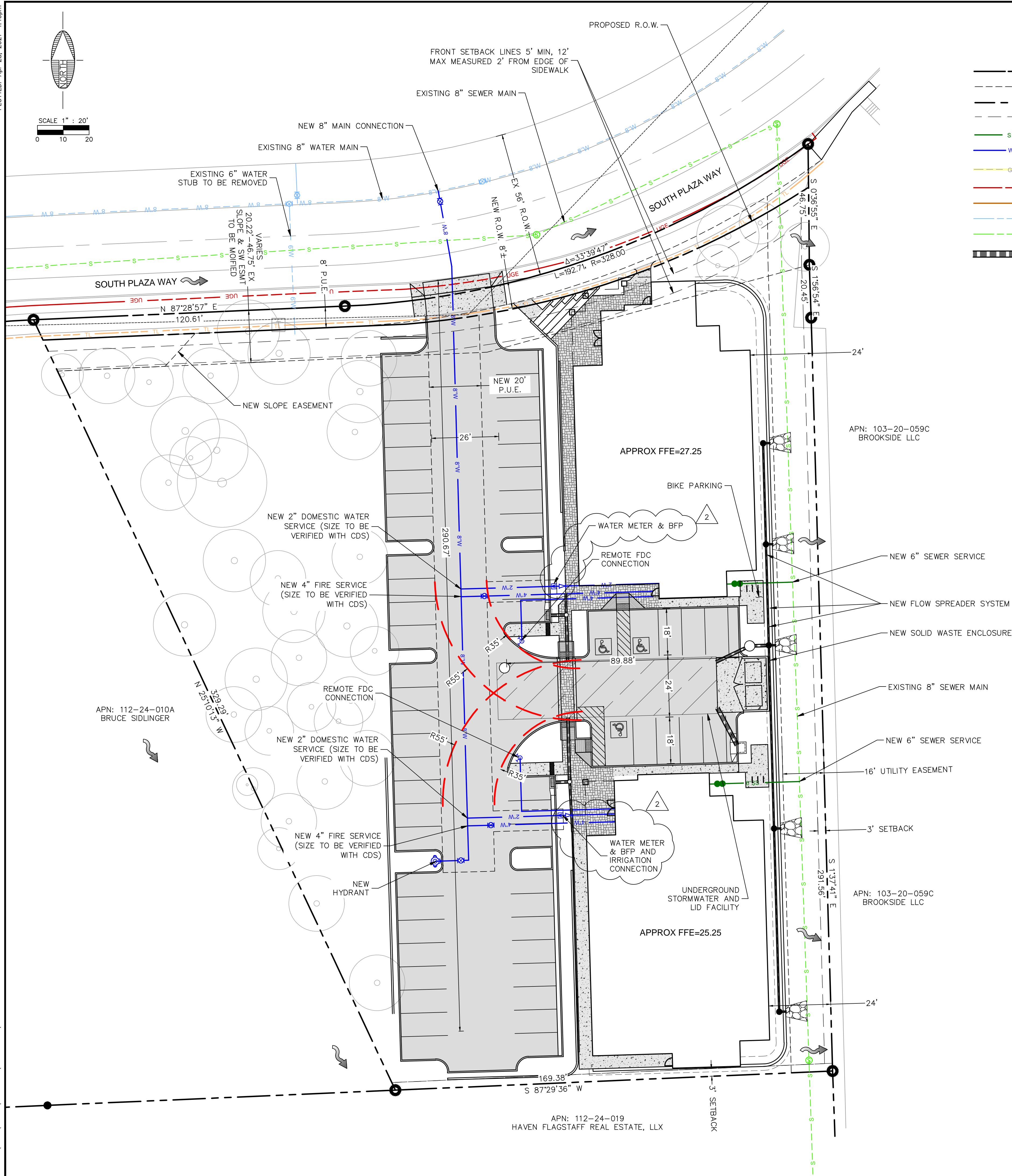
Call 811 or click Arizona811.com

DRAWING NO. SP03

SHT NO. 3 OF 3

PRELIMINARY

NOT FOR CONSTRUCTION,
BIDDING OR RECORDING



LEGEND

- | | |
|--|--------------------------------|
| | ROW |
| | EASEMENT |
| | LOT LINE |
| | SETBACK |
| | GRAVITY SEWER LINE |
| | PUBLIC WATER LINE |
| | EX. GAS |
| | EX. UNDERGROUND ELECTRIC |
| | EX. UNDERGROUND COMMUNICATIONS |
| | EX. WATER LINE |
| | EX. SEWER LINE |
| | STORM DRAIN PIPE |
| | FIRE HYDRANT |
| | GATE VALVE |
| | EX SEWER MANHOLE |
| | STORM DRAIN MANHOLE |
| | CATCH BASIN |
| | LIGHT POLE |

PLAZA WAY CONDOMINIUMS	FLAGSTAFF ARIZONA
------------------------	----------------------

PLAZA WAY CONDOMINIUMS

JOB NO:	20243
DATE:	APR 21
SCALE:	AS SHOWN
DRAWN:	SJV
DESIGN:	SJV
CHECKED:	SCI

75 Kallof Place
Sedona, AZ 86336
928.282.1061
928.282.2058 fax
www.swiaz.com



Shephard & Associates, Inc.

REVISIONS			
NO.	DESCRIPTION	DATE	BY
2	SITE PLAN 2ND SUBMITTAL	4/29/2021	

Contact Arizona 811 at least two full working days before you begin excavation.

ARIZONA811
THE STANDARD

Call 811 or click Arizona811.com

DRAWING NO.	
SP02	
SHT NO.	OF
2	3

PRELIMINARY
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