

NOTICE AND AGENDA

ATTENTION

IN-PERSON AUDIENCES AT PLANNING & ZONING COMMISSION MEETINGS HAVE BEEN SUSPENDED
UNTIL FURTHER NOTICE

The meetings will continue to be live streamed on the city's website
(<https://www.flagstaff.az.gov/1461/Streaming-City-Council-Meetings>)

To participate in the meeting click the following link:

[Join Microsoft Teams Meeting](#)

The public can submit comments that will be read at the dais by a staff member to CDPandZCommission@flagstaffaz.gov

**PLANNING & ZONING COMMISSION
WEDNESDAY
10/27/21**

**COUNCIL CHAMBERS
211 WEST ASPEN AVENUE
4:00 P.M.**

1. Call to Order

2. Roll Call

NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.

DAVID ZIMMERMAN, CHAIR
MARIE JONES, VICE CHAIR
CAROLE MANDINO
DR. ALEX MARTINEZ

DR. ERIC NOLAN
LLOYD PAUL
DR. RICARDO GUTHRIE

3. Public Comment

At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.

4. APPROVAL OF MINUTES

Approval of the minutes from the meeting on October 13, 2021

5. PUBLIC HEARING

A. Citizen Review Session: Carbon Neutrality Major Plan Amendment

STAFF RECOMMENDED ACTION:

Open a Citizen Review Session, take public comments, and discuss.

B. PZ-21-00211: TIPPET HOH

A Conditional Use Permit request from the Tippet Family Trust, to allow a Single-Family High Occupancy Housing Development (HOHD) in the Single-Family Residential (R1) Zone at 2577 E Del Rae Drive (APN 105-19-039A) in the Pine Canyon master planned development. The proposal is to build a 12,786 square foot, 5-bedroom, 7-bathroom single family dwelling.

STAFF RECOMMENDED ACTION:

In accordance with the findings presented in this report, staff recommends approval of PZ-21-00211 with conditions

C. PZ-20-00159: Core Services Microwave Tower

A Conditional Use Permit request from the City of Flagstaff to allow a 110-foot-tall communications tower with antenna and lightening rod to extend not higher than 118-feet above grade. The proposed location is a 300 square foot portion of the City owned property that includes the Core Services Maintenance Facility located at 3200 W Route 66 within the Public Facilities (PF) Zone.

STAFF RECOMMENDED ACTION:

In accordance with the findings presented in this report, staff recommends approval of PZ-20-00159 with conditions.

6. MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS

7. ADJOURNMENT

CERTIFICATE OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on 10/22/21, at 3:00 p.m. This notice has been posted on the City's website and can be downloaded at www.flagstaff.az.gov.

Dated this 22 day of October, 2021.

Tammy Bishop, Administrative Specialist



Planning & Zoning Commission

5. A.

Meeting Date: 10/27/2021

From: Sara Dechter, AICP, Comprehensive Planning Manager

Information

TITLE

Citizen Review Session: Carbon Neutrality Major Plan Amendment

STAFF RECOMMENDED ACTION:

Open a Citizen Review Session, take public comments, and discuss.

Attachments

Staff Summary
Presentation slides
Regional Plan Text Revisions
Narrative
Impact Analyses
Summary of public comments received

MEMORANDUM

TO: The City of Flagstaff Planning and Zoning Commission

CC: Alaxandra Pucciarelli, Interim Planning Director; City of Flagstaff

FROM: Sara Dechter, Comprehensive Planning Manager and Jenny Niemann, Climate and Energy Specialist, City of Flagstaff

DATE: September 23, 2021

RE: Citizen Review Session: Carbon Neutrality Major Plan Amendment



STAFF RECOMMENDED ACTION:

Open a Citizen Review Session, take public comments, and discuss.

EXECUTIVE SUMMARY:

The City of Flagstaff is proposing a Major Plan Amendment on climate change and climate action to the Flagstaff 2030 Regional Plan. The proposed amendment will revise pages IV-11, IV-12, and X-19 of the Flagstaff Regional Plan 2030: Place Matters (Regional Plan).

A Citizen Review Work Session is required for this amendment because the amendment is for a factual update based on a change in other policy or regulations. In this case, the amendment is based on the Flagstaff Carbon Neutrality Plan adopted on June 15, 2021.

INFORMATION:

This review session is to discuss the proposed new pages in the Flagstaff Regional Plan 2030. Revisions will align the Regional Plan Climate Change and Adaptation pages with the City's climate action work and the 2021 Carbon Neutrality Plan.

What is a major plan amendment?

"The Flagstaff Regional Plan is a dynamic document that can be updated, revised, and improved over time to respond to emerging issues, new ideas, and changing conditions."

The State and the City of Flagstaff outline specific requirements of major plan amendments. These are outlined in Chapter III of the Regional Plan and the Flagstaff City Code, Title 11, General Plans and Subdivisions. This text amendment is a major amendment because it adds or deletes a goal or policy in any chapter of the Plan.

Why is this change necessary?

This text amendment will update the Flagstaff Regional Plan 2030's discussion of climate change and climate action to align with the City of Flagstaff's climate action goals. The climate action work of the City has evolved rapidly since the 2014 adoption of the Regional Plan, creating a gap between the guidance provided in the Regional Plan and the City's declared climate goals and the ambition of its climate actions.

This gap is exemplified in the Regional Plan's discussion of greenhouse gas reduction targets:

- The Flagstaff Regional Plan 2030 climate change and adaptation section set a goal to reduce greenhouse gas emissions: Goal E&C.2.: reduce greenhouse gas emissions.
- In 2018, City Council set a goal to reduce community greenhouse gas emissions by 80% by 2050.
- In 2020, City Council declared a climate emergency and set a goal to achieve carbon neutrality by 2030, effectively reducing emissions to net-zero. The achievement of this goal will be guided by the Carbon Neutrality Plan, which was adopted by the Flagstaff City Council on June 15, 2021.

While these goal statements all support City action to reduce greenhouse gas emissions and do not conflict with one another, there is a significant gap between the ambition and requisite actions of these goal statements. This gap reflects the growth in the urgency of climate action, both globally and locally.

This amendment will restore alignment between the Regional Plan and the City's climate goals, clarifying the carbon neutrality goal and the types of climate action the City will take. This will reduce confusion, increase transparency, and support decision-makers when making decisions based on the City's climate action goals.

What are the benefits of this change?

This amendment to align the Regional Plan and the City's well-established climate action goals will provide several benefits to the community. First, formally recognizing the climate action efforts of the City of Flagstaff and its partners will increase understanding within the Flagstaff community. This amendment will help readers of the Regional Plan understand the extent of the City's climate goals, how the City is taking climate action, and where to look for detailed information on the implementation of the Regional Plan goals.

This amendment will also increase transparency. Since the 2018 adoption of the Flagstaff Climate Action and Adaptation Plan, the City of Flagstaff has endeavored to incorporate climate change concerns and climate action into its decision-making processes. However, the broad nature of the Regional Plan greenhouse gas emissions reduction goal does not specify the

extent of emissions reductions needed. In the development review process, staff and other decision-makers do not have strong climate action goals and policies to refer to for guidance in decision-making. Meanwhile, applicants may provide details on the environmental features or climate benefits of their projects. Strengthening the Regional Plan's climate action goals and policies will clarify the importance of climate action and provide both applicants and decision-makers with a more current reflection of the City's climate change and climate action priorities.

Project timeline

This application was approved by the Inter-Division Staff on July 29, 2021, with conditions to add content related to stormwater and make a clarification in the Transportation Chapter (Chapter X) related to road connectivity. Both of these conditions have been met by the proposed amendment presented at the Citizen Review Session.

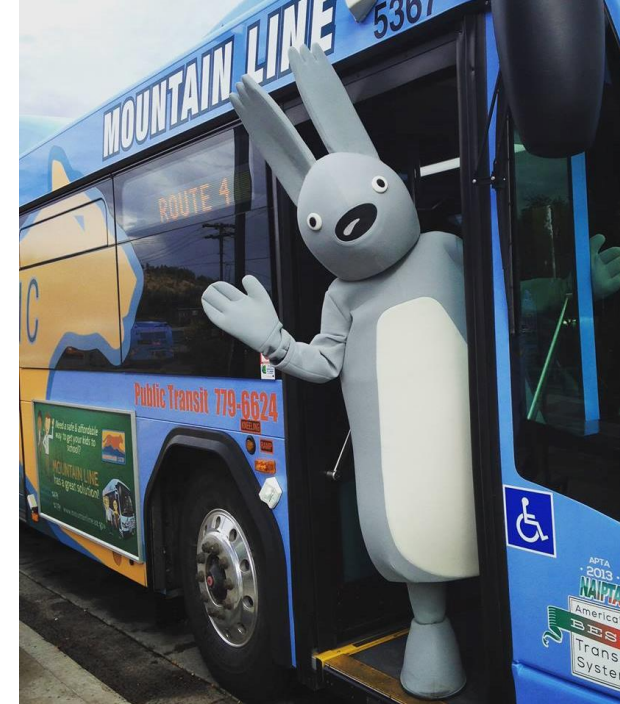
The City of Flagstaff hosted a public review period from July 13, 2021, until September 13, 2021. Information was provided to the community through printed advertisements, multiple events, an online website, social media postings, Sustainability Commission meetings, and newsletter updates. Residents were provided the following opportunities for engagement:

- One in-person Open House: Wednesday, August 25th from 5:00 to 7:00 pm, Murdoch Community Center (203 E. Brannen Ave, Flagstaff, AZ 86001)
- Two online information sessions via Zoom:
 - Tuesday July 20th, from 5:30 to 6:30 pm.
 - Thursday September 9th, from 6:00 to 7:00 pm.
- A Flagstaff Community Forum online comment board, available at <https://www.opentownhall.com/10937>
- Email, mail, or phone calls to Jenny Niemann, Climate and Energy Specialist.

As the result of public comment received, staff has made changes to the **narrative** section of the Climate Change and Adaptation section, on pages IV-11 and IV-12. The revisions clarify the type of investments and actions under each category of climate action: mitigation, adaptation, and equity. The text has been changed to remove a broad list of climate actions, and instead reference the seven target areas of carbon neutrality actions, as specified by the Flagstaff Carbon Neutrality Plan. This amendment should reduce confusion and better align the text with the City's established areas of focus. Minor text revisions were made to other areas of the narrative to provide more understandable and clear language. The proposed goals and policies were not amended.

Citizen's Review Session: Carbon Neutrality Amendment to the Regional Plan

Jenny Niemann
Climate Program Manager
City of Flagstaff



Agenda

1. Review of the amendment

- Regional Plan
- The city's climate work
- Carbon neutrality

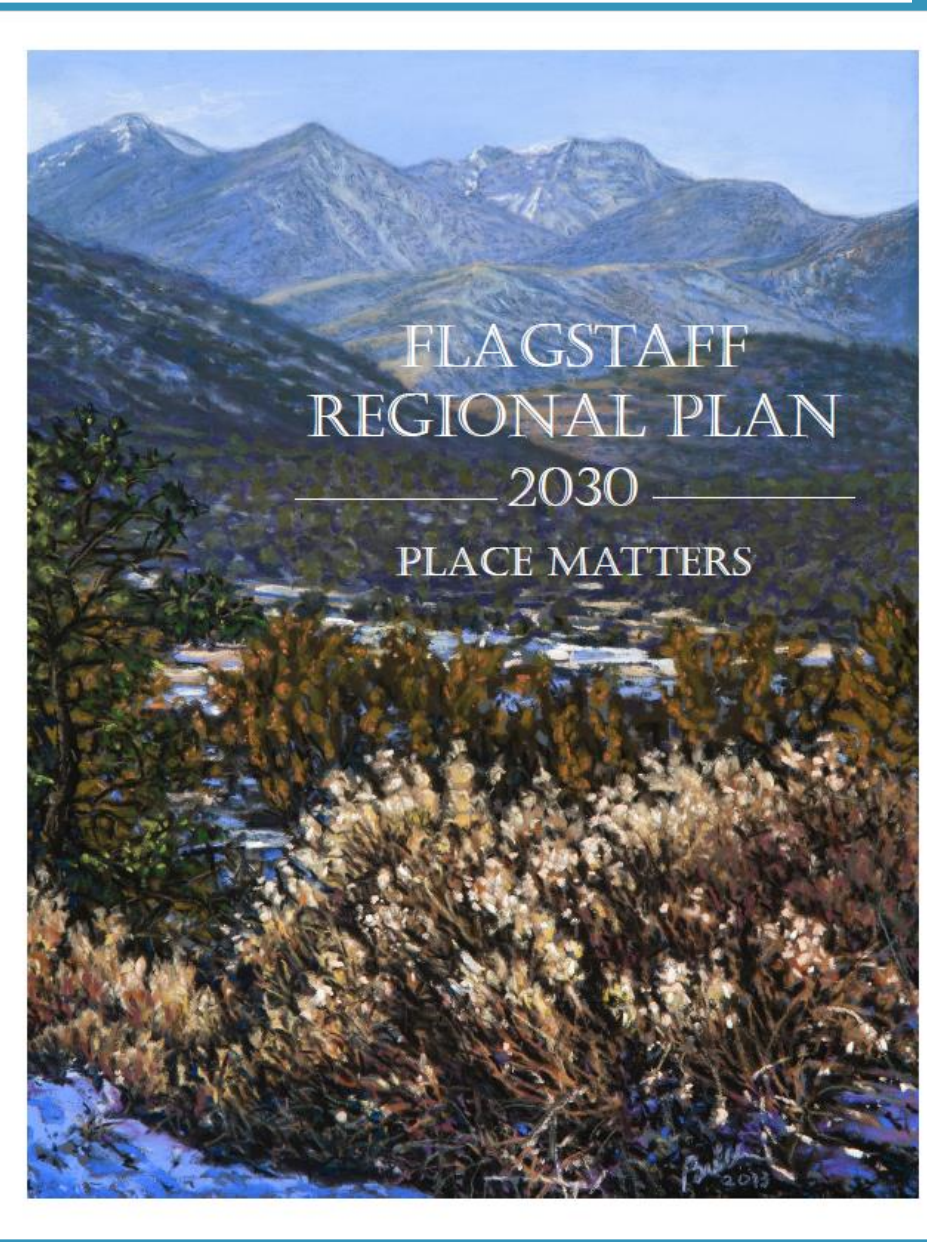
2. The proposed amendment to the Regional Plan

- Why
- Amendment text

3. Questions and discussion

The Flagstaff Regional Plan

- Adopted in **2014** after a years-long development and engagement process
- A planning document that serves as a **roadmap to implement the community's vision.**
- **Three themes:**
 - Promote growth that protects our scenic beauty and unique ecosystem
 - Encourage efficient transportation modes and better connectivity, with housing and job opportunities
 - Grow our businesses by making the most of our educated, entrepreneurial, and creative citizens



The Flagstaff Regional Plan

- Four sections:
 - Introduction
 - Natural Environment
 - Climate Change and Adaptation
 - Built Environment
 - Human Environment

ENVIRONMENTAL PLANNING & CONSERVATION



The Flagstaff region is rich with natural resources. Underlying the *Flagstaff Regional Plan* is the basic principle that a healthy natural environment is necessary for a healthy and prosperous human community and economy. The protection of the natural environment is a common thread running through most chapters of this Plan.

Where Are Our Natural Resources?

Lands in the Flagstaff region include those owned and managed by the City of Flagstaff, Coconino County, Arizona State Land Department, U.S. Forest Service, Department of Defense, National Park Service, and private land. Land management areas and boundaries are shown on Map 6. Map 7 illustrates significant natural resources in the area including wildlife, vegetation, hydrology, and geology. Map 8 illustrates the concentration of natural resources in the region. Following the maps are suggestions for planners, decision makers, and developers to consider with respect to natural and cultural resources in their development projects. The data sources for all three natural environment maps are listed in Appendix C.

Arizona law requires this Plan to consider conservation, development, and utilization of forests, soils, rivers and other harbors, fisheries, wildlife, minerals, and other natural resources. To the extent applicable to the region covered by the Plan, their development, conservation, and utilization have been considered, primarily in this Environmental Planning & Conservation chapter.

Inside this Chapter:

Where are Our Natural Resources?	IV-1
Considerations for Development	IV-8
Air Quality	IV-10
Climate Change and Adaptation	IV-11
Dark Skies	IV-13
Ecosystem Health	IV-14
Environmentally Sensitive Lands	IV-16
Natural Quiet	IV-16
Soils	IV-17
Wildlife	IV-18



Photo credit: Dover Kohl & Partners

Our Vision for the Future

In 2030, the long-term health and viability of our natural environment is maintained through strategic planning for resource conservation and protection.

Climate action in the Flagstaff Regional Plan

Climate change in the Flagstaff 2030 Regional Plan:

- Climate change is addressed over two pages in the Plan: Natural Environment Chapter, pages IV-11 and IV-12.

The climate change section includes three goals:

- E&C.2: Reduce greenhouse gas emissions
- E&C.3: Strengthen community and natural environment resiliency through climate adaptation efforts.
- E&C.4: Integrate available science into policies governing the use and conservation of Flagstaff's natural resources.

Climate Change and Adaptation

Changes to the climate system have been noted through observations of increases in global average air and ocean temperatures, widespread melting of snow and ice, and rising global average sea level (Intergovernmental Panel on Climate Change 2007). At the same time, weather patterns have become more extreme, with more intense and longer droughts, more extreme precipitation events, and increased heat waves. Many climate models predict further decreases in annual precipitation and increased temperatures for our region, which in turn are likely to result in changes to our vegetation and animal communities, as well as declines in agricultural productivity and food security.

Local Climate Change Impacts

Recent warming in the Southwest has resulted in declines in spring snowpack and Colorado River flow. Key issues that the Southwest, including the Flagstaff region, must address include the following:

- Decreasing water supplies
- Reduction in annual snowpack and decrease in snowmelt
- Depleted soil moisture
- Increasing temperature, drought, wildfire, tree mortality, and invasive species
- Increased frequency and altered timing of flooding
- Impacts on the region's unique tourism and recreation opportunities
- Increasing risks to cities and agriculture from a changing climate
- Increased vulnerabilities of the lower income, poor, and elderly.

Climate Adaptation and Mitigation

The region has historically faced climate risks, including forest fires, record warming, snow storms, high winds, flooding, and drought. These events affect every resident, and as the regional climate changes, these risks will become more frequent and severe. The effects of these extreme events may be lessened with preventative measures.

Mitigation of these risks refers to reducing the severity of climate change by decreasing greenhouse gas emissions and limiting their concentration in the atmosphere. The Flagstaff region has the opportunity to help mitigate the changes in climate, and simultaneously be ready for its effects by understanding the potential of wildfire, flooding, drought, and other effects of climate change and then preparing for such hazards. Individual preparation measures could include preparing our homes for potential fire, implementing stormwater management best practices, and becoming more water efficient. Personal home or business investments in water conservation and stormwater collection, energy efficiencies, walking, biking, bus-riding, recycling, re-using, and sharing also contribute to mitigating climate change.



Photo credit: Coconino National Forest



Photo credit: Arizona Daily Sun

At the community level, investing in critical public infrastructure such as reclaimed water, conservation, and stormwater collection; efficient use of energy resources; self-reliance on transportation options; food production and the ability to generate energy by means other than fossil fuels; and protecting and preparing the community from flooding, wildfires, and other natural hazards are examples of large-scale preparation and Preparedness Study (2012).

For the purposes of the Flagstaff Region's Climate Change Adaptation Plan, the region will have an impact on our reduction of greenhouse gas emissions and mitigation of climate change.

Goal 1 is to reduce greenhouse gas emissions.



Photo credit: City of Flagstaff

CLIMATE CHANGE AND ADAPTATION GOALS AND POLICIES

Goal E&C.2. Reduce greenhouse gas emissions.

Policy E&C.2.1. Encourage the reduction of all energy consumption, especially fossil-fuel generated energy, in public, commercial, industrial, and residential sectors.

Policy E&C.2.2. Promote investments that strengthen climate resiliency.

Goal E&C.3. Strengthen community and natural environment resiliency through climate adaptation efforts.

Policy E&C.3.1. Develop and implement a comprehensive and proactive approach to prepare the community for and to minimize the impacts of climate change induced hazards.

Policy E&C.3.2. Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce the community's vulnerability to climate change impacts.

Policy E&C.3.3. Invest in forest health and watershed protection measures.

Policy E&C.3.4. Increase the region's preparedness for extreme climate events.

Goal E&C.4. Integrate available science into policies governing the use and conservation of Flagstaff's natural resources.

Policy E&C.4.1. Assess vulnerabilities and risks of Flagstaff's natural resources.

Policy E&C.4.2. Develop water use policies that attempt to integrate current best projections of climate change effects on the Colorado Plateau's water resources and emphasize conservation.



Background: Climate Action in Flagstaff



Climate Change in Flagstaff

Compared to today, by 2050, on average we can expect to see...



- Hotter temperatures.
- Increased aridity and more severe drought conditions.



- Less snowpack.
- More precipitation as rainfall instead of snowfall.



- Increased wildfire risk.

Vulnerabilities: What's at Risk?

Climate change will have cascading impacts in our community from health to housing.



Water



Land Use & Housing



Tourism & Economy



Health

Not all people face the same threats from climate change

Climate change threats and vulnerabilities can vary based on:

- Age
- Health conditions
- Income
- Race and ethnicity
- Physical ability
- Neighborhood
and more.



Three Core Types of Climate Action

AKA
Mitigation, or
reducing our
greenhouse gas
emissions, which are
how we contribute
to climate change

Reducing
our impact

Preparing
for change

AKA
Adaptation, or
building
resilience to
long-term
changes and
short-term
shocks

AKA
Equity, or ensuring
fair distribution of
resources, access
and opportunities

Helping
the most
vulnerable

Background: City of Flagstaff climate goals

- 2007** The City of Flagstaff joins the U.S. Mayor's Climate Protection Agreement
- 2012** The City of Flagstaff adopts its first guiding document on climate, the **Resiliency and Preparedness Study**.
- 2014** The **Flagstaff Regional Plan 2030** is adopted.
This Plan sets three goals in the climate change section, including a goal to reduce greenhouse gas (GHG) emissions.
- 2018** The **Flagstaff Climate Action and Adaptation Plan** is adopted.
This Plan sets a goal to reduce GHG emissions by 80% by 2050.

A large crowd of people is seated in a city council chamber, attending a public meeting. The room has a high ceiling with exposed wooden beams and a curved wooden desk in the foreground. The text "The Climate Emergency Declaration" is overlaid on the left side of the image.

The Climate Emergency Declaration

January 2020

Hundreds of well-organized community members spoke at City Council, making the case for the climate emergency declaration

June 2020

The Climate Emergency Declaration Resolution 2020-09 was adopted unanimously by City Council

June 2021

The Flagstaff Carbon Neutrality Plan is adopted by City Council, detailing how the City will achieve carbon neutrality by 2030.

The Climate Emergency Declaration

1. Calls for a dramatic increase in **ambition and city-wide mobilization**.
2. Discusses the need for **full community** participation.
3. Calls on the city to prepare for future change and prioritize **vulnerable communities while reducing emissions**.
4. Sets a goal of **carbon neutrality by 2030**

Flagstaff Carbon Neutrality Plan

draft review



Carbon Neutrality means...

1. Reducing our community emissions (our impact) as much as possible.
2. Balancing the remaining emissions with projects that **REMOVE carbon dioxide** from the atmosphere – to achieve ‘neutrality’ – or zero NET impact.

Unavoided CO2
emissions
remaining

Sequestration and
other negative
emissions
initiatives



Carbon Neutrality Plan: Goals

Mitigation

- Achieve carbon neutrality by 2030

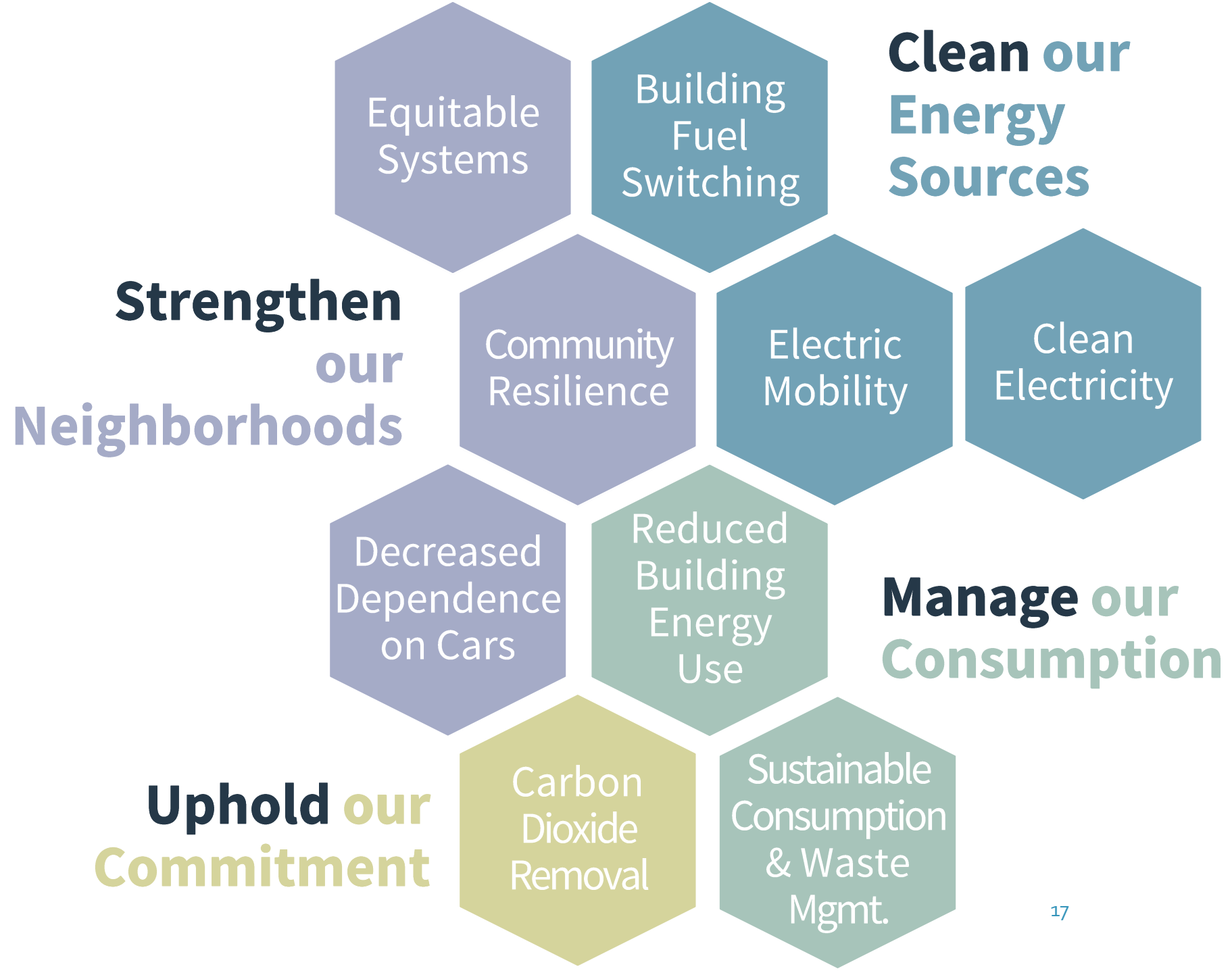
Adaptation (2018 CAAP)

- Prepare the city's communities, systems, and resources to be more resilient to climate change impacts.

Equity (2018 CAAP)

- Address climate change in a manner that prioritizes those most impacted and ensures the costs and benefits of climate adaptation and mitigation are equitably distributed.

CNP: Nine Target Areas of Action



The Proposed Amendment to the Regional Plan



Major Amendments to the Regional Plan

- The major amendment to the Flagstaff Regional Plan process involves significant documentation, staff analysis and public participation between April 1st and December of each year.
- This amendment was initiated by the Planning or Zoning Commission, at the request of the Sustainability Commission
- This amendment will update the Regional Plan to **align with the goals** of the Carbon Neutrality Plan.

Need for this amendment

- This amendment will update the Regional Plan to align with the goals of the Carbon Neutrality Plan.
- The climate action work of the City has evolved rapidly since the 2014 adoption of the Regional Plan
- There is a **significant gap** between the Regional Plan's current climate goals and policies, and the City's climate goals as developed in its climate plans.
- The different goals have large differences in ambition and requisite actions, reflecting the growth in urgency for climate action.

Benefits of this amendment

- **Restores alignment** between the Regional Plan and the City's climate goals, clarifying the carbon neutrality goal and the types of climate action the City will take.
- **Formally recognizes** the climate action efforts of the City of Flagstaff and its partners will increase understanding within the Flagstaff community.
- Provide decision-makers with **support** when making decisions based on the City's climate action goals.
- Provides **transparency and clarity** on the City's decisions.

The proposed changes to pages IV-11 and IV-12 include:

Changes to the narrative

Revisions to **goals E&C 2** and **E&C 3**

Revisions to policies **E&C 2.1, E&C 2.2, E&C 3.2, and E&C 4.1**

Addition of four policies: **E&C 2.3, E&C 2.4, E&C 3.5, and E&C 3.6**

Updates to the narrative:

1. Updates to projected changes, using data from the 2017 Flagstaff and Coconino County Climate Profile
2. Defining the three types of climate action: mitigation, adaptation, and equity.
3. Updated list of possible climate actions, to align with the target areas in the Flagstaff Carbon Neutrality Plan.

Goal: E&C.2:

Current: Reduce greenhouse gas emissions

Proposed amendment: Achieve carbon neutrality for the Flagstaff community by 2030.

Policy E&C.2.1:

Current: Policy E&C.2.1. Encourage the reduction of all energy consumption, especially fossil-fuel generated energy, in public, commercial, industrial and residential sectors.

Proposed amendment: Policy E&C.2.1. Encourage the reduction of energy and material consumption.

Policy E&C.2.2:

Current: Promote investments that strengthen climate resiliency

Proposed amendment: Promote investments that create a more connected and efficient community, decrease emissions from transportation and building energy, and strengthen climate resiliency.

Goal E&C.3

Current: Strengthen community and natural environment resiliency through climate adaptation efforts.

Proposed amendment: Prepare Flagstaff's community systems and resources to be more resilient to climate change impacts, and address climate change in a manner that prioritizes those most impacted and ensures the costs and benefits of climate adaptation and mitigation are equitably distributed.

Policy E&C.3.2:

Current: Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce the community's vulnerability to climate change impacts.

Proposed amendment: Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce the community's vulnerability to climate change impacts and reduce the disproportionate impacts on vulnerable communities.

Policy E&C.4.1:

Current: Assess vulnerabilities and risks of Flagstaff's natural resources

Proposed amendment: Assess vulnerabilities and risks of Flagstaff's natural resources in the context of anticipated climate changes and resulting changes to Flagstaff's systems.

The creation of four new policies:

Policy E&C.2.3: Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce community greenhouse gas emissions.

Policy E&C.2.4: Promote developments that help the community achieve carbon neutrality through strategies that reduce the project's emissions from transportation, energy, and consumption.

Policy E&C.3.5: Improve the ability of vulnerable community members to adapt and thrive amidst the pressures of climate change.

Policy E&C.3.6: Attempt to equitably distribute the burdens and benefits of climate action policies and investments to all segments of the community.

In addition, a small change is being made to policy T.8.1, in the Transportation Chapter.

Policy T.8.1:

Current: Promote efficient transportation connectivity to major trade corridors, employment centers, and special districts that enhances the region's standing as a major economic hub.

Proposed amendment: Promote efficient **network** connectivity to **and within** major trade corridors, employment centers, and special districts that enhances the region's standing as a major economic hub.

Outreach

Information

- Amendment webpage
- Social media postings
- Newsletter articles
- DailySun advertisement
- Direct outreach via mail and email

Events

- Two online information sessions: July & September
- One in-person Open House: August
- Coffee & Climate online interview: September

Other feedback opportunities

- Flagstaff community forum feedback form
- Direct contact with staff

Next steps in this process

Oct. 27 th	Public Hearing #1 at the Planning and Zoning Commission
Nov. 10 th	Public Hearing #2 at the Planning and Zoning Commission
Nov. 16 th	City Council worksession to discuss the Amendment
Dec. 7 th	Public Hearing at the Flagstaff City Council and potential adoption

Questions & Discussion

Thank you!

www.Flagstaff.AZ.gov/CNP

Contact me any time:

Jenny Niemann

Climate and Energy Specialist

City of Flagstaff

928-213-2150

JNiemann@Flagstaffaz.gov

Carbon Neutrality Amendment to the Flagstaff 2030 Regional Plan

September 20, 2021

This document details the proposed text revisions for this major plan amendment. The pages to be revised are Regional Plan pages IV-11, IV-12 and X-19.

This document contains several versions of the revised plan pages:

- **Pages 2-4:** The proposed text revisions to pages IV-11, IV-12 and X-19 of the Regional Plan – formatted InDesign version.
- **Pages 5-8:** A comparison document showing the exact changes to the text, via tracked changes.
- **Pages 9-12:** NEW changes to the proposed amendment, in tracked changes. These changes were made AFTER the public review period was completed.
- **Pages 13-15:** The current Regional Plan pages, prior to any amendment.

Climate Change and Adaptation

Climate change is disrupting global weather patterns and threatening communities across the world. While climate shifts have occurred in the past, today's climate is changing at a faster rate than ever recorded, due to the high concentration of human-caused greenhouse gas emissions. Changes to the climate system have been noted through observations of increases in global average air and ocean temperatures, widespread melting of snow and ice, and rising global average sea level (Intergovernmental Panel on Climate Change 2019). At the same time, weather patterns have become more extreme, with more intense and longer droughts, more extreme precipitation events, and increased heat waves.

Climate models predict further decreases in annual precipitation and a 5°F increase in the average temperature in Coconino County by 2050 (CLIMAS 2017). The projected increases in temperature and volatility are expected to lead to changes to Flagstaff's regional forests, our vegetation and animal communities, and our community's systems and infrastructure.



Photo credit: Coconino National Forest

Local Climate Change Impacts

Flagstaff and Coconino County have seen warming since the mid-1980's, and will continue to see increased temperatures and aridity, or dryness. Key issues that the Flagstaff region must address include the following:

- Increasing temperatures, particularly an increase in minimum temperatures, or overnight lows;
- An increase in aridity and drought, leading to depleted soil moisture;
- Decreasing water supplies, reductions in annual snowpack, and decreases in snowmelt;
- Increasing risk of wildfire and tree mortality, and an increased frequency and altered timing of flooding;
- Impacts on the region's unique tourism and recreation opportunities and its land use systems, housing, and infrastructure;
- Increased risk to public health and increased vulnerabilities of lower income families, Black communities, Indigenous communities, communities of color, and the elderly, among other vulnerable groups.

Climate Action: Mitigation, Adaptation and Equity

The Flagstaff region has historically faced climate risks, including forest fires, record high temperatures, snow storms, high winds, flooding, and drought. These events affect every resident, though different communities experience climate change in different ways. As the regional climate changes, these risks will become more severe.

The impact of these changes can be reduced with preventative measures. Flagstaff's climate objectives in mitigation, adaptation and equity were established in the Flagstaff Climate Action and Adaptation Plan (2018) and then updated in the Flagstaff Carbon Neutrality Plan (2021). These documents outline three types of climate action:

- **Mitigation** actions reduce the severity of climate change by decreasing greenhouse gas emissions and limiting their concentration in the atmosphere. The Flagstaff region has the opportunity to help mitigate the changes in climate by reducing emissions from transportation, building energy use, water use, consumption of goods and waste disposal.
- **Adaptation** actions prepare for the effects of climate change by understanding and preparing for the increased potential of wildfire, flooding, drought, and major community change, and then building resilience to short-term hazards and long-term change.
- **Equity** actions reduce the unequal burdens created by climate change. Flagstaff can address climate change in a manner that prioritizes the vulnerable communities most impacted and ensures the costs and benefits of climate adaptation and mitigation are equitably distributed.

At the community level, mitigation investments include efforts to **decrease dependence on cars**, embrace **electric mobility**, produce **clean electricity**, facilitate **fuel switching** in buildings, **reduce building energy use**, improve **sustainable consumption and waste management**, and undertake **carbon dioxide removal**. Adaptation will require building **community resilience** and investing in critical infrastructure such as stormwater and transportation systems, to prepare for increases in volatility, extreme weather events, flooding, wildfires, and community change (2012 City of Flagstaff Resiliency and Preparedness Study). **Equitable systems** investments include initiatives to protect vulnerable residents from the negative impacts of climate change and ensuring all residents can access the benefits of climate action. For the purposes of the Flagstaff Regional Plan, how we develop land will have a significant impact on our greenhouse gas emissions and the mitigation of climate change.

CLIMATE CHANGE AND ADAPTATION GOALS AND POLICIES

Goal E&C.2. Achieve carbon neutrality for the Flagstaff community by 2030.

Policy E&C.2.1. Encourage the reduction of energy and material consumption.

Policy E&C.2.2. Promote investments that create a connected and efficient community, decrease emissions from transportation and building energy, and strengthen climate resiliency.

Policy E&C.2.3. Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce community greenhouse gas emissions.

Policy E&C.2.4. Promote developments that help the community achieve carbon neutrality through strategies that reduce the project's emissions from transportation, energy, and consumption.



Goal E&C.3. Prepare Flagstaff's community systems and resources to be more resilient to climate change impacts, and address climate change in a manner that prioritizes those most impacted and ensures the costs and benefits of climate adaptation and mitigation are equitably distributed.

Policy E&C.3.1. Develop and implement a comprehensive and proactive approach to prepare the community for and to minimize the impacts of climate change induced hazards.

Policy E&C.3.2. Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce the community's vulnerability to climate change impacts and reduce the disproportionate impacts on vulnerable communities.

Policy E&C.3.3. Invest in forest health and watershed protection measures.

Policy E&C.3.4. Increase the region's preparedness for extreme climate events.

Policy E&C.3.5. Improve the ability of vulnerable community members to adapt and thrive amidst the pressures of climate change.

Policy E&C.3.6. Attempt to equitably distribute the burdens and benefits of climate action policies and investments to all segments of the community.

Goal E&C.4. Integrate available science into policies governing the use and conservation of Flagstaff's natural resources.

Policy E&C.4.1. Assess vulnerabilities and risks of Flagstaff's natural resources in the context of anticipated climate changes and resulting changes to Flagstaff's systems.

Policy E&C.4.2. Develop water use policies that attempt to integrate current best projections of climate change effects on the Colorado Plateau's water resources and emphasize conservation.

Corridors serve many roles, and these roles may be understood as:

- Carrier of goods and people – how many, how far, what kind, what means
- Connector of activities – how active, what scale, what purpose, relationships
- Space and Shelter for activities within the public realm – how often, vulnerable, duration, solitude
- Symbol for the understanding of place – identity, purpose, behaviors as it applies to specific roads or corridors, not to classes of corridors.
- Builder and destroyer of city and place – corridors may be perceived as supporting a sense of place, or destroying it.

To fully implement the Regional Plan’s vision for Flagstaff’s roadways a Flagstaff “Streets Master Plan” should be developed to serve as the specific plan that bridges the City’s *Engineering Design Standards and Specifications* and the *Flagstaff Regional Plan*. Until such a Plan is developed, functional classifications for roads and their definitions can be found in the *Engineering Design Standards and Specifications*.



Photo credit: City of Flagstaff

Corridors in the Regional Transportation Plan

The Regional Transportation Plan (RTP) is a five year planning document developed by the Flagstaff Metropolitan Planning Organization. It is used to identify roadway projects that are eligible for federal funding. Some of the future roads identified on Map 25 are also identified in the RTP, however, these two documents are not required to match. The RTP provides more detail about the stage of planning for each roadway. Some future corridors are considered “conditional roads” in the RTP, which means that further study is required before proceeding with a project. Examples include the Clay Avenue Extension, the US 89 Bypass, the Metz Walk Extension, etc.

AUTOMOBILE GOALS AND POLICIES

Goal T.8. Establish a functional, safe, and aesthetic hierarchy of roads and streets.

Policy T.8.1. Promote efficient network connectivity to and within major trade corridors, employment centers, and special districts that enhances the region’s standing as a major economic hub.

Policy T.8.2. Maintain the road and street classification system that is based on context, function, type, use, and visual quality.

Policy T.8.3. Design neighborhood streets using appropriate traffic calming techniques and street widths to sustain quality of life while maintaining traffic safety.

Policy T.8.4. Protect rights-of-way for future transportation corridors.

Policy T.8.5. Support the area’s economic vitality by improving intersection design for freight movements.

Policy T.8.6. Maintain the City’s street infrastructure in a cost effective manner to ensure the safety and convenience of all users.



TRACKED CHANGES – REGIONAL PLAN TEXT AMENDMENT

Pages IV-11 and IV-12

Climate Change and Adaptation

Climate change is disrupting global weather patterns and threatening communities across the world. While climate shifts have occurred in the past, today's climate is changing at a faster rate than ever recorded in history, due to the high concentration of human-caused greenhouse gas emissions. Changes to the climate system have been noted through observations of increases in global average air and ocean temperatures, widespread melting of snow and ice, and rising global average sea level (Intergovernmental Panel on Climate Change ~~2007~~²⁰¹⁹¹). At the same time, weather patterns have become more extreme, with more intense and longer droughts, more extreme precipitation events, and increased heat waves.

~~Many climate~~Climate models predict further decreases in annual precipitation and ~~increased temperatures~~a 5°F increase for in the average temperature in Coconino County by 2050²our region, which in turn- (CLIMAS). The projected increases in temperature and volatility are ~~likely expected to lead to result in~~ changes to Flagstaff's regional forests, our vegetation and animal communities, and our community's systems and infrastructure~~as well as declines in agricultural productivity and food security~~. Climate change calls for a coordinated response by communities and governments across the world to minimize future global warming while simultaneously adapting to the changes we cannot prevent. If the increasing amount of greenhouse gases in the atmosphere is not reduced, life as we understand it will be irreversibly altered.

Local Climate Change Impacts

~~Recent warming in the Southwest has resulted in declines in spring snowpack and Colorado River flow. Flagstaff and Coconino County have seen warming since the mid-1980's, and will continue to see increased temperatures and aridity, or dryness.~~ Key issues that ~~the Southwest, including the Flagstaff region,~~ must address include the following:

- Increasing temperatures, particularly an increase in minimum temperatures, or overnight lows;
- An increase in aridity and drought, leading to dDepleted soil moisture;
- Decreasing water supplies, ;~~R~~reductions in annual snowpack and decreases in snowmelt;
- ~~Depleted soil moisture;~~

¹ IPCC, 2018: Global Warming of 1.5°C. An IPCC Special Report on the impacts of global warming of 1.5°C above pre-industrial levels and related global greenhouse gas emission pathways, in the context of strengthening the global response to the threat of climate change, sustainable development, and efforts to eradicate poverty [Masson-Delmotte, V., P. Zhai, H.-O. Pörtner, D. Roberts, J. Skea, P.R. Shukla, A. Pirani, W. Moufouma-Okia, C. Péan, R. Pidcock, S. Connors, J.B.R. Matthews, Y. Chen, X. Zhou, M.I. Gomis, E. Lonnoy, T. Maycock, M. Tignor, and T. Waterfield (eds.)]. 2019.

² CLIMAS, 2017: Climate Profile for the City of Flagstaff [Meadow, A.M, S. LeRoy, J. Weiss, and L. Keith (eds.)]. 2017.

- ~~Increasing temperature, drought, Increasing risk of wildfire and, tree mortality, and invasive species and an;~~ increased frequency and altered timing of flooding;
- ~~Impacts on the region's unique tourism and recreation opportunities; and its land use systems, housing, and infrastructure;~~ increasing risks to cities and agriculture from a changing climate
- ~~Increased risk to public health and increased vulnerabilities of the lower income families, Black communities, Indigenous communities, communities of color, poor, and the elderly, among other vulnerable groups.~~

Climate ~~Action:~~~~Adaptation and~~ Mitigation, ~~Adaptation and Equity~~

The Flagstaff region has historically faced climate risks, including forest fires, record ~~warming~~high temperatures, snow storms, high winds, flooding, and drought. These events affect every resident, ~~and although different communities experience climate change in different ways.~~ As the regional climate changes, these risks will become more ~~frequent and~~ severe.

~~The effects impact~~ of these ~~extreme events may changes can~~ be ~~lessened reduced~~ with preventative measures. Flagstaff's climate objectives were established in the Flagstaff Climate Action and Adaptation Plan (2018) and then updated in the Flagstaff Carbon Neutrality Plan (2021). These documents outline the three types of climate action which Flagstaff will pursue:

- **Mitigation** of these risks refers to reducing actions reduce the severity of climate change by decreasing greenhouse gas emissions and limiting their concentration in the atmosphere. The Flagstaff region has the opportunity to help mitigate the changes in climate, ~~and by reducing emissions from transportation, building energy use, water use, consumption of goods and waste disposal.~~
- **Adaptation actions prepare** for simultaneously be ready for its the effects of climate change by understanding and preparing for the increased potential of wildfire, flooding, drought, and major community change, other effects of climate change and then building resilience to preparing for such short term hazards and long-term change. Individual preparation measures could include preparing our homes for potential fire, implementing stormwater management best practices, and becoming more water efficient. Personal home or business investments in water conservation and stormwater collection, energy efficiencies, walking, biking, bus riding, recycling, re-using, and sharing also contribute to mitigating climate change.
- **Equity actions** reduce the unequal burdens created by climate change. Flagstaff can address climate change in a manner that prioritizes the vulnerable communities most impacted and ensures the costs and benefits of climate adaptation and mitigation are equitably distributed.

At the community level, mitigation investments include investing in critical public infrastructure such as reclaimed water, conservation, and stormwater collection; efficient; use of energy resources self reliance on transportation options; food production and the ability to generate energy by means other than fossil fuels; efforts to decrease dependence on cars, embrace electric mobility, produce clean electricity, facilitate fuel switching in buildings, reduce building

energy use, improve sustainable consumption and waste management and undertake carbon dioxide removal. Adaptation will require building community resilience and investing in critical infrastructure such as stormwater and transportation systems, to prepare for increases in volatility, and protecting and preparing the community for extreme weather events, flooding, wildfires, and community change ~~other natural and human caused hazards are examples of large scale preparation (refer to the 2012 City of Flagstaff Resiliency and Preparedness Study) (2012).~~ Equitable systems investments include initiatives to protect vulnerable residents from the negative impacts of climate change and ensuring all residents can access the benefits of climate action. For the purposes of the Flagstaff Regional Plan, how we develop land will have a ~~significant~~ impact on our ~~reduction of~~ greenhouse gas emissions and the mitigation of climate change.

CLIMATE CHANGE AND ADAPTATION GOALS AND POLICIES

Goal E&C.2. ~~Reduce greenhouse gas emissions~~ Achieve carbon neutrality for the Flagstaff community by 2030.

Policy E&C.2.1. Encourage the reduction of ~~all energy~~ and material consumption, ~~especially fossil fuel generated energy, in public, commercial, industrial, and residential sectors.~~

Policy E&C.2.2. Promote investments that create a more connected and efficient community, decrease emissions from transportation and building energy, and strengthen climate resiliency.

Policy E&C.2.3. Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce community greenhouse gas emissions.

Policy E&C 2.4. Promote developments that help the community achieve carbon neutrality through strategies that reduce the project's emissions from transportation, energy, and consumption.

Goal E&C.3. Prepare Flagstaff's ~~Strengthen community systems and resources to be more resilient to climate change impacts natural environment resiliency through climate adaptation efforts and~~ address climate change in a manner that prioritizes those most impacted and ensures the costs and benefits of climate adaptation and mitigation are equitably distributed.

Policy E&C.3.1. Develop and implement a comprehensive and proactive approach to prepare the community for and to minimize the impacts of climate change induced hazards.

Policy E&C.3.2. Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce the community's vulnerability to climate change impacts and reduce the disproportionate impacts on vulnerable communities.

Policy E&C.3.3. Invest in forest health and watershed protection measures.

Policy E&C.3.4. Increase the region's preparedness for extreme climate events.

Policy E&C.3.5. Improve the ability of vulnerable community members to adapt and thrive amidst the pressures of climate change.

Policy E&C.3.6. Attempt to equitably distribute the burdens and benefits of climate action policies and investments to all segments of the community.

Goal E&C. 4. Integrate available science into policies governing the use and conservation of Flagstaff's natural resources.

Policy E&C. 4.1. Assess vulnerabilities and risks of Flagstaff's natural resources in the context of anticipated climate changes and resulting changes to Flagstaff's systems.

Policy E&C. 4.2. Develop water use policies that attempt to integrate current best projections of climate change effects on the Colorado Plateau's water resources and emphasize conservation.

TRACKED CHANGES – REGIONAL PLAN TEXT AMENDMENT

Pages X-19

Transportation Policy T.8.1 Revision

Tracked Changes:

Policy T.8.1. Promote efficient ~~transportation network~~ connectivity to and within major trade corridors, employment centers, and special districts that enhances the region's standing as a major economic hub.

Carbon Neutrality Amendment to the Flagstaff 2030 Regional Plan

Public review process changes

The changes tracked below are those that have been made following comments received during the Public Review Period.

TRACKED CHANGES – REGIONAL PLAN TEXT AMENDMENT

Pages IV-11 and IV-12

Climate Change and Adaptation

Climate change, ~~accelerated largely by human-caused greenhouse gas emissions~~, is disrupting global weather patterns and threatening communities across the world. While climate shifts have occurred in the past, ~~today's current~~ climate ~~is changeing is happening~~ at a faster rate than ~~any-ever~~ recorded ~~in history~~, due to the high concentration of human-caused greenhouse gas emissions. Changes to the climate system have been noted through observations of increases in global average air and ocean temperatures, widespread melting of snow and ice, and rising global average sea level (Intergovernmental Panel on Climate Change 2019³). At the same time, weather patterns have become more extreme, with more intense and longer droughts, more extreme precipitation events, and increased heat waves.

Climate models predict further decreases in annual precipitation and a 5°F increase ~~of 5°F~~ in the average temperature in Coconino County by 2050⁴ (CLIMAS). The projected increases in temperature and volatility are ~~likely-expected~~ to ~~result-lead to~~ changes to Flagstaff's regional forests, our vegetation and animal communities, and our community's systems and infrastructure. Climate change calls for a coordinated response by communities and governments across the world to minimize future global warming while simultaneously adapting to the changes we cannot prevent. If the increasing amount of greenhouse gases in the atmosphere is not reduced, life as we understand it will be irreversibly altered.

Local Climate Change Impacts

³ IPCC, 2018: Global Warming of 1.5°C. An IPCC Special Report on the impacts of global warming of 1.5°C above pre-industrial levels and related global greenhouse gas emission pathways, in the context of strengthening the global response to the threat of climate change, sustainable development, and efforts to eradicate poverty [Masson-Delmotte, V., P. Zhai, H.-O. Pörtner, D. Roberts, J. Skea, P.R. Shukla, A. Pirani, W. Moufouma-Okia, C. Péan, R. Pidcock, S. Connors, J.B.R. Matthews, Y. Chen, X. Zhou, M.I. Gomis, E. Lonnoy, T. Maycock, M. Tignor, and T. Waterfield (eds.)]. 2019.

⁴ CLIMAS, 2017: Climate Profile for the City of Flagstaff [Meadow, A.M, S. LeRoy, J. Weiss, and L. Keith (eds.)]. 2017.

Flagstaff and Coconino County have seen warming since the mid-1980's, and will continue to see increased temperatures and aridity, or dryness. Key issues that the Flagstaff region must address include the following:

- Increasing temperatures, particularly an increase in minimum temperatures, or overnight lows;
- An increase in aridity and drought, leading to depleted soil moisture;
- Decreasing water supplies ~~and, a reduction~~ in annual snowpack and decreases in snowmelt;
- ~~Depleted soil moisture;~~
- Increasing risk of wildfire and tree mortality, and an increased frequency and altered timing of flooding;
- Impacts on the region's unique tourism and recreation opportunities and its land use systems, housing, and infrastructure;
- Increased risk to public health and increased vulnerabilities of lower income families, Black communities, Indigenous communities, communities of color, and the elderly, among other vulnerable groups.

Climate Action: Mitigation, Adaptation and Equity

The Flagstaff region has historically faced climate risks, including forest fires, record ~~warming~~ high temperatures, snow storms, high winds, flooding, and drought. These events affect every resident, though different communities experience climate change in different ways. As the regional climate changes, these risks will become more ~~frequent and~~ severe.

The ~~effects impact~~ of these ~~extreme change events may can~~ be ~~lessened reduced~~ with preventative measures. Flagstaff's climate objectives ~~in mitigation, adaptation and equity~~ were established in the Flagstaff Climate Action and Adaptation Plan (2018) and then updated in the Flagstaff Carbon Neutrality Plan (2021). These documents outline three types of climate action ~~in~~ Flagstaff:

- **Mitigation** actions reduce the severity of climate change by decreasing greenhouse gas emissions and limiting their concentration in the atmosphere. The Flagstaff region has the opportunity to help mitigate the changes in climate, by reducing emissions from transportation, building energy use, water use, consumption of goods and waste disposal.
- **Adaptation actions prepare** for the effects of climate change by understanding and preparing for the increased potential of wildfire, flooding, drought, and major community change, and then building resilience to short-term hazards and long-term change.
- **Equity actions** reduce the unequal burdens created by climate change. Flagstaff can address climate change in a manner that prioritizes the vulnerable communities most impacted and ensures the costs and benefits of climate adaptation and mitigation are equitably distributed.

At the community level, mitigation investments include efforts to decrease dependence on cars, embrace electric mobility, produce clean electricity, facilitate fuel switching in buildings, reduce

building energy use, improve sustainable consumption and waste management, and undertake carbon dioxide removal. ~~reclaimed water and conservation; building energy efficiency and electrification; active transportation such as biking and walking; building complete and connected neighborhoods; local food production; renewable energy ; reducing waste; and landfill emissions management.~~ Increasing resilience Adaptation will require building community resilience and investing in critical ~~public~~ infrastructure such as stormwater and transportation systems, to ~~handle-prepare for~~ increases in volatility, ~~and preparing the community for increases in~~ extreme weather events, flooding, wildfires, and community change (~~refer to the~~ 2012 City of Flagstaff Resiliency and Preparedness Study). Equitable systems investments include initiatives to protect vulnerable residents from the negative impacts of climate change and ensuring all residents can access the benefits of climate action. For the purposes of the Flagstaff Regional Plan, how we develop land will have a significant impact on our greenhouse gas emissions and the mitigation of climate change.

CLIMATE CHANGE AND ADAPTATION GOALS AND POLICIES

Goal E&C.2. Achieve carbon neutrality for the Flagstaff community by 2030.

Policy E&C.2.1. Encourage the reduction of energy and material consumption.

Policy E&C.2.2. Promote investments that create a more connected and efficient community, decrease emissions from transportation and building energy, and strengthen climate resiliency.

Policy E&C.2.3. Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce community greenhouse gas emissions.

Policy E&C 2.4. Promote developments that help the community achieve carbon neutrality through strategies that reduce the project's emissions from transportation, energy, and consumption.

Goal E&C.3. Prepare Flagstaff's community systems and resources to be more resilient to climate change impacts and address climate change in a manner that prioritizes those most impacted and ensures the costs and benefits of climate adaptation and mitigation are equitably distributed.

Policy E&C.3.1. Develop and implement a comprehensive and proactive approach to prepare the community for and to minimize the impacts of climate change induced hazards.

Policy E&C.3.2. Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce the community's vulnerability to climate change impacts and reduce the disproportionate impacts on vulnerable communities.

Policy E&C.3.3. Invest in forest health and watershed protection measures.

Policy E&C.3.4. Increase the region's preparedness for extreme climate events.

Policy E&C.3.5. Improve the ability of vulnerable community members to adapt and thrive amidst the pressures of climate change.

Policy E&C.3.6. Attempt to equitably distribute the burdens and benefits of climate action policies and investments to all segments of the community.

Goal E&C. 4. Integrate available science into policies governing the use and conservation of Flagstaff's natural resources.

Policy E&C. 4.1. Assess vulnerabilities and risks of Flagstaff's natural resources in the context of anticipated climate changes and resulting changes to Flagstaff's systems.

Policy E&C. 4.2. Develop water use policies that attempt to integrate current best projections of climate change effects on the Colorado Plateau's water resources and emphasize conservation.

TRACKED CHANGES – REGIONAL PLAN TEXT AMENDMENT

Pages X-19

Transportation Policy T.8.1 Revision

Tracked Changes:

Policy T.8.1. Promote efficient network connectivity to and within major trade corridors, employment centers, and special districts that enhances the region's standing as a major economic hub.

Climate Change and Adaptation

Changes to the climate system have been noted through observations of increases in global average air and ocean temperatures, widespread melting of snow and ice, and rising global average sea level (Intergovernmental Panel on Climate Change 2007). At the same time, weather patterns have become more extreme, with more intense and longer droughts, more extreme precipitation events, and increased heat waves. Many climate models predict further decreases in annual precipitation and increased temperatures for our region, which in turn are likely to result in changes to our vegetation and animal communities, as well as declines in agricultural productivity and food security.

Local Climate Change Impacts

Recent warming in the Southwest has resulted in declines in spring snowpack and Colorado River flow. Key issues that the Southwest, including the Flagstaff region, must address include the following:

- Decreasing water supplies
- Reduction in annual snowpack and decrease in snowmelt
- Depleted soil moisture
- Increasing temperature, drought, wildfire, tree mortality, and invasive species
- Increased frequency and altered timing of flooding
- Impacts on the region's unique tourism and recreation opportunities
- Increasing risks to cities and agriculture from a changing climate
- Increased vulnerabilities of the lower income, poor, and elderly.

Climate Adaptation and Mitigation

The region has historically faced climate risks, including forest fires, record warming, snow storms, high winds, flooding, and drought. These events affect every resident, and as the regional climate changes, these risks will become more frequent and severe. The effects of these extreme events may be lessened with preventative measures.

Mitigation of these risks refers to reducing the severity of climate change by decreasing greenhouse gas emissions and limiting their concentration in the atmosphere. The Flagstaff region has the opportunity to help mitigate the changes in climate, and simultaneously be ready for its effects by understanding the potential of wildfire, flooding, drought, and other effects of climate change and then preparing for such hazards. Individual preparation measures could include preparing our homes for potential fire, implementing stormwater management best practices, and becoming more water efficient. Personal home or business investments in water conservation and stormwater collection, energy efficiencies, walking, biking, bus-riding, recycling, re-using, and sharing also contribute to mitigating climate change.



Photo credit: Coconino National Forest



Photo credit: Arizona Daily Sun

At the community level, investing in critical public infrastructure such as reclaimed water, conservation, and stormwater collection; efficient use of energy resources; self-reliance on transportation options; food production and the ability to generate energy by means other than fossil fuels; and protecting and preparing the community for extreme weather events, flooding, wildfires, and other natural and human-caused hazards are examples of large-scale preparation (refer to the City of Flagstaff *Resiliency and Preparedness Study* (2012)).

For the purposes of the Flagstaff Regional Plan, how we develop land will have an impact on our reduction of greenhouse gas emissions and mitigation of climate change.



Photo credit: City of Flagstaff

CLIMATE CHANGE AND ADAPTATION GOALS AND POLICIES



Goal E&C.2. Reduce greenhouse gas emissions.

Policy E&C.2.1. Encourage the reduction of all energy consumption, especially fossil-fuel generated energy, in public, commercial, industrial, and residential sectors.

Policy E&C.2.2. Promote investments that strengthen climate resiliency.

Goal E&C.3. Strengthen community and natural environment resiliency through climate adaptation efforts.

Policy E&C.3.1. Develop and implement a comprehensive and proactive approach to prepare the community for and to minimize the impacts of climate change induced hazards.

Policy E&C.3.2. Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce the community's vulnerability to climate change impacts.

Policy E&C.3.3. Invest in forest health and watershed protection measures.

Policy E&C.3.4. Increase the region's preparedness for extreme climate events.

Goal E&C.4. Integrate available science into policies governing the use and conservation of Flagstaff's natural resources.

Policy E&C.4.1. Assess vulnerabilities and risks of Flagstaff's natural resources.

Policy E&C.4.2. Develop water use policies that attempt to integrate current best projections of climate change effects on the Colorado Plateau's water resources and emphasize conservation.

Corridors serve many roles, and these roles may be understood as:

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Photo credit: City of Flagstaff

Corridors in the Regional Transportation Plan

The Regional Transportation Plan (RTP) is a five year planning document developed by the Flagstaff Metropolitan Planning Organization. It is used to identify roadway projects that are eligible for federal funding. Some of the future roads identified on Map 25 are also identified in the RTP, however, these two documents are not required to match. The RTP provides more detail about the stage of planning for each roadway. Some future corridors are considered “conditional roads” in the RTP, which means that further study is required before proceeding with a project. Examples include the Clay Avenue Extension, the US 89 Bypass, the Metz Walk Extension, etc.

AUTOMOBILE GOALS AND POLICIES

Goal T.8. Establish a functional, safe, and aesthetic hierarchy of roads and streets.

Policy T.8.1. Promote efficient transportation connectivity to major trade corridors, employment centers, and special districts that enhances the region’s standing as a major economic hub.

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Policy T.8.3. Design neighborhood streets using appropriate traffic calming techniques and street widths to sustain quality of life while maintaining traffic safety.

Policy T.8.4. Protect rights-of-way for future transportation corridors.

Policy T.8.5. Support the area’s economic vitality by improving intersection design for freight movements.

Policy T.8.6. Maintain the City’s street infrastructure in a cost effective manner to ensure the safety and convenience of all users.



Carbon Neutrality Amendment to the Flagstaff Regional Plan 2030

Narrative

September 20, 2021

Applicant:

City of Flagstaff
211 W. Aspen Avenue
Flagstaff, AZ 86001
928-213-2150

Project representative and preparer:

Jenny Niemann, Climate and Energy Specialist
City of Flagstaff Sustainability Section
211 W. Aspen Avenue
Flagstaff, AZ 86001
928-213-2150

Project data:

Carbon Neutrality Amendment to the Flagstaff Regional Plan 2030
Development timeline: Proposed adoption in December 2021

Executive summary

This application proposes a major amendment to the Flagstaff Regional Plan 2030. The proposed amendment is within the Climate Change and Adaptation section of the Environmental Planning & Conservation Chapter - pages IV-11 and IV-12.

The proposed changes to pages IV-11 and IV-12 include:

- Changes to the narrative

- Revisions to **goals E&C 2** and **E&C 3**

- Revisions to policies **E&C 2.1, E&C 2.2, E&C 3.2,** and **E&C 4.1**

- Addition of four policies: **E&C 2.3, E&C 2.4, E&C 3.5,** and **E&C 3.6**

In addition to the text revisions on the Climate Change and Adaptation pages, this amendment also includes a wording revisions to policy T.8.1, in the Transportation chapter (located on page X-19). This change is being made as a result of the compatibility review among the proposed revisions to the climate pages and the existing Regional Plan goals and policies. This revision will clarify the meaning of T.8.1 and align with how staff understand the meaning of the policy.

These changes are detailed in attachment II.7.

Need and Community Benefit

This text amendment will update the Flagstaff Regional Plan 2030's discussion of climate change and climate action to align with the City of Flagstaff's climate action goals. The climate action work of the City has evolved rapidly since the 2014 adoption of the Regional Plan, creating a gap between the guidance provided in the Regional Plan and the City's declared climate goals and the ambition of its climate actions.

This gap is exemplified in the Regional Plan's discussion of greenhouse gas reduction targets.

- The Flagstaff Regional Plan 2030 climate change and adaptation section sets a goal to reduce greenhouse gas emissions: **Goal E&C.2.: reduce greenhouse gas emissions.**

- In 2018, City Council set a goal to reduce community greenhouse gas emissions by 80% by 2050.
- In 2020, City Council declared a climate emergency and set a goal to achieve carbon neutrality by 2030, effectively reducing emissions to net zero. The achievement of this goal will be guided by the Carbon Neutrality Plan, which was adopted by the Flagstaff City Council on June 15, 2021.

While these goal statements all support City action to reduce greenhouse gas emissions and do not conflict with one another, and, there is a significant gap between the ambition and requisite actions of these goal statements, reflecting the growth in the urgency of climate action.

This amendment will restore alignment between the Regional Plan and the City's climate goals, clarifying the carbon neutrality goal and the types of climate action the City will take. This will reduce confusion, increase transparency, and provide decision-makers with support when making decisions based on the City's climate action goals.

This amendment to align the Regional Plan and the City's well-established climate action goals will provide several benefits to the community. First, formally recognizing the climate action efforts of the City of Flagstaff and its partners will increase understanding within the Flagstaff community. This amendment will help readers of the Regional Plan understand the extent of the City's climate goals, how the City is taking climate action and where to look for detailed information on the implementation of the Regional Plan goals.

This amendment will also increase transparency. Since the 2018 adoption of the Flagstaff Climate Action and Adaptation Plan, the City of Flagstaff has endeavored to incorporate climate change concerns and climate action into its decision-making processes. However, the broad nature of the Regional Plan greenhouse gas emissions reduction goal does not specify the extent of emissions reductions needed. In the development review process, staff and other decision-makers do not have strong climate action goals and policies to refer to for guidance in decision-making. Meanwhile, applicants may provide details on the environmental features or climate benefits of their projects. Strengthening the Regional Plan's climate action goals and policies will clarify the importance of climate action and provide both applicants and decision-

makers with a more current reflection of the City's climate change and climate action priorities.

Regarding the change to Transportation Policy T.8.1: This change is being made as a result of the compatibility review among the proposed revisions to the climate pages and the existing Regional Plan goals and policies. Staff found the proposed climate text amendment to be incompatible with the transportation policy T.8.1, due to ambiguity within the policy T.8.1. around the meaning of the phrase 'efficient transportation connectivity.'

This revision to T.8.1 clarifies the meaning of the policy, and aligns with how staff understand the meaning of the policy. This will reduce confusion, increase understanding throughout the community, and elevate the importance of a connected street network.

Project Team

Jenny Niemann is the project representative. Jenny is the Climate and Energy Specialist for the City of Flagstaff Sustainability Section.

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Nicole Antonopoulos is on the project support team. Nicole is the Sustainability Director for the City of Flagstaff Sustainability Section.

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Sara Dechter is a project advisor. Sara is the Comprehensive and Neighborhood Planning Manager for the City of Flagstaff Community Development Division.

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Description and Need for Proposed Amendment

Description

This application proposes a major amendment to the Flagstaff Regional Plan 2030 to reflect the Carbon Neutrality goals of the City of Flagstaff. This major amendment would be fall under the **text amendment category (category 9), referenced in Chapter III of the Regional Plan on page III-15**. This text amendment revises the Climate Change and Adaptation section of the Environmental Planning & Conservation Chapter, (pages IV-11 and IV-12). The proposed changes to pages IV-11 and IV-12 include:

Changes to the narrative, including:

- More specificity regarding the impacts that climate change will cause in Flagstaff.
- Stronger language around the response needed to combat climate change and prepare for the future.
- Increased clarity regarding the three types of climate action: mitigation, adaptation and equity. Previously, the Plan mentioned mitigation by name and described adaptation actions. The revisions clarify the meanings of adaptation and mitigation and add a definition for equity, the third component of climate action.
- Modified the list of investments needed, to add mitigation actions and create a separate list of adaptation actions and investments.

Revisions to:

- Goal: E&C.2:
 - **Current:** Reduce greenhouse gas emissions
 - **Proposed amendment:** Achieve carbon neutrality for the Flagstaff community by 2030.
- Policy E&C.2.1:
 - **Current:** Policy E&C.2.1. Encourage the reduction of all energy consumption, especially fossil-fuel generated energy, in public, commercial, industrial and residential sectors.
 - **Proposed amendment:** Policy E&C.2.1. Encourage the reduction of energy and material consumption.
- Policy E&C.2.2:

- **Current:** Promote investments that create a more connected and efficient community, decrease emissions from transportation and building energy, and strengthen climate resiliency.
- **Proposed amendment:** Promote investments that create a more connected and efficient community, decrease emissions from transportation and building energy, and strengthen climate resiliency.
- Goal E&C.3
 - **Current:** Strengthen community and natural environment resiliency through climate adaptation efforts.
 - **Proposed amendment:** Prepare Flagstaff's community systems and resources to be more resilient to climate change impacts, and address climate change in a manner that prioritizes those most impacted and ensures the costs and benefits of climate adaptation and mitigation are equitably distributed.
- Policy E&C.3.2:
 - **Current:** Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce the community's vulnerability to climate change impacts.
 - **Proposed amendment:** Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce the community's vulnerability to climate change impacts and reduce the disproportionate impacts on vulnerable communities.
- Policy E&C.4.1:
 - **Current:** Assess vulnerabilities and risks of Flagstaff's natural resources
 - **Proposed amendment:** Assess vulnerabilities and risks of Flagstaff's natural resources in the context of anticipated climate changes and resulting changes to Flagstaff's systems.

The creation of four new policies:

- **Policy E&C.2.3:** Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce community greenhouse gas emissions.

- **Policy E&C.2.4:** Promote developments that help the community achieve carbon neutrality through strategies that reduce the project's emissions from transportation, energy, and consumption.
- **Policy E&C.3.5:** Improve the ability of vulnerable community members to adapt and thrive amidst the pressures of climate change.
- **Policy E&C.3.6:** Attempt to equitably distribute the burdens and benefits of climate action policies and investments to all segments of the community.

In addition, a minor change is being made to policy T.8.1, in the Transportation Chapter.

- Policy T.8.1:
 - **Current:** Promote efficient **transportation** connectivity to major trade corridors, employment centers, and special districts that enhances the region's standing as a major economic hub.
 - **Proposed amendment:** Promote efficient **network** connectivity to **and within** major trade corridors, employment centers, and special districts that enhances the region's standing as a major economic hub.

Need

This text amendment will update the Flagstaff Regional Plan 2030's discussion of climate change and climate action to align with the City of Flagstaff's climate action goals. The climate action work of the City has evolved rapidly since the 2014 adoption of the Regional Plan, creating a gap between the guidance provided in the Regional Plan and the City's declared climate goals and the ambition of its climate actions.

This gap is exemplified in the Regional Plan's discussion of greenhouse gas reduction targets.

- The Flagstaff Regional Plan 2030 climate change and adaptation section sets a goal to reduce greenhouse gas emissions: **Goal E&C.2.: reduce greenhouse gas emissions.**

- In 2018, City Council set a goal to reduce community greenhouse gas emissions by 80% by 2050.
- In 2020, City Council declared a climate emergency and set a goal to achieve carbon neutrality by 2030, effectively reducing emissions to net zero. The achievement of this goal will be guided by the Carbon Neutrality Plan, which was adopted by the Flagstaff City Council on June 15, 2021.

While these goal statements all support City action to reduce greenhouse gas emissions and do not conflict with one another, and, there is a significant gap between the ambition and requisite actions of these goal statements. This gap reflects the growth in the urgency of climate action and the strength of the international consensus on the need for immediate and aggressive climate action, compared to 2014 when the Regional Plan was passed.

This amendment will restore alignment between the Regional Plan and the declared climate goals, clarifying the carbon neutrality goal and the types of climate action the City will take. This will reduce confusion, increase transparency, and provide decision-makers with support when making decisions based on the City's climate action goals.

Regarding the change to Transportation Policy T.8.1: This change is being made as a result of the compatibility review among the proposed revisions to the climate pages and the existing Regional Plan goals and policies. Staff found the proposed climate text amendment to be incompatible with the transportation policy T.8.1, due to ambiguity within the policy T.8.1. around the meaning of the phrase 'efficient transportation connectivity.'

This policy is located in the automobile goals and policies section on page X-19. The meaning of 'promote efficient transportation connectivity' could be understood as promoting the faster flow of vehicles from place to place, which is sometimes the goal of roadway construction or improvement projects. This can lead to increased greenhouse gas emissions. 'Efficient transportation connectivity' could also be understood as a connected street grid or network, which allows efficient movement through Flagstaff and reduces trips. Indeed, this is how City transportation staff understand this phrase, and utilize this policy to support moving towards a connected street network. This connected grid network can actually lead to reduced greenhouse gas emissions, as vehicles

can take a more direct path to their destination, so long as this new connection does not induce more vehicle trips.

This revision to T.8.1 clarifies the meaning of the policy, and aligns with how staff understand the meaning of the policy. The main change is minor and clarifying, changing just one word from “transportation” connectivity to “network” connectivity. The secondary change is to add ‘and within’ to the policy. This clarifies that strong network connectivity is desired **within** trade corridors and employment centers, as well as **to** these areas.

This will reduce confusion, increase understanding throughout the community, and elevate the importance of a connected street network.

Project Narrative

Carbon Neutrality Amendment to the Flagstaff Regional Plan 2030

Text amendment details

This application proposes a major amendment to the Flagstaff Regional Plan 2030 to align with the carbon neutrality goals of the City of Flagstaff. This major amendment would be a text amendment, revising the Climate Change and Adaptation section of the Environmental Planning & Conservation Chapter on pages IV-11 and IV-12, and revising the Automobile Goals and Policies on page X-19 in the Transportation chapter.. The proposed changes will update the Regional Plan's discussion of climate change and climate action, and include the following changes to pages IV-11 and IV-12 include:

- Changes to the narrative

- Revisions to **goals E&C.2 and E&C.3**

- Revisions to policies **E&C.2.1, E&C.2.2, E&C.3.2, and E&C 4.1**

- Addition of four policies: **E&C.2.3, E&C.2.4, E&C.3.5, and E&C.3.6**

In addition to the text revisions on the Climate Change and Adaptation pages, this amendment also includes a wording revisions to policy T.8.1, in the Transportation chapter (located on page X-19).

These text amendments are detailed in section II.3 Description and Need and in attachment II.7 Concept Plan.

Background on City of Flagstaff climate action

Climate change, driven largely by human-caused greenhouse gas emissions, is disrupting global weather patterns and threatening communities worldwide. While climate shifts have occurred in the past, current climate change is happening at a faster rate than any recorded in history.

Since the passage of the Flagstaff Regional Plan 2030 in 2014, the international scientific community has clarified the need for rapid, worldwide, and aggressive climate action to avoid catastrophic change. In October of 2018, the Intergovernmental Panel on Climate Change (IPCC) published the Global Warming of 1.5° C Report, which laid out the need for urgent action to hold

overall global warming to 1.5° C¹. The United Nations has found that currently the world is “heading for a temperature rise in excess of 3°C this century – far beyond the Paris Agreement goals of limiting global warming to well below 2°C and pursuing 1.5°C.”² Three degrees Celsius is equivalent to 5.4 degrees Fahrenheit; warming at this scale would result in catastrophic change including devastating sea level rise, ocean acidification, extreme drought, mass migration, significant losses of plant and animal species, and positive feedback loops that further accelerate the warming.³ Fortunately, while the timeline for effective action is quickly closing, the international community still has a narrow opportunity to act.

The growing need and short window for action has influenced the City of Flagstaff’s goals on climate action and adaptation. First, in November 2018, the Flagstaff City Council unanimously adopted the Flagstaff Climate Action and Adaptation Plan. This Plan was the first community-wide climate plan in Arizona. It established specific reduction goals for community-wide greenhouse gas emissions (mitigation) as well as broad goals for preparing for change through adaptation and ensuring that Flagstaff prioritizes vulnerable community members when taking action. The Plan’s focus on mitigation, adaptation, and equity – the three core components of climate action – have guided the City’s climate work since that time.

Since 2018, the climate goals of the City of Flagstaff have advanced. The 2018 Global Warming of 1.5° C Report catalyzed Flagstaff community members into action: in 2019, community members started a petition to request that the Flagstaff City Council declare a climate emergency. On January 21, 2020, hundreds of community members spoke to ask the Flagstaff City Council to

¹ IPCC, 2018: Global Warming of 1.5°C. An IPCC Special Report on the impacts of global warming of 1.5°C above pre-industrial levels and related global greenhouse gas emission pathways, in the context of strengthening the global response to the threat of climate change, sustainable development, and efforts to eradicate poverty [Masson-Delmotte, V., P. Zhai, H.-O. Pörtner, D. Roberts, J. Skea, P.R. Shukla, A. Pirani, W. Moufouma-Okia, C. Péan, R. Pidcock, S. Connors, J.B.R. Matthews, Y. Chen, X. Zhou, M.I. Gomis, E. Lonnoy, T. Maycock, M. Tignor, and T. Waterfield (eds.)]. 2019.

² United Nations Environment Programme Emissions Gap Report 2020: <https://www.unep.org/emissions-gap-report-2020>

³ United Nations Environment Programme Emissions Gap Report 2020: <https://www.unep.org/emissions-gap-report-2020>

declare a Climate Emergency Declaration and update the 2018 Climate Action and Adaptation Plan to set a goal of carbon neutrality.

On June 23, 2020, the Flagstaff City Council declared a climate emergency and set a goal to achieve carbon neutrality by 2030. Carbon neutrality is defined as achieving “annual zero net anthropogenic (human caused or influenced) CO2 emissions” where “every ton of anthropogenic CO2 emitted is compensated with an equivalent amount of CO2 removed (e.g. via carbon sequestration)”.⁴

To develop the Flagstaff Carbon Neutrality Plan, City staff engaged with over 2,600 community members via six surveys, 12 open houses, presentations to groups, and social media campaigns to discuss how Flagstaff can achieve carbon neutrality. This Plan, which was adopted by the Flagstaff City Council on June 15, 2021, outlines the steps the City will take to achieve carbon neutrality.

While achieving carbon neutrality is technically a mitigation goal, the other two overarching goals of the 2018 Climate Action and Adaptation Plan, adaptation and equity, continue to be guiding principles for the City’s climate work. The Flagstaff Carbon Neutrality Plan carries forward the 2018 Climate Plan’s adaptation and equity goals, and the City will apply all three concepts when working to reach carbon neutrality.

The Flagstaff Carbon Neutrality Plan outlines nine target areas for action to reach carbon neutrality:

Flagstaff will achieve carbon neutrality by taking action in the following target areas:

- Community Resilience
- Equitable Systems
- Decreased Dependence on Cars
- Electric Mobility
- Clean Electricity
- Building Fuel Switching
- Reduced Building Energy Use
- Sustainable Consumption and Waste Management

⁴ <https://www.wri.org/insights/cop21-glossary-terms-guiding-long-term-emissions-reduction-goal>

- Carbon Dioxide Removal

Rationale

Due to the rapid acceleration of climate action by the City of Flagstaff, there is currently a gap between the ambitions of the City's climate work and the climate goals and policies of the Flagstaff Regional Plan 2030. With the upcoming implementation of the Flagstaff Carbon Neutrality Plan, this gap will continue to grow.

This gap is exemplified in the Regional Plan's discussion of greenhouse gas reduction targets:

- The Flagstaff Regional Plan 2030 climate change and adaptation section sets a goal to reduce greenhouse gas emissions: **Goal E&C.2.: reduce greenhouse gas emissions.**
- In 2018, City Council set a goal to reduce community greenhouse gas emissions by 80% by 2050.
- In 2020, City Council declared a climate emergency and set a goal to achieve carbon neutrality by 2030, effectively reducing emissions to net zero. The achievement of this goal will be guided by the Carbon Neutrality Plan, which was adopted by City Council on June 15, 2021.

While these goal statements all support City action to reduce greenhouse gas emissions and do not conflict with one another, and, there is a significant gap between the ambition and requisite actions of these goal statements. This gap reflects the growth in the urgency of climate action and the strength of the international consensus on the need for immediate and aggressive climate action, compared to 2014 when the Regional Plan was passed.

A major amendment to the Flagstaff Regional Plan 2030 would ensure that the City's work on climate change and climate action is appropriately aligned with the Regional Plan. This amendment will align the Regional Plan's climate change and adaptation goals and the City's climate goals as stated in the Carbon Neutrality Plan, clarifying and supporting the carbon neutrality goal as well as the types of climate action the City may take. This will reduce confusion, increase transparency, and provide decision-makers with support for decisions based on the City's climate action goals and priorities.

This amendment to the Regional Plan was requested by the City of Flagstaff Sustainability Commission at their March 25th meeting. This amendment was formally initiated by the City of Flagstaff Planning and Zoning Commission by a unanimous vote of the Commission at their April 14th meeting.

Compatibility with the Regional Plan

The proposed amendment supports the vision, goals, objectives and policies of the Flagstaff Regional Plan 2030. The Regional Plan envisions active stewardship and vitality for both the current population and future generations – ideals that are supported by aggressive climate action, resilience-building and support for vulnerable community members (the three types of climate action described in this proposed amendment). On page I-2, the Plan sets forth a vision for a Sustainable Flagstaff, connecting development decisions to environmental impact and the need to plan for the future. The Preferred Land Use Scenario chosen for the plan, Scenario E (page II-12), corresponds to lower vehicle miles traveled, lower water demand, great access to parks, and more multi-family development – all characteristics of development patterns that lead to lower greenhouse gas emissions. All of these elements are supported by the original climate change and adaptation goals and policies of the Regional Plan – and will be furthered by the revisions to the climate change and adaptation goals and policies proposed through this amendment.

Goal and Policy Compatibility and Consistency Review

The proposed text amendment is consistent with all goals and policies in the Flagstaff Regional Plan 2030. In fact, a large number of Regional Plan goals and policies are aligned with the increased specificity and ambition illustrated in the text amendment. A review of each goal and policy, and commentary to show support or address inconsistencies, are detailed in the final section at the bottom of this document starting on page 25.

While analyzing the Regional Plan for consistency with this proposed amendment, Transportation Policy T.8.1 was identified as potentially incompatible with the direction of the new greenhouse gas emissions goal. This incompatibility mainly stems from the wording of policy T.8.1. and the meaning of the phrase ‘efficient transportation connectivity.’ Since this policy is located in the automobile policy section, the meaning of ‘promote efficient transportation connectivity’ could be understood as promoting the rapid movement of vehicles

through the community. Improving the ability for cars to move through Flagstaff can lead to increased greenhouse gas emissions: people drive more when the cost of driving goes down, or when they can drive more easily.⁵ If the policy is understood to promote increased ease of vehicle movement, it would lead to increased greenhouse gas emissions and would therefore be incompatible with the proposed revision to Goal E&C.2.

Upon further analysis and conversations with City staff, it became apparent that there were multiple interpretations of this policy and the meaning of 'efficient transportation connectivity'. Key staff understand this policy to promote an efficient transportation network, namely through a better-connected street grid. City transportation staff currently utilize this policy to support moving towards a better-connected street network. This connected grid network can actually lead to reduced greenhouse gas emissions, as vehicles can take a more direct path to their destination, so long as this new connection does not induce more vehicle trips.

Based on this analysis, it was determined that policy T.8.1 should be revised to clarify the meaning of the policy, and align with how staff understand it – to promote a more efficient and connected street network. The main change is minor and clarifying, changing just one word from "transportation" connectivity to "network" connectivity. The secondary change is to add 'and within' to the policy. This clarifies that strong network connectivity is desired ***within*** trade corridors and employment centers, as well as ***to*** these areas.

These revisions will reduce confusion, increase understanding throughout the community, and ensure alignment among the proposed climate-related amendments and the transportation policies.

Cumulative impact of the proposal on land use categories within the City based on the Regional Plan Land Use map;

⁵ This concept is described by the Federal Highway Administration: "Improvements in any transportation system can lead to changes in travel behavior that will result in increased use of the system."
<https://www.fhwa.dot.gov/planning/itfaq.cfm>

The proposed text amendment will not alter land use categories within the City, based on the Regional Plan Land Use map. This amendment is a text amendment and will not change any land uses or add any land uses to the City. This amendment could impact the *analysis* and *decision-making* for future revisions to the Land Use map, as stronger climate goals policies are integrated into decision-making processes. The current Regional Plan goals and policies already support land uses changes that reduce greenhouse gas emissions and community vulnerability, and discourage land use changes that would increase emissions and vulnerabilities. The proposed amended goals and policies will *strengthen* this support for land uses that reduce greenhouse gas emissions and community vulnerability, and will *reduce* support for land uses changes that lead to increased emissions and increased vulnerability. This change will lead to decisions that are directionally similar to decisions supported by the existing Regional Plan goals and policies.

Cumulative impact of the proposal on the supply of land zoned in the same category within the City;

The proposed text amendment is not associated with any parcel of land or a zone, and so will not alter the supply of land of any zone.

The proposed amendment will not have an impact on area and place types within the City of Flagstaff, based on the Future Growth Illustration.

Impact on transportation and service needs;

The proposed amendment will not have negative impacts on transportation and service needs. The amendment may increase transportation options and levels of service for non-car modes of transportation, including walking, biking and transit. The amendment will further the City's already-existing goals to encourage active transportation, support transit use and operations, and reduce congestion. The City already supports programming and policies to reduce vehicle miles traveled and support active modes of transportation; achieving the City's climate goals will require strengthening those programs to more drastically reduce greenhouse gas emissions from transportation. Please reference the Goal and Policy Consistency Review (Section II.8b - page 25) for more information on how the transportation goals and policies of the Regional Plan are well-aligned with this amendment.

Housing impacts:

The proposed amendment will not have immediate impacts on housing in Flagstaff, because there are no proposed changes to the Growth Areas & Land Use or the Neighborhoods, Housing & Urban Conservation Chapters, nor to any of the Regional Plan maps or zoning designations. There may be indirect impacts that should be considered; these are analyzed below.

Climate change will impact Flagstaff's housing market: as temperatures in central Arizona become more extreme, increased visitation and tourism will likely stress Flagstaff's already-challenging housing market. Climate change is projected to cause mass migrations across the world, including smaller movements within states and across regions in the US.⁶ Flagstaff will not avoid this phenomenon, and may see more migration than most places due to its mild temperatures compared to the climate of the surrounding areas. The Phoenix area, one of the country's fastest growing metropolitan areas, is already seeing extreme heat waves with deadly effects; projections for Phoenix predict as many as 45 days each year where temperatures rise over Phoenix's extreme heat threshold of 112 degrees.⁷ Due to the strong ties between the Flagstaff and Phoenix areas, we can expect that increased warming in Phoenix will increase visitation to Flagstaff, which can affect housing supply in multiple ways: through the demand for second homes, the demand for short-term rentals, and the supply of housing for full-time residents.

Climate adaptation requires preparing for anticipated community changes like changes to the housing market: Flagstaff must continue to incorporate climate change considerations into its long-term planning for housing and the broader community. Improving the alignment between the Flagstaff Regional Plan and the City's climate action work will help City decision-makers to make decisions about housing within the context of climate change and its related impacts. The text amendment will clarify the importance of resilience and preparedness, as well as supporting vulnerable community members through the expected challenges that climate change will bring – particularly the expected

⁶ https://www.ipcc.ch/site/assets/uploads/2018/02/WGIIAR5-Chap12_FINAL.pdf

⁷ <https://www.azcentral.com/story/news/local/arizona-environment/2020/08/21/climate-change-urban-conditions-will-fuel-extreme-heat-in-phoenix/3403640001/>

exacerbation of Flagstaff's current housing challenges. Resilience-building and an equity focus can help the Flagstaff community adapt to shifts and challenges in the housing market and support its community members through these changes.

Achieving carbon neutrality will necessitate changes to Flagstaff's current land uses and housing development patterns. To reduce greenhouse gas emissions, Flagstaff needs to better utilize limited infill land by increasing the density in our inner neighborhoods and activity centers. Density reduces emissions from building energy use and transportation, while also contributing to more lively, welcoming, and diverse neighborhoods. Land use solutions are complementary to our transportation actions and impact our ability to achieve our transportation and emissions goals. Increases in density can be accompanied by efforts to make our neighborhoods more complete and support for residents who may want to walk, bike or take the bus.

These land use changes just discussed are in line with the current Regional Plan and the proposed text amendment. The Regional Plan celebrates environmentally conscious development and encourages mixed-use neighborhoods and appropriate density. Because of this strong alignment, this amendment will not significantly impact housing in Flagstaff. By clarifying Flagstaff's greenhouse gas emissions goals, this amendment could support faster implementation of the Regional Plan and achievement of its goals, which could lead to more rapid changes to Flagstaff's housing and development patterns.

Implementation impacts:

This amendment will not negatively impact the implementation of the Regional Plan goals and policies. It may improve implementation, due to better alignment between the Regional Plan and the climate action priorities of the City of Flagstaff.

Community benefits

This amendment to align the Regional Plan and the City's well-established climate action goals will provide several benefits to the community. First, formally recognizing the climate action efforts of the City of Flagstaff and its

partners will reinforce the connections between climate action and the vision of the Regional Plan, increasing understanding among the Flagstaff community. While the current Climate Change and Adaptation pages of the Regional Plan provided foundational information about climate change and climate action, specifically mentioning the City's two working documents on climate change – the 2018 Climate Action and Adaptation Plan, and the 2021 Flagstaff Carbon Neutrality Plan – will help readers of the Plan understand the extent of the City's climate goals, how the City is taking climate action and where to find detailed information on the implementation of the Regional Plan goals.

This amendment will also increase transparency. Since the 2018 adoption of the Flagstaff Climate Action and Adaptation Plan, the City of Flagstaff has endeavored to incorporate climate change concerns and climate action into its decision-making processes. However, the broad nature of the Regional Plan greenhouse gas emissions reduction goal does not specify the extent of emissions reductions needed. In the development review process, staff and other decision-makers could not refer to formal goals and policies in the Regional Plan that reflected the City's strong climate goals for guidance in decision-making. Rather, decision-makers would need to rely on the existing Regional Plan goal E&C.2 to reduce greenhouse gas emissions. Goal E&C.2 is similar to the climate goals in direction, but not informed by a time frame or a reduction goal that illustrates the level of ambition and action needed.

To align with community priorities, actors across the Flagstaff community have begun incorporating stronger environmental features and benefits into land use planning and developments. Strengthening the Regional Plan's climate action goals and policies in the Regional Plan will clarify the importance of climate action and provide both applicants and decision-makers with a more current reflection of the City's climate change and climate action priorities.

Climate action provides multiple benefits to the Flagstaff community. Achieving carbon neutrality, as proposed in the revision to Regional Plan Goal E&C.2, can usher in community transformations that benefit Flagstaff, such as: lower air pollution, a wider range of options and more support for healthy and inexpensive modes of travel, better connections and more diversity and attainability in neighborhoods, increased energy efficiency in homes and buildings, and reduced waste.

The proposed new policy **E&C.3.5** would encourage activity to support the resilience of Flagstaff's vulnerable community members. This would benefit Flagstaff's community members who are the most vulnerable to the negative impacts of climate change – the elderly, low-income families, those with health conditions or disabilities, and communities of color. These vulnerable community members may need support as climate change causes increased vulnerability to wildfire, drought, and public health concerns like poor air quality. Support may also be needed to help community members weather changes to Flagstaff's housing market, job market and infrastructure. Building resilience to change and supporting vulnerable community members, will have benefits across Flagstaff due to greater self-reliance and stronger support systems.

When the City takes climate action – whether it is for mitigation, adaptation, or equity purposes – City staff must ensure that the intended actions do not unintentionally harm vulnerable communities or add to the burdens they face. The City must analyze climate actions not only for potential harm, but also for how the benefits of climate action are being distributed: do all populations have access to new programming? Will all neighborhoods be able to benefit from a new policy? Or will some groups actually see their burdens increase due to a change in City codes? Policy **E&C 3.6** will assist in this analysis. This new policy was modeled off of the existing Regional Plan transportation policy T.11.4: 'attempt to equitably distribute the burdens and benefits of transportation investments to all segments of the community.' Just like with transportation investments, climate investments can lead to both benefits and burdens, and the City must work to anticipate these impacts and ensure that they do not disproportionately harm or benefit certain groups. Climate action can have great benefits for the Flagstaff community; this text amendment will help the City to ensure that these benefits reach further into the community and that climate action can help Flagstaff's more vulnerable residents thrive.

The following sections of the project narrative requirements (Requirement II.8) are not applicable to this amendment:

- Statement of current zoning, and proposed zoning.
- Cumulative impact of the proposal on the supply of land zoned in the existing category for the property within the City.
- Land use buffering techniques.

- A description of how essential public services (i.e. water, wastewater, stormwater, solid waste) will be provided.

II.8b Goal and Policy Compatibility and Consistency Review

Goal	Policy	Consistent?	Comments
Chapter IV - Environmental Planning & Conservation			
<p>Chapter review: The proposed amendment is compatible with the goals and policies of the Environmental Planning & Conservation Chapter. Strong climate action is critical to maintain the long-term health and viability of Flagstaff's natural environment. Flagstaff's natural landscape will evolve with climate change, as increased temperatures and aridity cause changes in Flagstaff's forests, soils, and snowpack. Urgent and international climate action to keep global temperature change below 1.5 degrees Celsius can help the world avoid the most dramatic landscape change scenarios. The Plan revisions proposed in this amendment solidify the City's commitment to the aggressive climate action that can uphold the vision set forth in the Environmental Planning & Conservation section of the Plan. The goals and policies of the Environmental Planning & Conservation Chapter are well-aligned with strong climate action through emissions reductions, increasing resilience and improving equity, as well as the specific text revisions proposed in this text amendment.</p> <p>Many of the resources discussed within this Chapter (soils, sensitive lands, etc.), are resources that are enhanced or protected by resilience-building and the conservation of resources. Compact land development is a concept that is both strongly supported by this plan and also necessary to achieve the resilience, equity and mitigation goals outlined in the proposed amendment. Compact development is needed to achieve the goals outlined in this chapter related to protecting wildlife, conserving sensitive lands, maintaining quiet, and the conservation of soil; the proposed amendments, by strengthening the Regional Plan's climate goals and policies, will further these goals and support their associated policies.</p> <p>Dark sky preservation can be supported by climate action, though the relationship is less strong. Compact development can help to preserve undeveloped areas and focus growth in designated parts of the City where it is less likely to impact Flagstaff's night skies and our regional observatories. While some dark-sky-friendly lighting is slightly less energy efficient than the most energy-efficient outdoor lighting on the market, the preservation of dark sky lighting is a higher priority for the community compared to the relatively minor energy efficiency gains for a small portion of the community's overall energy consumption. Flagstaff can work to first reduce energy use in almost every other aspect of our community, before we need to tackle the energy efficiency of outdoor lighting. In this instance, the text amendment generally supports the goal of dark skies; decision-makers will need to understand this tension and work to appropriately balance these two goals.</p>			
AIR QUALITY GOALS AND POLICIES Page IV-10			
Goal E&C.1. Proactively		Goal: Yes	Very strong relationship - contributes to carbon neutrality.

Goal	Policy	Consistent?	Comments
improve and maintain the region's air quality.	Policy E&C.1.1. Engage public agencies concerned with the improvement of air quality, and implement state and regional plans and programs to attain overall federal air quality standards (in particular ozone, particulate matter, and carbon monoxide) on a long- term basis.	Yes	Very strong relationship - contributes to carbon neutrality.
	Policy E&C.1.2. Pursue reduction of total emissions of high-priority pollutants from commercial and industrial sources and area- wide smoke emissions.	Yes	Very strong relationship - contributes to carbon neutrality.
	Policy E&C.1.3. Encourage strategies and partnerships to mitigate dust.	Yes	Strong relationship - contributes to equity.
	Policy E&C.1.4. Maintain air quality through pursuit of non-polluting industry and commercial enterprises.	Yes	Very strong relationship - contributes to carbon neutrality.
	Policy E&C.1.5. Seek feasible alternatives to reduce the smoke produced through prescribed burns and slash piles while continuing efforts to return fire to its natural role in the ecosystem.	Yes	Strong relationship - contributes to resilience.
CLIMATE CHANGE AND ADAPTATION GOALS AND POLICIES Page IV-12			
Goal E&C.2. Reduce greenhouse gas emissions.		Goal: Yes	Very strong relationship - contributes to carbon neutrality.
	Policy E&C.2.1. Encourage the reduction of all energy consumption, especially fossil-fuel generated energy, in public, commercial, industrial, and residential sectors.	Yes	Very strong relationship - contributes to carbon neutrality.
	Policy E&C.2.2. Promote investments that strengthen climate resiliency.	Yes	Very strong relationship - contributes to carbon neutrality.
Goal E&C.3. Strengthen		Goal: Yes	Very strong relationship - contributes to resilience.

Goal	Policy	Consistent?	Comments
community and natural environment resiliency through climate adaptation efforts.	Policy E&C.3.1. Develop and implement a comprehensive and proactive approach to prepare the community for and to minimize the impacts of climate change induced hazards.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.3.2. Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce the community's vulnerability to climate change impacts.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.3.3. Invest in forest health and watershed protection measures.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.3.4. Increase the region's preparedness for extreme climate events.	Yes	Strong relationship - contributes to resilience.
Goal E&C.4. Integrate available science into policies governing the use and conservation of Flagstaff's natural resources.		Goal: Yes	Very strong relationship - contributes to approach.
	Policy E&C.4.1. Assess vulnerabilities and risks of Flagstaff's natural resources.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.4.2. Develop water use policies that attempt to integrate current best projections of climate change effects on the Colorado Plateau's water resources and emphasize conservation.	Yes	Strong relationship - contributes to resilience.
DARK SKIES GOALS AND POLICIES Page IV-13			
Goal E&C.5. Preserve dark skies as an unspoiled natural resource, basis for an important economic sector,		Goal: Yes	There are some instances where dark-sky friendly lighting is not the most energy efficient lighting option. This tension has been discussed in climate planning documents, as one community tension that staff will need to balance as they make decisions. In many cases, dark sky lighting will be the higher

Goal	Policy	Consistent?	Comments
and core element of community character.			priority for the community, compared to relatively minor energy efficiency gains. The City can reduce energy use in several areas, whereas the Flagstaff community has limited ways to reduce dark sky pollution.
	Policy E&C.5.1. Evaluate the impacts of the retention of dark skies regarding lighting infrastructure and regulatory changes, land use decisions or changes, and proposed transportation developments within the region.	N/A (not applicable)	
	Policy E&C.5.2. Encourage and incentivize voluntary reduction of “exempt” lighting that degrades night sky visibility, and work to prevent light trespass whenever possible in both public and private areas.	N/A	
	Policy E&C.5.3. Continue to enforce dark sky ordinances.	N/A	
	Policy E&C.5.4. Encourage uses within Lighting Zone I of the lighting codes of the City and County that do not require outdoor lighting, and discourage those which require all-night lighting.	N/A	
Goal E&C.6. Protect, restore and improve ecosystem health and maintain native plant and animal community diversity across all land		Goal: Yes	Strong relationship - contributes to resilience.
	Policy E&C.6.1. Encourage public awareness that the region’s ponderosa pine forest is a fire-dependent ecosystem and strive to restore more natural and sustainable forest composition, structure, and processes.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.6.2. Encourage all landowners and land management agencies to emphasize forest ecosystem restoration and catastrophic fire risk reduction for the lands under their respective jurisdictions.	Yes	Strong relationship - contributes to resilience.

Goal	Policy	Consistent?	Comments
ownerships in the Flagstaff region.	Policy E&C.6.3. Promote protection, conservation, and ecological restoration of the region's diverse ecosystem types and associated animals.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.6.4. Support collaborative efforts to return local native vegetation, channel structure and, where possible and applicable, preservation and restoration of in-stream flows to the region's riparian ecosystem.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.6.5. Preserve Flagstaff's wetland areas and discourage inappropriate development that may adversely affect them and the ecosystem services they provide.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.6.6. Support cooperative efforts for forest health initiatives or practices, such as the Four Forest Restoration Initiative (4FRI), to support healthy forests and protect our water system.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.6.7. Use best practices to control the spread of exotic and invasive plants, weeds, and animals, and eradicate where possible.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.6.8. Disturbed areas for improvements and landscaping for new developments shall emphasize the use of native, drought-tolerant or edible species appropriate to the area.	Yes	Strong relationship - contributes to resilience AND mitigation.
	Policy E&C.6.9. Develop guidelines to minimize the use of herbicides, insecticides, and similar materials.	Yes	Strong relationship - contributes to resilience AND mitigation.
ENVIRONMENTALLY SENSITIVE LANDS GOALS AND POLICIES Page IV-16			
Goal E&C.7. Give special		Goal: Yes	Environmentally sensitive lands contribute to community resilience.

Goal	Policy	Consistent?	Comments
consideration to environmentally sensitive lands in the development design and review process.	Policy E&C.7.1. Design development proposals and other land management activities to minimize the alteration of natural landforms and maximize conservation of distinctive natural features.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.7.2. Favor the use of available mechanisms at the City and County level for the preservation of environmentally sensitive lands, including but not limited to public acquisition, conservation easements, transfer of development rights, or clustered development with open space designations.	Yes	Strong relationship - contributes to resilience. There often can be a perceived conflict between open space preservation and development - but climate-focused development can provide more opportunities for open space and conservation.
NATURAL QUIET GOALS AND POLICIES Page IV-16			
Goal E&C.8. Maintain areas of natural quiet and reduce noise pollution.		Goal: N/A	
	Policy E&C.8.1. Establish location-appropriate sound management tools with measurable criteria. Policy E&C.8.2. Evaluate land uses and transportation proposals for their potential noise impacts.	N/A	
SOILS GOALS AND POLICIES Page IV-17			
Goal E&C.9. Protect soils through conservation practices.		Goal: Yes	
	Policy E&C.9.1. County Policy: In areas of shallow or poor soils where standard on-site wastewater systems are not feasible, give preference to very low-density development, integrated conservation design, a centralized treatment facility, and technologically advanced environmentally sensitive systems.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.9.2. Construction projects employ strategies to minimize disturbed area, soil compaction, soil erosion, and destruction of vegetation.	Yes	Strong relationship - contributes to resilience.

Goal	Policy	Consistent?	Comments
WILDLIFE GOALS AND POLICIES Page IV-19			
Goal E&C.10. Protect indigenous wildlife populations, localized and larger-scale wildlife habitats, ecosystem processes, and wildlife movement areas throughout the planning area.		Goal: Yes	Strong relationship - contributes to resilience.
	Policy E&C.10.1. Encourage local development to protect, conserve, and when possible enhance and restore wildlife habitat.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.10.2. Protect, conserve, and when possible enhance and restore wildlife habitat on public land.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.10.3. Protect sensitive and uncommon habitats such as ephemeral wetlands, riparian habitats, springs and seeps, rare plant communities, and open prairie ecosystems including the physical elements such as water sources and soil types on which they depend through open space acquisition efforts, avoiding these features in the design of subdivisions and other development, etc.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.10.4. Support the control and removal of terrestrial and aquatic exotic and invasive animals.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.10.5. Support the development of watchable wildlife recreation opportunities.	Yes	Strong relationship - contributes to resilience.
	Policy E&C.10.6. Conserve and restore important wildlife corridors throughout the planning area to allow wildlife to find suitable habitat in the face of climate change by moving along vegetational and elevational gradients.	Yes	Strong relationship - contributes to resilience.
Chapter V - Open Space			

Goal	Policy	Consistent?	Comments
<p>Chapter review: The proposed amendment is compatible with the goals and policies of the Open Space Chapter. The proposed amendment, which strengthens the climate mitigation, adaptation and equity goals and policies of the Regional Plan, supports the preservation, development, and maintenance of open space properties. Open space supports community resilience: Open Space's many benefits to physical health, mental health, strong ecosystems, wildlife, and recreation opportunities all contribute to a stronger, more resilient community. Climate change will also affect Flagstaff's open spaces, as our region's forests, grasslands and riparian areas change due to increases in temperature and aridity. Climate adaptation and preparation can help us to better understand the impacts of climate change on our open spaces, and how to best preserve them in a time of rapid change.</p> <p>The preservation of open space is also strongly linked to compact development. While some may perceive a conflict between open space preservation and development, climate-focused, compact development can actually support the creation of more legally designated open space properties. Low-greenhouse gas-emissions land use incorporates density into activity centers and already-developed land (infill). This type of land use reduces building and transportation emissions, while concentrating development on land that is already served by roads, water infrastructure and social infrastructure, within existing neighborhoods. Most importantly, dense, climate-friendly development allows more people to live in smaller areas, better utilizing Flagstaff's limited land resources. Density can lead to greater preservation of open spaces, as land is better-utilized: A hypothetical scenario can demonstrate this relationship: instead of dividing 20 acres among 80 quarter-acre lots, housing 80 families, a more climate-friendly development could create 120 homes through duplexes, townhomes, and small apartment buildings on 10 acres, while preserving ten acres for open space. This arrangement means that families in the new development and families in existing nearby neighborhoods both have greater access to open space, contributing to health and equity goals. In this way, climate-focused development can help provide more opportunities for open space, recreation and conservation. The City already works to balance the goals of open space, housing and climate action. By strengthening the climate goals and policies of the Regional Plan, City decision-makers will have more support for including climate action considerations in their decision-making.</p>			
OPEN SPACE GOALS AND POLICIES Page V-5		Goal: Yes	Strong relationship - contributes to resilience. There often can be a perceived conflict between open space preservation and development - but climate-focused development can provide more opportunities for open space and conservation.
Goal OS.I. The region has a system of open lands, such as undeveloped	Policy OS.I.I. Establish a Conservation Land System supported by stakeholders (federal, state, city, county, non-profit, and interested citizens) to inventory, map, update, and manage the region's green infrastructure including open space planning, acquisition, conservation, protection, and long-term management and maintenance.	Yes	Strong relationship - contributes to resilience.

Goal	Policy	Consistent?	Comments
natural areas, wildlife corridors and habitat areas, trails, access to public lands, and greenways to support the natural environment that sustains our quality of life, cultural heritage, and ecosystem health.	Policy OS.I.2. While observing private property rights, preserve natural resources and priority open lands, under the general guidance of the <i>Flagstaff Area Open Space and Greenways Plan</i> and the Natural Environment maps.	Yes	Strong relationship - contributes to resilience.
	Policy OS.I.3. Use open spaces as natural environment buffer zones to protect scenic views and cultural resources, separate disparate uses, and separate private development from public lands, scenic byways, and wildlife habitats.	Yes	Strong relationship - contributes to resilience.
	Policy OS.I.4. Use open space as opportunities for non-motorized connectivity, to interact with nature, and to enjoy the views and quiet.	Yes	Strong relationship - contributes to resilience and mitigation.
	Policy OS.I.5. Integrate open space qualities into the built environment.	Yes	Strong relationship - contributes to resilience.
Chapter VI - Water Resources			

Chapter review: The proposed amendment is compatible with the goals and policies of the Water Resources Chapter. The goals and policies of the Water Resources Chapter all support strong climate action, which is in turn supportive of maintaining the long-term viability of Flagstaff's water supplies and natural environment. Climate action can help to achieve all goals of the water resources chapter, helping to reduce demand on water resources through water conservation and water reuse.

The water supply goals and policies are linked to climate change and climate action, and are well-supported by the proposed amendment. Climate change will impact Flagstaff's water supply: as temperatures and aridity increase, Flagstaff will need to depend less on surface water supplies via Lake Mary, and more on water obtained from the City's wells. Climate change can lead to lower levels of water in Flagstaff's nearby aquifer, potentially leading to deeper and more expensive wells. The proposed amendment will help Flagstaff be better prepared for and ready to adapt to this changing water future.

The proposed amendments to mitigation and equity goals and policies will support the goals and policies of the water demand section, too. Water production and treatment use a large amount of energy, accounting for the largest portion of the City of Flagstaff municipal organization's energy use. Water conservation and energy efficiency improvements in water production and treatment operations are already helping to lower Flagstaff's greenhouse gas emissions; stronger climate goals and policies will further support these initiatives. Access to water has clear equity implications; as the climate changes, the City will need to prioritize the needs of vulnerable community members in its policy and process changes related to water and climate action.

Goal	Policy	Consistent?	Comments
<p>The proposed amendments are also strongly supportive of the stormwater goals and policies, and will help to further their aims. It is well-established that climate change will bring increases in both the frequency and the intensity of extreme weather events, including intense thunderstorms and unusually heavy rainfall or snowfall events, leading to flooding in Flagstaff's flood-prone areas. Flood risks are also increased due to the increased likelihood of rain-on-snow or rain-on-ice, which lead to high volumes of run-off, or in areas that have recently been damaged by moderate- to high-severity wildfires, which degrade the soil's ability to absorb water. All of these factors contribute to expected increases in the frequency, magnitude and severity of flooding. Our current infrastructure is not well-equipped to handle these increased risks: upgrades to our current infrastructure are necessary. Preparing for our changing risk profile is a critical part of climate resilience; the proposed text amendment supports the stormwater section goal and all associated policies, and should assist in their implementation and achievement of this goal.</p>			
WATER SOURCES GOALS AND POLICIES Page VI-8			
Goal WR.1. Maintain a sustainable water budget incorporating regional hydrology, ecosystem needs, and social and economic well-being.		Goal: Yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.1.1. Participate in and support regional processes to develop a sustainable water budget.	Yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.1.2. Seek regional opportunities to partner with resource land managers and adjacent landowners to improve water yield and hydrologic processes.	Yes	Strong relationship - contributes to resilience and mitigation.
Goal WR.2. Manage a coordinated system of water, wastewater, and reclaimed water utility service facilities and resources at the City level and		Goal: Yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.2.1. Develop and adopt an integrated water master plan that addresses water resources, water production and its distribution, wastewater collection and its treatment, and reclaimed water treatment and its distribution.	Yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.2.2. Maintain and develop facilities to provide reliable, safe, and cost-effective water, wastewater, and reclaimed water services.	Yes	Strong relationship - contributes to resilience and mitigation.

Goal	Policy	Consistent?	Comments
identify funding to pay for new resources.	Policy WR.2.3. Develop programs to minimize lost and unaccounted for water to acceptable levels.	Yes	Strong relationship - contributes to resilience and mitigation.
	<i>Note: Specific thresholds will be included in the City's water policy.</i>		
WATER DEMAND GOALS AND POLICIES Page VI-13		Goal: Yes	Strong relationship - contributes to resilience and mitigation.
Goal WR.3. Satisfy current and future human water demands and the needs of the natural environment through sustainable and renewable water resources and strategic conservation measures.	Policy WR.3.1. Work together with regional partners to address regional human and environmental water needs.	Yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.3.2. Favor low-water consuming businesses and industries over water-intensive uses.	Yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.3.3. Integrate sound water conservation and reuse systems into new and updated public facilities.	Yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.3.4. Use reclaimed water and rainwater harvesting wherever appropriate and practical.	Yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.3.5. Encourage private well owners to install meters to understand how much water is used as well as alert property owners to possible leaks.	Yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.3.6. All large turf areas (e.g. schools, parks, golf courses, etc.) should use reclaimed water or other approved rain harvesting techniques for irrigation purposes.	Yes	Strong relationship - contributes to resilience and mitigation.
	City-Specific Policies		
	Policy WR.3.7. Calculate the volume of local water resources it has available and make periodic updates as appropriate.	Yes	Strong relationship - contributes to resilience and mitigation.

Goal	Policy	Consistent?	Comments
	Policy WR.3.8. Implement a water management program that creates a linkage between new growth and a minimum 100-year water supply.	Yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.3.9. Identify adequate funding sources to pay for new resources for a long-term renewable water supply.	Yes	Strong relationship - contributes to resilience and mitigation.
		Goal: Yes	
Goal WR.4. Logically enhance and extend the City's public water, wastewater, and reclaimed water services including their treatment, distribution, and collection systems in both urbanized and newly developed areas of the City to provide an efficient delivery of services.	Policy WR.4.1. Use the <i>Regional Plan</i> as a guide for the <i>Utilities Integrated Master Plan</i> to better plan for the necessary infrastructure sizing and location to accommodate planned growth and resource management.	Yes	Strong relationship - contributes to resilience.
	Policy WR.4.2. Maintain, at the City level, a financially stable utility to provide reliable, high quality utility services.	Yes	Strong relationship - contributes to resilience.
	Policy WR.4.3. Development requiring public utility services will be located within the Urban Growth Boundary.	Yes	Strong relationship - contributes to resilience and mitigation.
STORMWATER AND WATERSHED MANAGEMENT GOALS AND POLICIES Page VI-18			
Goal WR.5. Manage watersheds and stormwater to		Goal: Yes	Strong relationship - contributes to resilience.

Goal	Policy	Consistent?	Comments
address flooding concerns, water quality, environmental protections, and rainwater harvesting.	Policy WR.5.1. Preserve and restore existing natural watercourse corridors, including the 100-year floodplain, escarpments, wildlife corridors, natural vegetation, and other natural features using methods that result in a clear legal obligation to preserve corridors in perpetuity, where feasible.	Yes	Strong relationship - contributes to resilience.
	Policy WR.5.2. Incorporate pedestrian access, trails, and watchable wildlife opportunities into natural watercourses when practical.	yes	Strong relationship - contributes to resilience.
	Policy WR.5.3. Identify downstream impacts as the result of development, and provide for mitigation measures to address impacts. When possible, mitigations should be non-structural in nature.	yes	Strong relationship - contributes to resilience.
	Policy WR.5.4. Develop any necessary stormwater infrastructure improvements consistent with City of Flagstaff stormwater master plans or studies as adopted by the City.	yes	Strong relationship - contributes to resilience.
	Policy WR.5.5. Give preference to regional detention facilities that are designed in conjunction with smaller low-impact development features, rather than numerous smaller dispersed basins. Encourage regional detention basins to incorporate natural watershed characteristics as well as offering recreational components.	yes	Strong relationship - contributes to resilience.
	Policy WR.5.6. Implement stormwater harvesting techniques to support water conservation strategies by collecting and using local precipitation in the vicinity where it falls to support both human and overall watershed health needs.	yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.5.7. Support healthy watershed characteristics through implementation of practices, consistent with the City of Flagstaff Low Impact Design Manual, that improve flood control and flood attenuation, stormwater quality, and water sustainability; increase groundwater recharge; enhance open space quality; increase biodiversity; and reduce land disturbance and soil compaction.	yes	Strong relationship - contributes to resilience.

Goal	Policy	Consistent?	Comments
WATER QUALITY GOALS AND POLICIES Page VI-19			
Goal WR.6. Protect, preserve, and improve the quality of surface water, groundwater, and reclaimed water in the region.		Goal: Yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.6.1. Explore the feasibility of additional or alternative treatment technologies for the City of Flagstaff and other surrounding regional wastewater treatment systems, and monitor the research on the potential impacts on human health and our regional water supplies.	yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.6.2. Recognizing the concern about water quality, seek methods to divert contaminants from the waste stream.	N/A	
	Policy WR.6.3. Implement best management practices to protect, restore, and maintain surface waters and their contributing watersheds.	yes	Strong relationship - contributes to resilience and mitigation.
	<i>Note: Refer to best management practices adopted by the Arizona Department of Environmental Quality at http://www.adeq.gov</i>		
	Policy WR.6.4. Encourage low-impact development strategies.	yes	Strong relationship - contributes to resilience and mitigation.
	Policy WR.6.5. Make City and County water quality data available and accessible to the public.	N/A	
Chapter VII - Energy			
<p>Chapter review: The proposed amendment is compatible with the goals and policies of the Energy Chapter. The goals and policies of the Energy Chapter all work to reduce greenhouse gas emissions, aligning with the revised goal E&C.2, to achieve carbon neutrality. This chapter vision calls for reduced energy use and more renewable energy production, both of which lead to reductions in greenhouse gas emissions. The Chapter's two goals, regarding energy efficiency and renewable energy, are critical to reducing greenhouse gas emissions and achieving carbon neutrality; these two goals make</p>			

Goal	Policy	Consistent?	Comments
<p>up two of the nine target areas in the Carbon Neutrality Plan. The proposed text amendment will help to accelerate the achievement of the Regional Plan's energy efficiency and renewable energy goals and policies.</p> <p>Energy efficiency and renewable energy can have resilience and equity impacts, too: increased energy efficiency and on-site energy production reduce reliance on outside energy sources for a home, business or an entire community. Energy efficiency and renewable energy also can save residents, businesses, and the City municipal organization money, leading to a lower cost of living and increased disposable income for other uses. Due to these synergies, the text amendment's adaptation and equity goals and policies will further support the goals and policies of the energy chapter. The text amendments can support the implementation of these policies, to ensure that energy efficiency and renewable energy are achieved in a manner that is equitable and increases community resilience.</p>			
EFFICIENT USE OF ENERGY GOALS AND POLICIES Page VII-3			
Goal E.1. Increase energy efficiency.		Goal: Yes	VERY strong relationship - contributes to resilience and mitigation.
	Education		
	Policy E.1.1. Promote and encourage innovative building practices through instruction on efficient building materials and methodology.	yes	VERY strong relationship - contributes to resilience and mitigation.
	Policy E.1.2. Support workforce training for the installation and maintenance of energy-efficient technologies.	yes	VERY strong relationship - contributes to resilience and mitigation.
	Policy E.1.3. Empower all community members to make smarter energy choices through education and incentives.	yes	VERY strong relationship - contributes to resilience and mitigation.
	Building		
	Policy E.1.4. Promote cost-effective, energy-efficient technologies and design in all new and retrofit buildings for residential, commercial, and industrial projects.	yes	VERY strong relationship - contributes to resilience and mitigation.

Goal	Policy	Consistent?	Comments
	Policy E.I.5. Promote and encourage the expansion and use of energy-efficient modes of transportation:	yes	VERY strong relationship - contributes to resilience and mitigation.
	a. Public transportation		
	b. Bicycles		
	c. Pedestrians		
	Policy E.I.6. Develop land use regulations promoting land use patterns that increase energy efficiency.	yes	VERY strong relationship - contributes to resilience and mitigation.
	Policy E.I.7. Support policies and programming that reduce electricity, natural gas, and water consumption in order to conserve natural resources and reduce financial costs.	yes	VERY strong relationship - contributes to resilience and mitigation.
	Policy E.I.8. Incorporate alternative energy conservation and renewable energy systems in applicable codes.	yes	VERY strong relationship - contributes to resilience and mitigation.
	Policy E.I.9. Develop standards and guidelines to guide builders, architects, and developers toward optimal building, water use, and energy performance.	yes	VERY strong relationship - contributes to resilience and mitigation.
	Policy E.I.10. Incentivize energy efficiency and renewable energy technologies in construction projects.	yes	VERY strong relationship - contributes to resilience and mitigation.
	Policy E.I.11. Identify financing mechanisms to support water and energy efficiency improvements in public, residential, commercial, and industrial sectors.	yes	VERY strong relationship - contributes to resilience and mitigation.
	Policy E.I.12. Promote indigenous and local building materials and structures as climate-adaptable energy efficiency prototypes.	yes	VERY strong relationship - contributes to resilience and mitigation.
	Transportation		

Goal	Policy	Consistent?	Comments
	Policy E.1.13. Promote and encourage the use of fuel-efficient vehicles that use renewable fuels.	yes	VERY strong relationship - contributes to resilience and mitigation.
RENEWABLE ENERGY GOALS AND POLICIES Page VII-5			
Goal E.2. Expand production and use of renewable energy.		Goal: Yes	VERY strong relationship - contributes to mitigation.
	Policy E.2.1. Promote renewable energy sources that reduce demand upon fossil fuels and other forms of generation that produce waste.	yes	VERY strong relationship - contributes to mitigation.
	Policy E.2.2. Preserve opportunities for development of renewable energy resources in the planning process.	yes	VERY strong relationship - contributes to mitigation.
	Policy E.2.3. Promote renewable energy pilot programs as a showcase to educate the public and the development community.	yes	VERY strong relationship - contributes to mitigation.
	Policy E.2.4. Encourage small-scale renewable energy production and use on the local level on appropriate residential, commercial, and industrial parcels.	yes	VERY strong relationship - contributes to mitigation.
	Policy E.2.5. Pursue, promote, and support utility-scale renewable energy production such as biomass facilities, solar electricity, wind power, waste-to-energy, and other alternative energy technologies.	yes	VERY strong relationship - contributes to mitigation.
	Policy E.2.6. Collaborate with local tribes to develop renewable energy opportunities on tribal lands.	yes	VERY strong relationship - contributes to mitigation.
Chapter VIII - Community Character			
The proposed amendment is compatible with the goals and policies of the Community Character Chapter. The goals and policies of the Community Character Chapter are somewhat relevant to climate action; several important intersections are discussed below.			

Goal	Policy	Consistent?	Comments
<p>The Scenic Resources and Natural Setting goals and policies are compatible with the proposed text amendment. As discussed with in the Environmental Planning and Conservation and Open Space Chapter review statements, the compact land development associated with the strong climate action outlined in the text amendment can support the preservation of community resources, values and character. Concentrated, well-planned development can reduce the pressures for sprawl and inappropriate development, while reducing greenhouse gas emissions and conserving community resources such as water courses, floodplains, meadows and other landmarks. Dense development and viewsheds can sometimes seem to be at odds. However, dense development, when done appropriately, can contribute to the preservation of significant viewsheds and other landmarks, steering development to appropriate locations that have historically been densely developed, are in need of infill, or have lower impacts to significant viewsheds.</p> <p>Heritage preservation is generally supported by climate action, particularly when considering building energy use. Existing buildings contain significant embodied energy, and so are often more sustainable than a new building on the same site. Many of Flagstaff's historic resources are actually examples of excellent resource conservation, as many of the homes and buildings in our historic neighborhoods were built very efficiently, and retain their excellent insulation and comfort levels to this day. The Heritage Preservation Section's policies that encourage adaptive reuse are well-aligned with climate action and the proposed text amendment, reducing emissions and improving community relationships, which contributes to community resilience.</p> <p>The goals and policies to support Flagstaff's design tradition and promote art, science, Southwest culture and native American art are all compatible with the proposed text amendment. These goals and policies all contribute to a stronger sense of community and a more vibrant pedestrian experience, which are both positive elements for increasing resilience and reducing greenhouse gas emissions, respectively.</p>			
SCENIC RESOURCES AND NATURAL SETTING GOALS AND POLICIES Page VIII-3		Goal: N/A	
Goal CC.1. Reflect and respect the region's natural setting and dramatic views in the built environment.	Policy CC.1.1. Preserve the natural character of the region through planning and design to maintain views of significant landmarks, sloping landforms, rock outcroppings, water courses, floodplains, and meadows, and conserve stands of ponderosa pine.	yes	There can be a perceived conflict between dense development, which contributes to reduced greenhouse gas emissions, and viewsheds. The goals are ultimately compatible; both goals can coexist and can actually reinforce each other.
	Policy CC.1.2. Continue to define and further develop the community character by incorporating the natural setting into the built environment at all design scales.	N/A	

Goal	Policy	Consistent?	Comments
	Policy CC.1.3. Design development patterns to maintain the open character of rural areas, protect open lands, and protect and maintain sensitive environmental areas like mountains, canyons, and forested settings.	yes	Strong relationship - contributes to mitigation and resilience.
	<i>Refer to Chapter V - Open Space for more information.</i>		
	Policy CC.1.4. Identify, protect, and enhance gateways, gateway corridors, and gateway communities.	N/A	
	Policy CC.1.5. Design development patterns to maintain the open character of rural areas, protect open lands, and protect and maintain sensitive environmental areas.	N/A	
	Policy CC.1.6. Encourage cluster development to preserve open space, viewsheds, and scenic vistas.	yes	Strong relationship - contributes to mitigation and resilience.
	<i>Refer to Chapter IV - Environmental Planning & Conservation for more information. "Rural by nature" cluster development allows preservation of more open space and natural resource protection.</i>		
HERITAGE PRESERVATION GOALS AND POLICIES Page VIII-15		Goal: N/A	
Goal CC.2. Preserve, restore, and rehabilitate heritage resources to	Policy CC.2.1. Actively locate, identify, interpret, and preserve historical, archaeological, and cultural resources, in cooperation with other agencies and non-governmental organizations, as aspects of our society for future generations to retain, understand, and enjoy their cultural identity.	N/A	
	Policy CC.2.2. Formally recognize heritage resources through designation as local landmarks and historic districts.	N/A	

Goal	Policy	Consistent?	Comments
better appreciate our culture.	Policy CC.2.3. Mitigate development impacts on heritage resources.	N/A	
	Policy CC.2.4. Support restoration and rehabilitation of historic housing, buildings, structures, and neighborhoods.	N/A	
	Policy CC.2.5. Provide incentives for heritage and cultural preservation.	N/A	
	Policy CC.2.6. Expand a program to educate the owners of historic resources of the heritage value of their properties.	N/A	
	Policy CC.2.7. Protect existing historic districts from encroachment by land uses that compromise the historic characteristics of the district.	N/A	
	Policy CC.2.8. In “Historic” activity centers (Downtown and Five Points), prioritize Community Character (CC) and Downtown (LU.11 and LU.12) goals and policies over the Activity Center goals and policies found in LU.18 when considering cases for rezoning.	N/A	
	Policy CC.2.9. Strengthen the City’s historic preservation and adaptive reuse programs by increasing funding for further inventories, grants to property owners, and education campaigns, especially, where the underlying Zoning for the historic resource put it at risk.	N/A	
	Policy CC.2.10. Educate the community and developers on the benefits of adaptive reuse and create policies to incentivize the reuse of historic buildings to maintain their integrity.	yes	Relationship – supports mitigation.
	Policy CC.2.11. Assist businesses and residents who are caretakers of historic resources, maximize the economic value of their property without damaging the integrity of the historic resource.	N/A	
	Policy CC.2.12. Advertise the economic impact of historic resources and history-related tourism on the Flagstaff community.	N/A	

Goal	Policy	Consistent?	Comments
	Policy CC.2.13. When the demolition or removal of a historic structure cannot be avoided, encourage the developer to make the building available for relocation and provide assistance in moving the building the purchaser's property, if possible.	N/A	
COMMUNITY DESIGN GOALS AND POLICIES Page VIII-23			
Goal CC.3. Preserve, restore, enhance, and reflect the design traditions of Flagstaff in all public and private		Goal: N/A	
development efforts.	Policy CC.3.1. Encourage neighborhood design to be respectful of traditional development patterns and enhance the overall community image.	N/A	
	Policy CC.3.2. Maintain and enhance existing buildings and blend well-designed new buildings into existing neighborhoods.	N/A	
	Policy CC.3.3. Emulate the most celebrated design traditions of Flagstaff, particularly the pre-Route 66 and early Route 66 eras.	N/A	
Goal CC.4. Design and develop all projects to be contextually sensitive, to enhance a positive image		Goal: N/A	
	Policy CC.4.1. Design streetscapes to be context sensitive and transportation systems to reflect the desired land use while balancing the needs of all modes for traffic safety and construction and maintenance costs.	yes	Can potentially support mitigation and resilience.
	Policy CC.4.2. Design utilities and infrastructure to be contextual and considered as part of the overall design aesthetics.	N/A	

Goal	Policy	Consistent?	Comments
and identity for the region.	Policy CC.4.3. Employ design solutions that balance the interface of the natural and built environments, with the most urbanized core activity areas being the most built, and the most rural areas being the most natural.	N/A	
	Policy CC.4.4. Design streets and parking lots to balance automobile facilities, recognize human-scale and pedestrian needs, and accentuate the surrounding environment.	yes	Supports mitigation.
	Policy CC.4.5. Encourage local landscaping using Xeriscape, low-impact principles, and native vegetation wherever possible.	yes	Supports mitigation and resilience.
	Policy CC.4.6. Use landscaping to benefit the environment and improve aesthetics, in order to maximize the economic benefit that a well landscaped community provides.	N/A	
	Policy CC.4.7. Develop an urban forestry program to catalog, preserve old growth pines, and plant new urban trees.	yes	Supports resilience.
	Policy CC.4.8. Follow arboricultural practices in maintaining a healthy urban forest.	N/A	
	Policy: CC.4.9. Develop appropriate tools to facilitate the undergrounding of existing overhead utility lines, especially in established viewsheds and in reinvestment areas.	N/A	
ARTS, SCIENCES, AND EDUCATION GOALS AND POLICIES Page VIII-26			
Goal CC.5. Support and promote art, science, and		Goal: N/A	
	Policy CC.5.1. Promote first class arts, research, and educational facilities.	N/A	

Goal	Policy	Consistent?	Comments
education resources for all to experience.	Policy CC.5.2. Coordinate educational master plans (Northern Arizona University, Coconino Community College, Flagstaff Unified School District, and charter schools) with regional planning efforts.	yes	Supports mitigation.
	Policy CC.5.3. Encourage the integration of art into public and private development projects.	N/A	
	Policy CC.5.4. Complete sidewalks and Flagstaff Urban Trails System connections for all schools, community colleges, and university campuses.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy CC.5.5. Promote and expand scientific research as a key component to the Flagstaff region's character.	N/A	
	<i>Refer to Chapter XIV - Economic Development for more information regarding STEM education.</i>		
	No policies for this goal.	Goal: N/A	
Goal CC.6. Encourage Native American art and Southwestern culture.			
<i>Refer to Chapter XIV - Economic Development for related Policy ED.4.9.</i>			

Goal	Policy	Consistent?	Comments
Chapter IX - Growth Areas & Land Use			
<p>The proposed amendment is extremely compatible with the goals and policies of the Growth Areas & Land Use Chapter, which promotes well-planned activity centers, appropriate density, mixes of uses, and strong neighborhoods. The relationship is mutually beneficial: the great majority of goals and policies of this chapter will contribute to reduced greenhouse gas emissions and increased community resilience or adaptation, supporting the revised goals in the proposed amendment. At the same time, the proposed text amendment should help to accelerate the achievement and implementation of the goals and policies throughout the Growth Areas and Land Use chapter.</p> <p>This chapter envisions a community whose land uses promote connectivity, walkability, efficiency, health, and housing options. Achieving this vision, and implementing the goals and policies associated with it, can help Flagstaff achieve compact, connected and complete neighborhoods that reduce greenhouse gas emissions, increases resilience and improves community equity goals, the core goals elevated by the proposed text revisions. Each goal in this chapter is strongly supportive of climate-friendly land use and strong neighborhoods, and is supported by the proposed text amendment.</p>			
REINVESTMENT GOALS AND POLICIES Page IX-25		Goal: Yes	Strong relationship - contributes to mitigation and resilience.
Goal LU.1. Invest in existing neighborhoods and activity centers for the purpose of developing complete, and connected places.	Policy LU.1.1. Plan for and support reinvestment within the existing city centers and neighborhoods for increased employment and quality of life.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.1.2. Develop reinvestment plans with neighborhood input, identifying the center, mix of uses, connectivity patterns, public spaces, and appropriate spaces for people to live, work, and play.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.1.3. Promote reinvestment at the neighborhood scale to include infill of vacant parcels, redevelopment of underutilized properties, aesthetic improvements to public spaces, remodeling of existing buildings and streetscapes, maintaining selected appropriate open space, and programs for the benefit and improvement of the local residents.	yes	Strong relationship - contributes to mitigation and resilience.

Goal	Policy	Consistent?	Comments
	Policy LU.1.4.Attract private investment by reinvesting in transportation infrastructure improvements as well as public utilities infrastructure for desired development size.	N/A	
	Policy LU.1.5. Maintain and upgrade existing infrastructure and invest in infrastructure to make redevelopment and infill an attractive and more financially viable development option.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.1.6. Establish greater flexibility in development standards and processes to assist developers in overcoming challenges posed by redevelopment and infill sites.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.1.7. Consider creative policy and planning tools (such as transfer of develop rights or transfer of development	yes	Strong relationship - contributes to mitigation and resilience.
	obligations) as a means to incentivize redevelopment and infill.		
	Policy LU.1.9. Provide public education regarding the sustainability and beneficial economics of redevelopment and infill.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.1.10. Consider adaptive reuse possibilities when new big box developments are proposed.	yes	Strong relationship - contributes to mitigation.
	Policy LU.1.11. Ensure that there is collaboration between a developer, residents, and property owners in existing neighborhoods where redevelopment and reinvestment is proposed so that they are included, engaged, and informed.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.1.12. Seek fair and proper relocation of existing residents and businesses in areas affected by redevelopment and reinvestment, where necessary.	yes	Strong relationship - contributes to equity.
GREENFIELD DEVELOPMENT GOALS AND POLICIES Page IX-30		Goal: Yes	

Goal	Policy	Consistent?	Comments
Goal LU.2. Develop Flagstaff's Greenfields in accordance with the <i>Regional Plan</i> and within the growth boundary.	Policy LU.2.1. Design new neighborhoods that embody the characteristics of Flagstaff's favorite neighborhoods – that is, with a mix of uses, a variety of housing types and densities, public spaces, and greater connectivity with multimodal transportation options.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.2.2. Design new development to coordinate with existing and future development, in an effort to preserve viewsheds, strengthen connectivity, and establish compatible and mutually supportive land uses.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.2.3. New development should protect cultural and natural resources and established wildlife corridors, where appropriate.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.2.4. Utilize Low Impact Development (LID) strategies and stormwater best practices as part of the overall design for new development.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.2.5. Plan Greenfield development within the rural context to encourage formal subdivisions with shared infrastructure instead of wildcat development, and to protect open spaces, and access to public lands.	yes	Strong relationship - contributes to mitigation and resilience.
APPLICABLE TO ALL LAND USES GOALS AND POLICIES Page IX-31			
Goal LU.3. Continue to enhance the region's unique sense of place within the urban, suburban, and rural context.		Goal: N/A	
	Policy LU.3.1. Within the urban, suburban, and rural context, use neighborhoods, activity centers, corridors, public spaces, and connectivity as the structural framework for development.	N/A	
	Policy LU.3.2. Coordinate land use, master planning, and recreational uses, when feasible, with local, state, and federal land management agencies and tribal land owners.	N/A	

Goal	Policy	Consistent?	Comments
	Policy LU.3.3. Protect sensitive cultural and environmental resources with appropriate land uses and buffers.	N/A	
	Policy LU.3.4. Promote transitions between urban, suburban, and rural areas with an appropriate change in development intensity, connectivity, and open space.	N/A	
	<i>Note: Chapter VIII - Community Character and Chapter XIV - Economic Development include further policies regarding Flagstaff's unique sense of place. Refer also to Chapter XIII - Neighborhoods, Housing, & Urban Conservation for existing neighborhood policies.</i>		
	Policy LU.3.5.Allow and encourage urban agriculture.	yes	Strong relationship – locally grown food and urban farms and food-growing gardens can contribute to both mitigation and resilience.
Goal LU.4. Balance housing and employment land uses with the preservation and protection of our unique natural and cultural setting.		Goal: Yes	
	Policy LU.4.1. Develop neighborhood plans, specific plans, area plans, and master plans for all neighborhoods, activity centers, corridors, and gateways as necessary.	yes	Strong relationship – well-planning neighborhoods, activity centers and corridors can further the goals of this Plan and its focus on compact, efficient development. Neighborhood planning processes can also build resilience by increasing connections among neighbors and adding to neighborhood self-reliance.
	Policy LU.4.2. Utilize the following as guidance in the development process: Natural Environment maps, Environmental Planning and Conservation policies, Considerations for Development, Cultural Sensitivity, and Historical Preservation maps, and Community Character policies, while respecting private property rights.	N/A	
Goal LU.5. Encourage		Goal: Yes	Strong relationship - contributes to mitigation and resilience.

Goal	Policy	Consistent?	Comments
compact development principles to achieve efficiencies and open space preservation.	Policy LU.5.1. Encourage development patterns within the designated growth boundaries to sustain efficient infrastructure projects and maintenance.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.5.2. Promote infill development over peripheral expansion to conserve environmental resources, spur economic investments, and reduce the cost of providing infrastructure and services.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.5.3. Promote compact development appropriate to and within the context of each area type: urban, suburban, and rural.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.5.4. Encourage development to be clustered in appropriate locations as a means of preserving natural resources and open space, and to minimize service and utility costs, with such tools as Transfer of Development Rights (TDR).	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.5.5. Plan for and promote compact commercial development as activity centers with mixed uses, allowing for efficient multi-modal transit options and infrastructure.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU..5. Encourage the distribution of density within neighborhoods in relationship to associated activity centers and corridors, infrastructure, transportation, and natural constraints such as slopes and drainages.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.5.6. Encourage the placement of institutional and civic buildings centrally within a neighborhood to promote walkability and multi-use recreation spaces.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.5.7. Require any Forest Service land trades within the planning area to be consistent with the <i>Regional Plan</i> .	N/A	
	Refer to “Tools for Open Space Planning, Acquisition, and Conservation” in Chapter V - Open Space for more information.		

Goal	Policy	Consistent?	Comments
Goal LU.6. Provide for a mix of land uses.		Goal: Yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.6.1. Consider a variety of housing types and employment options when planning new development and redevelopment projects.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.6.2. Consider commercial core areas, corridors, activity centers, employment centers, research and development parks, special planning areas, and industrial uses as appropriate place types and area types for employment opportunities.	yes	Strong relationship - contributes to mitigation by reducing the vehicle miles residents must travel to reach employment opportunities.
	Policy LU.6.3. Encourage new mixed-use neighborhoods in appropriate locations within the growth boundary.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.6.4. Provide appropriate recreational and cultural amenities to meet the needs of residents.	yes	Strong relationship - contributes to mitigation by reducing the vehicle miles residents must travel to meet their needs.
Goal LU.7. Provide for public services and infrastructure.		Goal: Yes	Strong relationship - contributes to resilience.
	Policy LU.7.1. Concentrate urban development in locations that use land efficiently, and are served by roads, water, sewer, and other public facilities and services, and that support transit, reduced vehicle trips, and conservation of energy and water.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.7.2. Require unincorporated properties to be annexed prior to the provision of City services, or that a pre-annexation agreement is executed when deemed appropriate.	yes	Contributes to resilience by ensuring that services are provided in a more sustainable manner.
	Policy LU.7.3. Require development proposals to address availability of adequate public services.	yes	Contributes to resilience by ensuring that developments are created in a way that

Goal	Policy	Consistent?	Comments
			ensures the City can sustain public service delivery.
Goal LU.8. Balance future growth with available water resources.		Goal: Yes	Strong relationship - contributes to resilience.
	Policy LU.8.1. Available water resources should be a consideration for all major development and subdivision applications.	yes	Strong relationship - contributes to resilience.
	Policy LU.8.2. Impacts on the City's water delivery infrastructure should be a consideration for all residential and nonresidential development proposals.	yes	Strong relationship - contributes to resilience.
	<i>Refer to Chapter VI - Water Resources for more water related goals and policies.</i>		
URBAN AREA GOALS AND POLICIES Page IX-40			
Goal LU.9. Focus reinvestment, partnerships, regulations, and incentives on developing or redeveloping urban areas.		Goal: Yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.9.1. Reinvest in urban areas.	yes	Strong relationship - contributes to mitigation by reducing the distances need to travel to meet their needs.
Goal LU.10. Increase the proportion of urban neighborhoods to		Goal: Yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.10.1. Prioritize connectivity within all urban neighborhoods and activity centers.	yes	Strong relationship - contributes to mitigation and resilience.

Goal	Policy	Consistent?	Comments
achieve walkable, compact growth.	Policy LU.10.2. Support on-street parking, shared lots, and parking structures.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.10.3. Value the Historic Neighborhoods established around downtown by maintaining and improving their highly walkable character, transit accessibility, diverse mix of land uses, and historic building form.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.10.4. Develop specific plans for neighborhoods and activity centers to foster desired scale and form.	n/a	
	Policy LU.10.5. Consider vacant and underutilized parcels within the City's existing urban neighborhoods as excellent locations for contextual redevelopment that adds housing, shopping, employment, entertainment, and recreational options for nearby residents and transit patrons.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.10.6. In mixed use developments, encourage residential uses located above and behind commercial uses within urban areas as well as a variety of housing types where appropriate.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.10.7. Invest in infrastructure and right-of-way enhancements that favor the pedestrian and transit as an incentive for private investment in urban neighborhoods and activity centers.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.10.8. Include institutional uses, such as schools, within the urban context.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.10.9. Civic spaces must be well designed, accessible, and central to the urban fabric.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.10.10. Future urban activity centers and neighborhoods are designed based on gridded street systems, considering constraints on connectivity, such as topography, the railroad and highways.	yes	Strong relationship - contributes to mitigation and resilience.

Goal	Policy	Consistent?	Comments
DOWNTOWN GOALS AND POLICIES Page IX-43			
Goal LU.11. Prioritize the continual reinvigoration of downtown Flagstaff, whose strategic location, walkable blocks, and historic buildings will continue to be a vibrant destination for all.		Goal: Yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.11.1. All businesses and community services on the ground floor should be pedestrian accessible directly from a public space, such as a street, alley, square, plaza, or interior corridor.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.11.2. Encourage new multi-story mixed-use buildings to have windows and doors facing the sidewalks.	n/a	
	Policy LU.11.3. Design new downtown buildings to have a majority of the total linear frontages of mixed-use and nonresidential building facades built to the sidewalk.	yes	Contributes to resilience.
	Policy LU.11.4. Encourage various housing types that appeal to a diverse range of ages and income.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.11.5. Encourage adaptive re-use of historic structures for a variety of commercial spaces and housing options.	yes	Contributes to mitigation.
	Policy LU.11.6. Strive for a wide variety of activities in downtown to create a healthy mix of housing, employment, shopping, cultural, and civic uses.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.11.7. Include new and improved civic buildings and civic spaces into downtown redevelopment strategies.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.11.8. Maintain and enhance Heritage Square and Wheeler Park as critical civic space for social gathering and community well-being.	yes	Strong relationship - contributes to mitigation and resilience.

Goal	Policy	Consistent?	Comments
Goal LU.12. Accommodate pedestrians, bicyclists, transit riders, and private cars to supplement downtown's status as the best-served and most accessible location in the region.		Goal: Yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.12.1. Invest in downtown's streets and sidewalks so that they remain Flagstaff's premiere public spaces.	yes	Strong relationship - contributes to mitigation and resilience.
<i>Refer to Chapter X - Transportation for more information on transit, as well as Appendix A for a listing of related transit plans.</i>	Policy LU.12.2. Create a downtown parking strategy plan that continues to utilize and improve upon on-street parking, public parking lots and garages, and shared private parking spaces, with clear signage for wayfinding and to inform the public of all parking options.	yes	Strong relationship – managed parking increases the cost of parking to the user of that space, and decreases the public subsidy for street parking. This contributes to less overuse of parking spaces and can encourage other modes of transportation.
	Policy LU.12.3. Locate public and private parking facilities, lots, and garages carefully, screening parking from streets, squares, and plazas.	n/a	
	Policy LU.12.4. Incorporate liner buildings and larger mixed-use projects into parking facilities.	n/a	
	Policy LU.12.5. Maintain rear alleys for access to mid-block parking spaces to provide an out-of-sight location for utility equipment, and to allow the fronts of buildings to be free of driveways and parking garage entrances.	yes	Strong relationship - contributes to mitigation and resilience by better supporting biking and walking.
	Policy LU.12.6. Revise parking regulations to encourage shared parking between various uses within existing structures.	yes	Strong relationship - contributes to mitigation and resilience by reducing the

Goal	Policy	Consistent?	Comments
			space reserved for parking. More parking degrades the pedestrian environment, increases impermeable areas that cannot absorb rainfall, and encourages driving.
	Policy LU.12.7. Provide multiple routes and pathways for vehicular and pedestrian movement.	yes	Strong relationship to mitigation– multiple pathways via a well-connected street network can contribute to more efficient travel by all modes of transportation.
	Policy LU.12.8. Provide for strong connections from the Flagstaff Medical Campus to the Northern Arizona University campus via pedestrian paths, bicycle connections, streets, and transit service.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.12.9. As defined in the <i>FUTS Master Plan</i> , include trail access points, bicycle parking, and bicycle facilities.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.12.10. Seek opportunities to improve ADA accessibility in downtown.	yes	Contributes to equity.
	<i>Refer to Policy T.2.3 in Chapter X - Transportation.</i>		
	Policy LU.12.11. Develop a residential parking program to address the impacts of on-street parking on public streets in the downtown and surrounding areas, while considering the needs of residents, public events, and enterprises in and around the impacted areas.	yes	Strong relationship – managed parking increases the cost of parking to the user of that space, and decreases the public subsidy for street parking. This contributes to less overuse of parking spaces and can encourage other modes of transportation.
SUBURBAN AREA GOALS AND POLICIES Page IX-51			
Goal LU.13. Increase the		Goal: Yes	Strong relationship - contributes to mitigation and resilience.

Goal	Policy	Consistent?	Comments
variety of housing options and expand opportunities for employment and neighborhood shopping within all suburban neighborhoods.	Policy LU.13.1. Prioritize connectivity for walking, biking, and driving within and between surrounding neighborhoods.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.13.2. Consider public transit connections in suburban development.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.13.3. Consider retro-fitting suburbs for walkability and mixed-use.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.13.4. Plan suburban development to include a variety of housing options.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.13.5. Encourage developers to consider at least one floor of apartments or offices over commercial development in mixed-use and activity centers and corridors.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.13.6. Include a mix of uses and access to surrounding neighborhoods in new suburban commercial development.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.13.7. Include employment opportunities in all suburban activity centers.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.13.8. Locate civic spaces, parks, and institutional uses within neighborhood pedestrian sheds.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.13.9. Use open space and FUTS trails to provide walking and biking links from residential uses to employment, shopping, schools, parks, and neighborhood woods.	yes	Strong relationship - contributes to mitigation and resilience.
	Policy LU.13.10. Protect wildlife corridors where appropriate.	yes	Strong relationship - contributes to mitigation and resilience.

Goal	Policy	Consistent?	Comments
	Policy LU.13.11. Promote cluster development as an alternative development pattern in appropriate locations as a means of preserving resources and to minimize service and utility costs.	yes	Strong relationship - contributes to mitigation and resilience.
RURAL AREA GOALS AND POLICIES Page IX-58			
Goal LU.14. Maintain the character of existing rural communities.		Goal: N/A	
	Policy LU.14.1. Maintain rural growth boundaries to preserve the integrity of open spaces identified in the <i>Greater Flagstaff Open Spaces and Greenways Plan</i> and updates.	yes	Contributes to resilience.
	Policy LU.14.2. Promote the coordination of the <i>Flagstaff Regional Plan</i> , <i>Coconino County Comprehensive Plan</i> , and area plans that takes into account local conditions and preferences of area residents.	N/A	
	Policy LU.14.3. Require future development in the unincorporated County areas to be consistent with the goals, policies, and conservation guidelines of the <i>Coconino County Comprehensive Plan</i> and any applicable local area plans.	N/A	
	Policy LU.14.4. Connect rural neighborhoods using roads, trails (equestrian, foot, and bicycle), and public access to the National Forest.	yes	Contributes to resilience.
	Policy LU.14.5. Promote cluster development as an alternative development pattern in appropriate locations as a means of preserving rural resources and to minimize service and utility costs.	yes	Contributes to mitigation and resilience.
	Policy LU.14.6. Plan for development outside of the rural growth boundary to be very low density and to have integrated conservation design.	N/A	

Goal	Policy	Consistent?	Comments
	Policy LU.14.7. Establish opportunities for rural activity centers in specifically designated County areas with a range of uses, sizes, and designs appropriate to the communities they serve.	N/A	
	Policy LU.14.8. Locate commercial uses in the County in specifically designated activity centers intended to serve as focal points and meet local needs for the community, while avoiding a strip commercial pattern of development along the region's major roadways.	N/A	
	Policy LU.14.9. Preserve the rural character, open spaces, wildlife corridors, and neighborhoods at the periphery or just outside of the planning area as defined by the FMPO boundary.	N/A	
EMPLOYMENT AREA GOALS AND POLICIES Page IX-60			
Goal LU.15. Plan for and encourage employee-intensive uses throughout the area as activity centers, corridors, research and development offices, business parks, and light industrial areas to encourage efficient infrastructure and multimodal commuting.		Goal: Yes	Contributes to mitigation and resilience.
	Policy LU.15.1. Encourage the grouping of medical and professional offices, light industrial, research, and skill training with other necessary workforce services and transportation options.	yes	Contributes to mitigation and resilience.
	Policy LU.15.2. Consider the compatible integration of residential uses and proposed employment centers to reduce vehicle trips and commute times.	yes	Contributes to mitigation and resilience.
	Policy LU.15.3. Incorporate neighborhood/support retail and other commercial uses, including childcare facilities, within new and renovated employment centers.	yes	Contributes to mitigation and resilience.
	Policy LU.15.4. Accommodate safe and convenient walking, biking, and transit facilities in existing and proposed employment centers.	yes	Contributes to mitigation and resilience.

Goal	Policy	Consistent?	Comments
Goal LU.16. Establish heavy industrial areas that provide for the manufacturing of goods, flexible space, and		Goal: N/A	
intermodal facilities that are well maintained, attractive and compatible with adjoining nonindustrial uses.	Policy LU.16.1. Encourage the continued intensification, expansion, and protection of existing industrial, warehousing, and distribution uses from encroachment where appropriate.	N/A	
<i>Refer to Policy ED.3.9 in Chapter XIV - Economic Development.</i>	Policy LU.16.2. Ensure new industrial areas are compatible with surrounding areas.	N/A	
	Policy LU.16.3. Locate new industrial areas near the rail line, major highways or the interstate, and ensure they are designed to be compatible with surrounding uses and gateway features.	yes	Contributes to mitigation by reducing the distances large vehicles must travel to get from transportation facilities (the highway or the rail line) to the industrial area.
	Policy LU.16.4. Limit the impacts of truck traffic on residential areas.	N/A	
	Policy LU.16.5. Consider all health impacts on the community in the design of new industrial uses, such as wastewater treatment, traffic safety, noise, and other impacts.	yes	Contributes to resilience and equity by improving the health of Flagstaff's residents, particularly those who are in lower-income households, who may be more likely to live near industrial uses.

Goal	Policy	Consistent?	Comments
SPECIAL PLANNING AREA GOALS AND POLICIES Page IX-61			
Goal LU.17. Protect, manage, and enhance the region's Special Planning Areas to benefit the whole community.		Goal: N/A	
	Policy LU.17.1. Enhance connectivity and coordinated planning efforts with neighborhoods contiguous to special planning areas.	yes	Connectivity contributes to mitigation goals, by ensuring transportation networks have appropriate connections, enabling shorter distances to travel for all modes.
ACTIVITY CENTERS AND COMMERCIAL CORRIDORS GOALS AND POLICIES Page IX-68			
Goal LU.18. Develop well designed activity centers and corridors with a variety of employment, business, shopping, civic engagement, cultural opportunities, and residential choices.		Goal: Yes	Strong relationship - Activity centers reduce emissions by grouping many destinations in one area, reducing the distance between destinations and reducing the length of trips, both of which encourage the use of active modes like the bus, walking, and biking.
	Policy LU.18.1. Design activity centers and corridors appropriate to and within the context of each area type: urban, suburban, or rural.	N/A	
	Policy LU.18.2. Strive for activity centers and corridors that are characterized by contextual and distinctive identities, derived from history, environmental features, a mix of uses, well-designed public spaces, parks, plazas, and high-quality design.	yes	Strong relationship – Mixed uses reduce the distance between destinations and reducing the length of trips, both of which encourage the use of active modes like the bus, walking, and biking.
	Policy LU.18.3. Redevelop underutilized properties, upgrade aging infrastructure, and enhance rights-of-way and public spaces so that existing activity centers and corridors can realize their full potential.	yes	Contributes to mitigation and resilience.

Goal	Policy	Consistent?	Comments
	<i>Refer to Chapter XI - Cost of Development for the potential of public-private partnerships.</i>		
	Policy LU.18.4. Encourage developers to provide activity centers and corridors with housing of various types and price points, especially attached and multi-family housing.	yes	Contributes to mitigation and resilience.
	Policy LU.18.5. Plan for and support multi-modal activity centers and corridors with an emphasis on pedestrian and transit friendly design.	yes	Contributes to mitigation and resilience.
	Policy LU.18.6. Support increased densities within activity centers and corridors.	yes	Contributes to mitigation and resilience.
	Policy LU.18.7. Concentrate commercial, retail, services, and mixed use within the activity center's commercial core.	yes	Strong relationship – Concentrating mixed uses within the commercial core helps decrease the distance between destinations and reduce the length of trips, both of which encourage the use of active modes like the bus, walking, and biking. A strong commercial core also supports pedestrian activity.
	Policy LU.18.8. Increase residential densities, live-work units, and home occupations within the activity center's pedestrian shed.	yes	Contributes to mitigation and resilience.
	Policy LU.18.9. Plan activity centers and corridors appropriate to their respective regional or neighborhood scale.	yes	Contributes to mitigation and resilience.
	Policy LU.18.10. Corridors should increase their variety and intensity of uses as they approach activity centers.	yes	Contributes to mitigation and resilience.
	Policy LU.18.11. Land use policies pertaining to a designated corridor generally apply to a depth of one parcel or one and one-half blocks, whichever is greater.	N/A	
	Policy LU.18.12. Corridors should focus commercial development to the corridor frontage and residential to the back.	yes	Contributes to mitigation by supporting the pedestrian environment.

Goal	Policy	Consistent?	Comments
	Policy LU.18.13. Promote higher density development in targeted areas where economically viable and desired by the public.	yes	Contributes to mitigation: density contributes to more highly-activated pedestrian spaces, makes transit more feasible, and reduces the distance people have to travel between destinations.
	Policy LU.18.14. Endorse efficiency of infrastructure with compact development within targeted activity centers.	yes	Contributes to mitigation: compact development contributes to more highly-activated pedestrian spaces, makes transit more feasible, and reduces the distance people have to travel between destinations.
	Policy LU.18.15. Actual pedestrian-shed boundaries will be established considering opportunities and constraints posed by natural and man-made barriers like terrain or the interstate, road networks, and existing development patterns.	yes	Contributes to mitigation and resilience.
	Policy LU.18.16. Adopt traffic regulations to increase awareness of pedestrian-oriented design for activity centers.	yes	Contributes to mitigation and resilience.
	Policy LU.18.17. Mixed use developments over 50 units per acre should be located in regional-scale activity centers.	N/A	
	Policy LU.18.18. New development within existing activity centers should enhance the existing street pattern to meet the goals and policies of the Regional Plan related to connectivity and complete streets.	yes	Contributes to mitigation and resilience.
	Policy LU.18.19. New development in future activity centers should create street patterns that implement the characteristics of urban and suburban place-making within a functional transportation system that minimized dead ends and offset street and driveway connections.	yes	Contributes to mitigation.
	LU.18.20. Major streets in urban activity centers should have urban-form buildings with their primary pedestrian entrances facing the major	yes	Supports mitigation by supporting the pedestrian environment, which can lead to more walking instead of driving.

Goal	Policy	Consistent?	Comments
	street. Secondary entrances could be located to meet other access needs for the building use.		
Goal LU.19. Develop a manageable evolution of the main corridors into contextual place makers.		Goal: Yes	
	Policy LU.19.1. Develop a specific plan for each “Great Street” corridor.	yes	Supports mitigation by supporting the pedestrian environment, which can lead to more walking instead of driving.
	Policy LU.19.2. Establish the context and regional or neighborhood scale of each corridor prior to design with special consideration for those intended to remain residential or natural in character.	N/A	
	Policy LU.19.3. Enhance the viewsheds and frame the view along the corridors through design.	N/A	
	Policy LU.19.4. Balance automobile use, parking, bicycle access, while prioritizing pedestrian safety along all corridors.	yes	Contributes to mitigation by prioritizing pedestrian safety, which can lead to improvements in the pedestrian experience – this can lead to more walking and even biking.
	<i>Refer to Chapter VIII - Community Character for the discussion of “Great Streets.”</i>		
Chapter X - Transportation			
<p>The proposed amendment is compatible with the goals and policies of the Transportation Chapter, with the exception of one policy: T.8.I. The applicant proposes to revise this policy to improve clarity and ensure compatibility between the policy T.8.I and the proposed text amendment; this policy revision is described starting in section II.3, Description and Need. The remaining goals and policies of the Transportation Chapter are very relevant to climate action; several important intersections are discussed below.</p>			

Goal	Policy	Consistent?	Comments
<p>Many of the goals and policies of this chapter, from those aiming for improved mobility (Goal T.1) to improvements in safety (Goal T.2) to improved transportation infrastructure for all modes (Goals T.3, 4, 5, 6, and 7) are closely linked to climate action. The proposed text amendment includes more ambitious greenhouse gas emissions goals that will only be achieved through significant changes to Flagstaff's current transportation planning, investments and operations. These changes will help better align Flagstaff's transportation actions with the goals and policies of this chapter, particularly Goals T.1 through Goal T.7. Improved mobility, safety, and infrastructure for all modes contributes to increased choices for Flagstaff residents, allowing them to choose modes that cause fewer greenhouse gas emissions or help to save money. Increased transportation choices contribute to resilience by reducing reliance on just one mode of transportation, particularly because the dominant mode (the personal vehicle) depends on fuel produced outside our community, that has low price stability. The more residents are able to walk, bike, or take the bus, not only are they reducing their emissions and saving money, but they are helping to support a more robust transportation system that is less reliant on just one mode of travel. The proposed text amendment will support the goals and policies outlined in Goals T.1 through T.7, with significant benefits to mitigation, adaptation, and equity.</p> <p>Goal T.8 and its associated policies focus on the automobile and roads. The policies center around maintaining roads, designing appropriate neighborhood streets, maintaining safety and supporting economic vitality. Policy T.8.3 and T.8.6 are well-aligned with climate action the proposed text amendments. There is potential for conflicts to arise when implementing policy T.8.4 and T.8.5, because implementation involves choices among competing values when land and budgets are limited – decisions inherent to any transportation project. These policies and their potential relationships to climate action are discussed at length below. Goals T.9 and T.10, on rail service and air travel, respectively, relate to community resilience and greenhouse gas emissions. Their relevance and compatibility is discussed for each relevant policy in the table below.</p>			
MOBILITY AND ACCESS GOALS AND POLICIES Page X-6			
Goal T.1. Improve mobility and access throughout the region.		Goal: Yes	Improved mobility for all modes contributes to mitigation and resilience by helping people to meet their needs through a variety of transportation choices.
	Policy T.1.1. Integrate a balanced, multimodal, regional transportation system.	yes	Contributes to mitigation and resilience by encouraging walking, biking and transit. These modes are lower-emissions than traveling in personal vehicles. A community is more

Goal	Policy	Consistent?	Comments
			resilient if its residents have multiple good transportation choices.
	Policy T.I.2.Apply Complete Street Guidelines to accommodate all appropriate modes of travel in transportation improvement projects.	yes	Contributes to mitigation and resilience by encouraging walking, biking and transit. These modes are lower-emissions than traveling in personal vehicles. A community is more resilient if its residents have multiple good transportation choices.
	Policy T.I.3.Transportation systems are consistent with the place type and needs of people.	N/A	
	Policy T.I.4. Provide a continuous transportation system with convenient transfer from one mode to another.	yes	Contributes to mitigation and resilience by encouraging walking, biking and transit. These modes are lower-emissions than traveling in personal vehicles. A community is more resilient if its residents have multiple good transportation choices.
	Policy T.I.5. Manage the operation and interaction of all modal systems for efficiency, effectiveness, safety, and to best mitigate traffic congestion.	yes	Contributes to mitigation and resilience by encouraging walking, biking and transit. These modes are lower-emissions than traveling in personal vehicles. A community is more resilient if its residents have multiple good transportation choices.
	Policy T.I.6. Provide and promote strategies that increase alternate modes of travel and demand for vehicular travel to reduce peak period traffic.	yes	Contributes to mitigation and resilience by encouraging walking, biking and transit. These modes are lower-emissions than traveling in personal vehicles. A community is more resilient if its residents have multiple good transportation choices.

Goal	Policy	Consistent?	Comments
	Policy T.1.7. Coordinate transportation and other public infrastructure investments efficiently to achieve land use and economic goals.	N/A	
	Policy T.1.8. Plan for development to provide on-site, publicly-owned transportation improvements and provide adequate parking.	N/A	
SAFE AND EFFICIENT MULTIMODAL TRANSPORTATION GOALS AND POLICIES Page X-8			
Goal T.2. Improve transportation safety and efficiency for all modes.		Goal: Yes	Contributes to mitigation and resilience by encouraging walking, biking and transit. These modes are lower-emissions than traveling in personal vehicles. A community is more resilient if its residents have multiple good transportation choices.
	Policy T.2.1. Design infrastructure to provide safe and efficient movement of vehicles, bicycles, and pedestrians.	yes	Contributes to mitigation and resilience by encouraging walking, biking and transit. These modes are lower-emissions than traveling in personal vehicles. A community is more resilient if its residents have multiple good transportation choices.
	Policy T.2.2. Consider new technologies in new and retrofitted transportation infrastructure.	yes	New technology can help reduce emissions by making vehicle travel more energy-efficient and by supporting active modes, i.e., better bike detection technology at traffic signals.
	Policy T.2.3. Provide safety programs and infrastructure to protect the most vulnerable travelers, including the young, elderly, mobility impaired, pedestrians, and bicyclists.	yes	Contributes to equity.

Goal	Policy	Consistent?	Comments
	<i>Note: Mobility-impaired includes hearing and sight-impaired persons.</i>		
	Policy T.2.4. Consider dedicated transit ways where appropriate.	yes	Contributes to mitigation and resilience by encouraging transit, which has low emissions and can support density. A community is more resilient if its residents have multiple good transportation choices.
	Policy T.2.5. Continue to seek means to improve emergency service access, relieve and manage peak hour congestion, and expand multi-modal options in the US 180 corridor.	yes	Contributes to mitigation.
ENVIRONMENTAL CONSIDERATIONS GOALS AND POLICIES Page X-9			
Goal T.3. Provide transportation infrastructure that is conducive to conservation, preservation, and development goals to avoid, minimize, or mitigate impacts on the natural and built environment.		Goal: Yes	Strong relationship - contributes to mitigation and resilience.
	Policy T.3.1. Design and assess transportation improvement plans, projects, and strategies to minimize negative impacts on air quality and maintain the region's current air quality.	yes	Strong relationship - contributes to mitigation and equity.
	Policy T.3.2. Promote transportation systems that reduce the use of fossil fuels and eventually replace with carbon neutral alternatives.	yes	Strong relationship - contributes to mitigation.
	Policy T.3.3. Couple transportation investments with desired land use patterns to enhance and protect the quality and livability of neighborhoods, activity centers, and community places.	yes	Contributes to mitigation and resilience.
	Policy T.3.4. Actively manage parking, including cost and supply, to support land use, transportation, and economic development goals.	yes	Potentially contributes to mitigation.

Goal	Policy	Consistent?	Comments
	Policy T.3.5. Design transportation infrastructure that implements ecosystem-based design strategies to manage stormwater and minimize adverse environmental impacts.	yes	Contributes to resilience.
	Policy T.3.6. Seek to minimize the noise, vibration, dust, and light impacts of transportation projects on nearby land uses.	N/A	
	Policy T.3.7. Design transportation infrastructure to mitigate negative impacts on plants, animals, their habitats, and linkages between them.	N/A	
	Policy T.3.8. Promote transportation options such as increased public transit and more bike lanes to reduce congestion, fuel consumption, and overall carbon emissions and promote walkable community design.	yes	Strong relationship - contributes to mitigation and resilience.
QUALITY DESIGN GOALS AND POLICIES Page X-9			
Goal T.4. Promote transportation infrastructure and services that enhance the quality of life of the communities within the region.		Goal: Yes	
	Policy T.4.1. Promote context sensitive solutions (CSS) supportive of planned land uses, integration of related infrastructure needs, and desired community character elements in all transportation investments.	N/A	
	Policy T.4.2. Design all gateway corridors, streets, roads, and highways to safely and attractively accommodate all transportation users with contextual landscaping and appropriate architectural features.	yes	Contributes to mitigation.
	Policy T.4.3. Design transportation facilities and infrastructure with sensitivity to historic and prehistoric sites and buildings, and incorporate elements that complement our landscapes and views.	N/A	
PEDESTRIAN INFRASTRUCTURE GOALS AND POLICIES Page X-10			

Goal	Policy	Consistent?	Comments
Goal T.5. Increase the availability and use of pedestrian infrastructure, including FUTS, as a critical element of a safe and livable community.		Goal: Yes	Strong relationship - contributes to mitigation, resilience and equity.
	Policy T.5.1. Provide accessible pedestrian infrastructure with all public and private street construction and reconstruction projects.	yes	Contributes to mitigation and resilience.
	Policy T.5.2. Improve pedestrian visibility and safety and raise awareness of the benefits of walking.	yes	Contributes to mitigation and resilience.
	Policy T.5.3. Identify specific pedestrian mobility and accessibility challenges and develop a program to build and maintain necessary improvements.	yes	Contributes to mitigation, resilience and equity.
	Policy T.5.4. Design streets with continuous pedestrian infrastructure of sufficient width to provide safe, accessible use and opportunities for shelter.	yes	Contributes to mitigation, resilience and equity.
BICYCLE INFRASTRUCTURE GOALS AND POLICIES Page X-11			
Goal T.6. Provide for bicycling as a safe and efficient means of transportation and recreation.		Goal: Yes	Strong relationship - contributes to mitigation, resilience and equity.
	Policy T.6.1. Expand recognition of bicycling as a legitimate and beneficial form of transportation.	yes	Contributes to mitigation, resilience and equity.
	Policy T.6.2. Establish and maintain a comprehensive, consistent, and highly connected system of bikeways and FUTS trails.	yes	Contributes to mitigation and resilience.
	Policy T.6.3. Educate bicyclists and motorists about bicyclist safety through education programs, enforcement, and detailed crash analyses.	yes	Contributes to mitigation and resilience.
	Policy T.6.4. Encourage bikeways and bicycle infrastructure to serve the needs of a full range of bicyclist experience levels.	yes	Contributes to mitigation, resilience and equity.

Goal	Policy	Consistent?	Comments
	Policy T.6.5. Provide short- and long-term bicycle parking where bicyclists want to travel.	yes	Contributes to mitigation and resilience.
	Policy T.6.6. Integrate policies to increase bicycling and meet the needs of bicyclists into all relevant plans, policies, studies, strategies, and regulations.	yes	Contributes to mitigation and resilience.
TRANSIT GOALS AND POLICIES Page X-15			
Goal T.7. Provide a high-quality, safe, convenient, accessible public transportation system, where feasible, to serve as an attractive alternative to single-occupant vehicles.		Goal: Yes	Strong relationship - contributes to mitigation, resilience and equity.
	Policy T.7.1. Cooperate with NAIPTA in developing and implementing the five-year transit master planning goals and objectives to continuously improve service, awareness, and ridership.	yes	Contributes to mitigation, resilience and equity.
	Policy T.7.2. Provide public transit centers and options that are effectively distributed throughout the region to increase access to public transit.	yes	Contributes to mitigation, resilience and equity.
	Policy T.7.3. Support a public transit system design that encourages frequent and convenient access points, for various transportation modes and providers, such as private bus and shuttle systems, park-and-ride lots for cars and bicycles, and well-placed access to bus, railroad, and airline terminal facilities.	yes	Contributes to mitigation, resilience and equity.
	Policy T.7.4. Support mobility services for seniors and persons with mobility needs.	yes	Contributes to mitigation, resilience and equity.
	Policy T.7.5. Incorporate adopted plans and policies for non-motorized and public transportation in the permitting process for all development or land use proposals, including provisions for efficient access and mobility, and convenient links between pedestrian, bicycle, and transit facilities.	yes	Contributes to mitigation, resilience and equity.

Goal	Policy	Consistent?	Comments
	Policy T.7.6. Coordinate with NAIPTA to establish rural transit service within the region that is consistent with County land use plans, based on funding availability, cost effectiveness, location of major trip generators, distance between generators, and the needs of transit-dependent individuals.	yes	Contributes to mitigation, resilience and equity.
	<i>Note: Transit dependent individuals are those who can only get around via public transit, and who do not own a car or cannot drive.</i>		
AUTOMOBILE GOALS AND POLICIES Page X-20			
Goal T.8. Establish a functional, safe, and aesthetic hierarchy of roads and streets.		Goal: Yes	
	Policy T.8.1. Promote efficient network connectivity to and within major trade corridors, employment centers, and special districts that enhances the region's standing as a major economic hub.	Policy revised to avoid incompatibility	Proposed revisions to this policy have been noted. This revision is being proposed to clarify the intent of the policy and avoid any incompatibility. The need for this revision and its benefits are discussed in section II.3.
	Policy T.8.2. Maintain the road and street classification system that is based on context, function, type, use, and visual quality.	N/A	
	Policy T.8.3. Design neighborhood streets using appropriate traffic calming techniques and street widths to sustain quality of life while maintaining traffic safety.	yes	Contributes to mitigation, resilience and equity.
	Policy T.8.4. Protect rights-of-way for future transportation corridors.	N/A	Future transportation corridors can have a range of impacts on climate action goals, depending on the intent and design of the corridor. The proposed amendment is not necessarily incompatible with this policy, due to the large variation in the impacts of future transportation corridors. Future transportation corridors could

Goal	Policy	Consistent?	Comments
			be used to provide access to new activity centers that promote walkability, affordable housing, resilient structures and transit connections. On the other hand, future transportation corridors could encourage more driving and therefore increase greenhouse gas emissions. However, the policies in this Chapter and throughout the Regional Plan support transportation corridors that accommodate all modes, connect neighborhoods, and support economic development. The proposed amendment is not incompatible with a transportation corridor that achieves the goals and implements the policies of this Plan.
	Policy T.8.5. Support the area's economic vitality by improving intersection design for freight movements.	N/A	Improving intersection design for freight movements could be incompatible with increased biking and walking, which could hinder attempts to shift modes of transportation, and result in increased or stable greenhouse gas emissions. While intersections can be designed to safely accommodate for all users, including freight, there are intersection size challenges that are not easily solved. This potential conflict is present among the vehicle policies and the bike and pedestrian policies within this Plan, as well as with the original climate policies. During transportation planning and design processes, staff will need to weigh the appropriate prioritization of modes, according to the priorities of this Plan. This amendment will not change that analysis or prioritization process.
	Policy T.8.6. Maintain the City's street infrastructure in a cost effective manner to ensure the safety and convenience of all users.	Yes.	Contributes to mitigation and resilience by encouraging walking, biking and transit. These

Goal	Policy	Consistent?	Comments
			modes are lower-emissions than traveling in personal vehicles. A community is more resilient if its residents have multiple good transportation choices.
PASSENGER RAIL AND RAIL FREIGHT GOALS AND POLICIES Page X-21			
Goal T.9. Strengthen and support rail service opportunities for the region's businesses and travelers.		Goal: Yes	Contributes to mitigation and resilience by supporting rail travel, which is a low-emissions form of regional transportation.
	Policy T.9.1. Seamlessly integrate passenger rail with other travel modes including connectivity and operational improvements to the downtown passenger rail station and surroundings.	yes	Contributes to mitigation and resilience by supporting rail travel, which is a low-emissions form of regional transportation.
	Policy T.9.2. Promote Amtrak service and support opportunities for interregional passenger rail service.	yes	Contributes to mitigation and resilience by supporting rail travel, which is a low-emissions form of regional transportation.
	Policy T.9.3. Promote development of rail spurs and an intermodal freight facility or facilities as needed to support viable economic growth.	N/A	
	Policy T.9.4. Increase the number of grade-separated railroad crossings.	N/A	
AIR TRAVEL GOALS AND POLICIES Page X-21		Goal: Yes	
Goal T.10. Strengthen and expand the role of Flagstaff Pulliam Airport		Goal: Potential inconsistency.	This goal can strengthen resilience, but can also lead to an increase in emissions. This tension among economic growth, air travel and goals to reduce greenhouse gas emissions is one that City leaders, City staff

Goal	Policy	Consistent?	Comments
as the dominant hub for passenger, air freight, public safety flights, and other services in northern Arizona.			and the community routinely grapple with. This potential inconsistency already exists among the current Regional Plan goal E&C.2 to reduce greenhouse gas emissions, just as other tensions among goals exist throughout the Regional Plan. This potential for conflict does not need to be resolved through further Plan revisions – it is reflective of familiar tensions among competing goals, and illustrates the need for the Flagstaff community to find balance as it seeks out economic growth and strong climate action. City decision-makers and staff will need to weigh these tensions and work to balance out the impacts on a case-by-case basis.
	Policy T.10.1. Maintain and expand Flagstaff Pulliam Airport as an important link to the national air transportation system.	yes	
	Policy T.10.2. Improve multimodal access and service to and from the airport including transit, bicycle, and parking services.	yes	Contributes to mitigation.
	Policy T.10.3. Seek opportunities to expand destinations and frequency of regional air service throughout the southwest and west.	Goal: Potential inconsistency.	Airport expansion has the potential to increased emissions due to increased air flights. The value of economic development through airport expansion will need to be weighed in light of increased emissions. As discussed under goal T.10, this inconsistency already existed between expanding flights and reducing greenhouse gas emissions (the original Goal E&C.2). City decision-makers and staff will need to weigh these tensions

Goal	Policy	Consistent?	Comments
			and work to balance out priorities and impacts on a case-by-case basis.
	Policy T.10.4. Plan and manage transportation infrastructure to discourage land uses incompatible with the airport and flight zones.	N/A	
PUBLIC SUPPORT FOR TRANSPORTATION GOALS AND POLICIES Page X-22			
Goal T.11. Build and sustain public support for the implementation of transportation planning goals and policies, including the financial underpinnings of the Plan, by actively seeking meaningful community involvement.		Goal: Yes	Contributes to equity.
	Policy T.11.1. Maintain the credibility of the regional transportation planning process through the application of professional standards in the collection and analysis of data and in the dissemination of information to the public.	N/A	
	Policy T.11.2. Approach public involvement proactively throughout regional transportation planning, prioritization, and programming processes, including open access to communications, meetings, and documents related to the Plan.	N/A	
	Policy T.11.3. Include and involve all segments of the population, including those potentially underrepresented such as the elderly, low-income, and minorities (see Title VI of the Civil Rights Act of 1964 and Executive Order 12898 - Environmental Justice).	yes	Contributes to equity.
	Policy T.11.4. Attempt to equitably distribute the burdens and benefits of transportation investments to all segments of the community.	yes	Contributes to equity.
	Policy T.11.5. Promote effective intergovernmental relations through agreed-upon procedures to consult, cooperate, and coordinate transportation-related activities and decisions, including regional efforts	N/A	

Goal	Policy	Consistent?	Comments
	to secure funding for the improvement of transportation services, infrastructure, and facilities.		
Chapter XI - Cost of Development			
<p>The proposed amendment is compatible with the goals and policies of the Cost of Development Chapter. These goals and policies are somewhat relevant to climate action, due to their influence on infrastructure investments and the disincentives and incentives for new developments. As climate changes increases stressors on community systems, there will be increased demands and new challenges for public infrastructure. A resilient community must understand the costs of developments and of maintaining and upgrading its infrastructure, and set up systems and investment plans to ensure that infrastructure is adequate for a future of increased volatility and accelerated change. The proposed text amendment, by strengthening Flagstaff's resilience and adaptation goals, can support the achievement of the goals and policies outlined in this chapter.</p>			
COST OF DEVELOPMENT GOALS AND POLICIES Page XI-3			
Goal CD.1. Improve the City and County financial systems to provide for needed infrastructure development and rehabilitation, including maintenance and enhancement of		Goal: Yes	Contributes to resilience by ensuring Flagstaff has the resources needed to maintain its infrastructure, which will see more stress due to climate change.
	Policy CD.1.1.At the City level, provide a regular analysis of funding and financing policy alternatives needed for infrastructure development and rehabilitation.	N/A	
	Policy CD.1.2.Work collaboratively with private and non-profit economic development groups to provide for the most efficient and effective use of public and private development dollars.	N/A	

Goal	Policy	Consistent?	Comments
existing infrastructure.	Policy CD.1.3. Analyze the feasibility of expanding development fees within the City of Flagstaff, which may enable future development to provide for related adequate off-site improvements and facilities.	N/A	
	<i>Note: Arizona state statute requires cities to analyze development fees every five years.</i>		
	Policy CD.1.4. Develop a cost-benefit analysis protocol between regional economic development partners when the public is expected to invest.	N/A	
	Policy CD.1.5. Require that new development pay for a fair and rough proportional share of public facilities, services, and infrastructure.	yes	Contributes to resilience by ensuring Flagstaff has the resources needed to maintain its infrastructure, which will see more stress due to climate change.
	Policy CD.1.6. Encourage redevelopment projects to utilize private/public partnerships in order to succeed.	N/A	
	<i>Refer to reinvestment and redevelopment discussions in Chapter IX - Growth Areas & Land Use and Chapter XIV - Economic Development for more information.</i>		
Chapter XII - Public Buildings, Services, Facilities, & Safety			
<p>The proposed amendment is compatible with the goals and policies of the Public Buildings, Services, Facilities and Safety Chapter. The goals and policies of this chapter are highly aligned with and well-supported by the text amendment's increased emphasis on preparation and resilience. The planning, operational, engagement and educational resilience policies may be accelerated by the proposed text amendment and the City's ambitious climate action goals. As the climate changes and volatility and disruptions increase, planning for public buildings, facilities and services becomes ever more important: the City will be called upon to respond to challenges more often, and will see its facilities and services used in new ways. Collaborative planning and creative partnerships, as envisioned in this chapter, will increase community resilience and help to achieve the goals and policies of this chapter as well as those outlined in the text amendment.</p>			

Goal	Policy	Consistent?	Comments
RESILIENCY PLANNING GOALS AND POLICIES Page XII-5			
Goal PF.1. Work across all government operations and services to prepare for the impacts of natural and human-caused hazards.		Goal: Yes	Strongly related to resilience
	Planning		
	Policy PF.1.1. Consider climate resiliency and preparedness in community planning and development to be better prepared for changing conditions.	Yes	Strongly related - contributes to resilience.
	Operational		
	Policy PF.1.2. Allocate available public resources necessary for the City and County to prepare and adapt for natural and human-caused hazards so that all government operations support community resiliency.	yes	Strongly related - contributes to resilience.
	Policy PF.1.3. Support evidence-based, ongoing assessment of the region's vulnerability and risk to changes in local climate. Incorporate future climate projections and historic data into emergency operations and hazard mitigation planning efforts.	yes	Strongly related - contributes to resilience.
	Policy PF.1.4. Build, sustain, and leverage partnerships with local and regional stakeholders for collective investment, efficient action, and shared responsibility in the building of local resiliency.	yes	Strongly related - contributes to resilience.
	Community Engagement and Education		

Goal	Policy	Consistent?	Comments
	Policy PF.1.5. Support proactive communication and education aimed at both residents and governmental operations as a means to build individual, organizational, and community resiliency to weather-related impacts and climate-caused or natural disasters.	yes	Strongly related - contributes to resilience.
	Policy PF.1.6. Educate and inform the community about how to cope with climatic variability and what the local government entities are doing on a systemic level.	yes	Strongly related - contributes to resilience.
	Community Engagement and Education		
	Policy PF.1.7. Develop strategies and take meaningful steps toward extending the life of the landfill.	yes	Strongly related - contributes to resilience and mitigation.
LOCATING FACILITIES GOALS AND POLICIES Page XII-9			
Goal PF.2. Provide sustainable and equitable public facilities, services, and infrastructure systems in an efficient and effective manner to serve all		Goal: Yes	
	Policy PF.2.1. Prioritize infrastructure upgrades to encourage redevelopment and infill and meet land use goals.	Yes	Contributes to mitigation by reducing the distance traveled to reach destinations.
	Policy PF.2.2. Require new developments to pay their fair share toward the cost of additional capital improvements, infrastructure, and public service needs created by the development.	Yes	Contributes to resilience by ensuring Flagstaff has the resources needed to maintain its infrastructure, which will see more stress due to climate change.
	Refer to Chapter XI - Cost of Development for more information.		

Goal	Policy	Consistent?	Comments
population areas and demographics.	Policy PF.2.3. Provide accessible public facilities and services in strategic locations.	Yes	Contributes to mitigation by reducing the distance traveled to reach destinations.
	Policy PF.2.4. Support quality civic design for all public facilities.	N/A	
	Policy PF.2.5. Pursue cooperative and coordinated planning between government jurisdictions, agencies, educational institutions, non-profits, and private service providers.	Yes	Contributes to resilience by improving relationships and increasing connections among agencies. These relationships are particularly helpful during disasters and emergency events.
PUBLIC SAFETY GOALS AND POLICIES Page XII-12			
Goal PF.3. Provide high-quality emergency response and public safety services including law enforcement, fire, medical, and ambulance transport service.		Goal: Yes	Contributes to resilience.
	Policy PF.3.1. Maintain high-quality effectiveness and efficiency in law enforcement, fire, and emergency services to the extent that is consistent with governmental operations, plans, public policies, population served, and monies available.	Yes	Contributes to resilience.
	Policy PF.3.2. Locate City of Flagstaff and rural fire districts within the optimal response time for new and existing development.	N/A	
	Policy PF.3.3. Locate law enforcement facilities (i.e., main and sub-stations) within the prescribed response time goals and service needs of the community.	N/A	
	Policy PF.3.4. Maintain emergency management operations to protect life and property during disaster events in natural hazard areas and built environments.	Yes	Contributes to resilience.
	Policy PF.3.5. Support coordination of public safety and emergency management operations through mutual aid agreements.	Yes	Contributes to resilience.

Goal	Policy	Consistent?	Comments
Chapter XIII - Neighborhoods, Housing, & Urban Conservation			
<p>The proposed amendment is compatible with the goals and policies of the Neighborhoods, Housing and Urban Conservation Chapter. Strong neighborhoods, as envisioned in the first goal of this chapter, contribute significantly to mitigation and adaptation goals. Strong neighborhoods that are interconnected, have a mix of uses, and support multiple modes of travel can reduce greenhouse gas emissions and increase social connections and self-reliance. The proposed text amendment should help advance these goals and policies as the amendment strengthens support for climate action, including creating connected, mixed-use, dense neighborhoods.</p> <p>Goals to improve housing opportunities and eliminate homelessness and the associated housing, resource and programming policies are critical to ensure equity across our community. Climate change will increase the burdens for low-income, housing insecure, and unhoused people, who are already more vulnerable to community change, disruptive events, and health issues. The proposed text amendment elevates the issue of community equity and its importance when taking climate action. A new policy to review climate actions for its potential impacts on vulnerable populations can help to increase the focus on equity and housing, and may help to accelerate the implementation of these policies.</p>			
NEIGHBORHOODS, HOUSING, AND URBAN CONSERVATION GOALS AND POLICIES Page XIII-9			
Goal NH.1. Foster and maintain healthy and diverse urban, suburban, and rural neighborhoods in the Flagstaff region.		Goal: Yes	Contributes to resilience.
	Policy NH.1.1. Preserve and enhance existing neighborhoods.	N/A	
	Policy NH.1.2. Respect traditions, identifiable styles, proportions, streetscapes, relationships between buildings, yards, and roadways; and use historically appropriate and compatible building and structural materials when making changes to existing neighborhoods, especially in historic neighborhoods.	N/A	
	Policy NH.1.3. Interconnect existing and new neighborhoods through patterns of development, with complete streets, sidewalks, and trails.	Yes	Contributes to mitigation and resilience.

Goal	Policy	Consistent?	Comments
	Policy NH.1.4. Foster points of activities, services, increased densities, and transit connections in urban and suburban neighborhoods.	Yes	Contributes to mitigation and resilience.
	Policy NH.1.5. Use traditional neighborhood design standards for new and revitalized urban neighborhoods, neighborhood plans, specific plans, or master plans.	Yes	Contributes to mitigation and resilience.
	Policy NH.1.6. New development, especially on the periphery, will contribute to completing neighborhoods, including interconnecting with other neighborhoods; providing parks, civic spaces, and a variety of housing types; and protecting sensitive natural and cultural features.	Yes	Contributes to mitigation and resilience.
	Policy NH.1.7. Develop appropriate programs and tools to ensure the appropriate placement, design, and operation of new student housing developments consistent with neighborhood character and scale.	N/A	
	Policy NH.1.8. Prioritize the stabilization of a neighborhood's identity and maintain cultural diversity as new development occurs.	N/A	
Goal NH.2. Look to downtown Flagstaff as the primary focal point of the community character.		Goal: Yes	Contributes to mitigation – the density of downtown Flagstaff helps to reduce greenhouse gas emissions and encourage active modes of transportation.
<i>Refer to the Downtown goals and policies in Chapter IX - Growth Areas & Land Use</i>	Policy NH.2.1. Encourage the rehabilitation of historic downtown structures and contextual new structures as office, retail, entertainment, and residential space to reinvigorate the area as a destination of culture, shopping, government, and the arts.	Yes	

Goal	Policy	Consistent?	Comments
	Policy NH.2.2. Plan for future downtown development and contiguous development that respects the established historic core, historical architecture, and urban design.	N/A	
	Policy NH.2.3. Continue the tradition of multi-story, multi-use buildings to maintain and increase a stable, mixed-income residential population when planning new structures in the downtown and Southside neighborhoods.	Yes	Contributes to mitigation, resilience and equity.
Goal NH.3. Make available a variety of housing types at different price points, to provide housing opportunity for all economic sectors.		Goal: Yes	Contributes to equity.
	Policy NH.3.1. Provide a variety of housing types throughout the City and region, including purchase and rental options, to expand the choices available to meet the financial and lifestyle needs of our diverse population.	Yes	Contributes to resilience and equity.
	Policy NH.3.2. Promote accessory dwelling units, where appropriate.	Yes	Contributes to mitigation, resilience and equity.
	Policy NH.3.3. Increase the availability of affordable housing for very low-income persons, through innovative and effective funding mechanisms.	Yes	Contributes to resilience and equity.
	Policy NH.3.4. Reuse former brownfields, vacant buildings, and commercial buildings to provide new mixed-use and/or housing options.	Yes	Contributes to resilience and equity.
	Policy NH.3.5. Encourage and incentivize affordable housing.	Yes	Contributes to resilience and equity.
Goal NH.4. All housing is safe and sanitary.		Goal: Yes	Contributes to equity.
	Policy NH.4.1. Expand the availability of affordable housing throughout the region by preserving existing housing, including housing for very low-income persons.	Yes	Contributes to equity.

Goal	Policy	Consistent?	Comments
	Policy NH.4.2. Reduce substandard housing units by conserving and rehabilitating existing housing stock to minimize impacts on existing residents.	Yes	Contributes to equity.
	Policy NH.4.3. Address accessibility issues and other housing barriers to persons with disabilities or special needs.	Yes	Contributes to equity.
	Policy NH.4.4. Encourage green practices in housing construction and rehabilitation that support durable, healthy, and energy efficient homes.	Yes	Contributes to mitigation, resilience and equity.
	Policy NH.4.5. Renovate the existing housing stock to conserve energy and reduce utility and maintenance costs for owners and occupants.	Yes	Contributes to mitigation, resilience and equity.
	Policy NH.4.6. Consider and integrate public transportation when possible in planning housing developments, to help reduce a household's transportation costs and minimize impact on the community's roads and transportation system.	Yes	Contributes to mitigation, resilience and equity.
	Policy NH.4.7. Enforce compliance with fair housing laws.	Yes	Contributes to equity.
Goal NH.5. Eliminate homelessness.		Goal: Yes	Contributes to equity.
	Policy NH.5.1. Provide adequate resources for families with children experiencing homelessness.	Yes	Contributes to equity.
	Policy NH.5.2. Provide adequate resources for individuals experiencing homelessness.	Yes	Contributes to equity.
	Policy NH.5.3. Support and expand programs that prevent homelessness.	Yes	Contributes to equity.
	Policy NH.5.4. Make transitional housing resources available to populations experiencing homelessness.	Yes	Contributes to equity.
Goal NH.6. Neighborhood		Goal: Yes	Contributes to mitigation: when infill, redevelopment and revitalization are successful,

Goal	Policy	Consistent?	Comments
conservation efforts of revitalization, redevelopment, and infill are compatible with and enhance our overall community character.			this helps to encourage more infill and revitalization, which in turn reduces emissions from transportation
	Policy NH.6.1. Promote quality redevelopment and infill projects that are contextual with surrounding neighborhoods. When planning for redevelopment, the needs of existing residents should be addressed as early as possible in the development process.	N/A	
	Policy NH 6.2. Use urban conservation tools to revitalize existing underutilized activity centers to their potential.	Yes	Contributes to mitigation, resilience and equity.
Chapter XIV - Economic Development			
<p>The proposed amendment is compatible with the goals and policies of the Economic Development Chapter. The goals and policies of the Economic Development Chapter are generally supported by the proposed text amendment. The increased emphasis on resilience and equity in the proposed amendment will support several policies under responsive government, education and workforce training, and business retention and expansion. A stronger economy and a resilient community are mutually supportive: when businesses and residents are successful, they are more likely to thrive amidst disruptive events and long-term challenges. By increasing the emphasis on resilience and equity, the proposed text amendment can support the implementation of these goals and policies. Several policies have large, positive impacts on community resilience, from redundant telecommunications systems to increased local and regional food production.</p> <p>Many goals and policies in this section will reduce community emissions, from encouraging energy and water efficiency to developing activity centers and encouraging redevelopment and infill. The proposed text amendment can accelerate the implementation of these goals and policies due to their alignment with the City's climate goals. In general, climate action and economic development can be aligned to foster innovative collaborations with existing and new businesses, that can help achieve the goals of both this chapter and the Climate Change and Adaptation Section.</p>			
RESPONSIVE GOVERNMENT GOALS AND POLICIES Page XIV-4			
		Goal: Yes	

Goal	Policy	Consistent?	Comments
Goal ED.1. Create a healthy environment for business by ensuring transparent, expeditious, and predictable government processes.	Policy ED.1.1. Maintain the commitment by City and County government bodies to establish new public-private partnerships to spur economic development where they are potentially an effective tool.	N/A.	
	Policy ED.1.2. Steadily improve access to easily understandable public information.	N/A.	
	Policy ED.1.3. Use economic best practices to promote quality and fiscally sound projects.	N/A.	
	Policy ED.1.4. Encourage local governments and the surrounding sovereign tribal nations to collaborate on mutually beneficial economic development initiatives.	N/A.	
	Policy ED.1.5. Work cooperatively as a region towards developing a redundant telecommunications system.	Yes.	Redundancy is incredibly important to resilience.
	Policy ED.1.6. Actively recruit diverse representation for all committee vacancies.	Yes.	Contributes to equity.
	Policy ED.1.7. Establish policy and tools to consider the impacts of redevelopment on local residents.	Yes.	Contributes to equity.
EDUCATION AND WORKFORCE TRAINING GOALS AND POLICIES Page XIV-7			
Goal ED.2. Support and encourage an excellent educational		Goal: Yes	Contributes to equity.
	Policy ED.2.1. As industry sectors emerge and grow, encourage regional workforce development partners to take a proactive role by preparing the local labor force for current and future workforce needs.	N/A.	

Goal	Policy	Consistent?	Comments
system that promotes critical thinking and job training programs at all levels.	Policy ED.2.2. Support collaborative workforce training efforts by secondary schools, Coconino Community College, Northern Arizona University, and regional economic development partners.	N/A.	
	Policy ED.2.3. Encourage efforts to provide a full range of high-quality educational opportunities for life-long learning for all residents.	N/A.	
	Policy ED.2.4. Promote science, technology, engineering, mathematics, liberal arts, and entrepreneurship education at all levels.	N/A.	
BUSINESS RETENTION, EXPANSION, AND ENTREPRENEURSHIP GOALS AND POLICIES Page XIV-8			
Goal ED.3. Regional economic development partners support the start-up, retention, and expansion of existing business enterprises.		Goal: Yes	Strong businesses contribute to a stronger, more resilient community; these businesses will also be partners in achieving the City's climate goals.
	Policy ED.3.1. Encourage regional economic development partners to continue proactive programs to foster the retention and expansion of existing enterprises and home-based businesses in the community.	N/A.	
	Policy ED.3.2. Strengthen the arts, culture, and education sectors as important economic drivers in the community.	N/A.	
	Policy ED.3.3. Support plans, programs, and capital expenditures to stimulate the investment of private capital in existing commercial areas for all industry sectors.	N/A.	
	Policy ED.3.4. Take advantage of federal, state, and local incentives available for business retention and expansion efforts.	N/A.	

Goal	Policy	Consistent?	Comments
	Policy ED.3.5. Advocate the economic sustainability and growth of businesses with opportunities for transitional commercial space, leased space, and property ownership.	N/A.	
	Policy ED.3.6. Foster entrepreneurialism and start-up businesses with incubator and accelerator programs in sectors that demonstrate considerable growth potential.	N/A.	
	Policy ED.3.7. Support and encourage regional agriculture.	Yes.	Increased regional food production supports resilience by helping Flagstaff to be less dependent on far-away sources of food.
	Policy ED.3.8. Protect existing business and industrial land uses from encroachment and allow for their expansion.	N/A.	
	Policy ED.3.9. Develop infrastructure so that the community has access to high-speed internet and telecommunications.	N/A.	
BUSINESS ATTRACTION GOALS AND POLICIES Page XIV-9			
Goal ED.4. Support efforts to recruit diverse new businesses and industries compatible with the region.		Goal: Yes	A strong business community is vital to a stronger, more resilient community.
	Policy ED.4.1. Publicize all developable property, with property owner's consent, within the region with an understanding of infrastructure needs and applicable development standards.	N/A.	
	Policy ED.4.2. Promote variety and flexibility in land use and development options within the urban growth boundary.	N/A.	
	Policy ED.4.3. Facilitate regional economic development by participating in cooperative ventures throughout the northern Arizona region.	N/A.	

Goal	Policy	Consistent?	Comments
	Policy ED.4.4. Identify and support community resources that assist new businesses, such as workforce development, marketing, building processes, venture capital, financing, and management.	N/A.	
	Policy ED.4.5. In an effort to promote the sustainability of resources, the City will encourage all new and expanded commercial and industrial development to be energy and water efficient.	Yes.	Strong relationship – increased energy and water efficiencies in new and expanded developments will support resilience and mitigation: businesses are stronger and more nimble when they are less reliant on external resources. Energy and water efficiency can help businesses to both reduce their emissions and reduce their costs.
	Policy ED.4.6. Encourage development of specific area plans for targeted industrial, and business park land, which have been identified as major employment centers in the <i>Flagstaff Regional Plan</i> .	N/A.	
	Policy ED.4.7. When planning for future growth, consider tribal, cultural, and natural resources in balance with community needs.	Yes.	Development and growth that carefully considers available resources can contribute to a more resilient community.
	Policy ED.4.8. Support and encourage Native American heritage and culture as contributors to the region's economy.	Yes.	Contributes to achieving equity.
	<i>Refer to Chapter VIII - Community Character Goal CC.6. and Chapter XIV - Economic Development Policy ED.6.3.</i>		
Goal ED. 5. The Pulliam Airport will continue to serve the Northern Arizona region for air transportation,		Goal: Yes	
	Policy ED.5.1. Develop an Airport Business Park Specific Plan, outlining potential for connectivity, business and light industrial growth, and gateway opportunities.	Yes.	Concentrating these uses can reduce transportation distances, contributing to reduced greenhouse gas emissions.
	Policy ED.5.2. Provide a clear process for becoming a business park lessee.	N/A.	

Goal	Policy	Consistent?	Comments
multimodal connectivity and business growth potential.			
TOURISM GOALS AND POLICIES Page XIV-11			
Goal ED. 6. Tourism will continue to provide a year-round revenue source for the community, while expanding specialized tourist resources and activities.		Goal: Yes	Climate action can support tourism and contribute to a stronger tourism sector, as well as a stronger overall economy. Adaptation can also help the tourism sector prepare for potential changes in tourism patterns and shifting natural resources.
	Policy ED.6.1 Support and promote the diversification and specialization of the tourism sector, with heritage, eco-, and adventure tourism.	N/A.	
	Policy ED.6.2. Encourage cultural tourism with the advancement of heritage sites and special events.	N/A.	
	Policy ED.6.3. Continue to advance high-altitude athletic training and “extreme sport” events and programs.	N/A.	
	Policy ED.6.4. Encourage business education about the importance of tourism and its positive impacts on our region.	N/A.	
	<i>Refer to Chapter VIII - Community Character Goal CC.6</i>		
COMMUNITY CHARACTER GOALS AND POLICIES Page XIV-11			
		Goal: N/A	

Goal	Policy	Consistent?	Comments
Goal ED.7. Continue to promote and enhance Flagstaff's unique sense of place as an economic development driver.	Policy ED.7.1. Support planning, design, and development that positively, creatively, and flexibly contribute to the community image.	N/A.	
	Policy ED.7.2. Coordinate community branding to effectively position the region for global marketing.	N/A.	
	Policy ED.7.3. Leverage the region's assets of history, culture, and natural environment, as well as educational and scientific facilities, as an economic development tool.	Yes.	Climate action can help to ensure that the northern Arizona region maintains its natural assets, including its ponderosa pine forests and higher-elevation ecosystems.
	Policy ED.7.4. Invest in attractive community gateways, main corridors, and public spaces to draw the business and workforce the region desires.	N/A.	
	Policy ED.7.5. Develop urban infrastructure that supports revitalization and redevelopment.	Yes.	Urban infrastructure and redevelopment, or infill, supports both mitigation and resilience. Urban redevelopment helps to reduce sprawl, by concentrating uses in already-developed areas, which helps maintain Flagstaff's resilience and also decreases the distances Flagstaff residents need to travel to meet their needs.
	Policy ED.7.6. Support southwest culture in the visual and performing arts, including for example, an annual Native American Pow- Wow.	N/A.	
ACTIVITY CENTERS GOALS AND POLICIES Page XIV-12			
	No policies for this goal.	Goal: Yes	Supports resilience and mitigation.
Goal ED.8. Promote the continued physical and			

Goal	Policy	Consistent?	Comments
economic viability of the region's commercial districts by focusing investment on existing and new activity centers.			
REDEVELOPMENT AND INFILL GOALS AND POLICIES Page XIV-12			
	No policies for this goal.	Goal: Yes	Supports resilience and mitigation.
Goal ED.9. Promote redevelopment and infill as a well-established means to accomplish a variety of community			
economic, planning, and environmental goals.			
Refer to Chapter IX - Growth Areas & Land Use, pp. IX-18			

Goal	Policy	Consistent?	Comments
<i>through IX-25 for reinvestment goals, policies, and tools.</i>			
Chapter XV - Recreation			
<p>The proposed amendment is compatible with the goals and policies of the Recreation Chapter. The goal and policies of the Recreation Chapter are very related to climate action: Flagstaff's system of parks, recreation centers and trails contribute significantly to quality of life in Flagstaff and our overall community resilience. The proposed text amendment supports investments in our trails, parks, and recreation facilities in order to support community health, social connections, and reduced travel distances for residents to meet their needs. Policy Rec 1.1 is particularly relevant, as it will lead to increased walking, reduced trip distances and reduced greenhouse gas emissions, in addition to increased equity as a result of more accessible parks and recreational sites. Policy Rec. 1.5 also is advanced by the proposed text amendment, as sustainable technologies can lead to reduced greenhouse gas emissions.</p>			
RECREATION GOALS AND POLICIES Page XV-6			
Goal REC.1. Maintain and grow the region's healthy system of convenient and accessible parks, recreation facilities, and trails.		Goal: Yes	Supports resilience and mitigation.
	Policy Rec.1.1. Integrate active and passive recreational sites within walking distance throughout the region to promote a healthy community for all City and County residents and visitors.	Yes.	Supports reducing greenhouse gas emissions by encouraging walking.
	Policy Rec.1.2. Promote public and private partnerships to offer parks, recreation facilities, and resources.	N/aA	
	Policy Rec.1.3. Coordinate City, County, and Forest Service recreational planning to best serve the community.	Yes.	Supports resilience.
	Policy Rec.1.4. Design new or updated public facilities to include parks, open space, and/or recreational opportunities where feasible.	Yes.	Can help reduce the need for traveling long distances to parks and recreation opportunities, leading to decreased greenhouse gas emissions.

Goal	Policy	Consistent?	Comments
	Policy Rec. I.5. Incorporate sustainable building and maintenance technologies and universal design into parks and recreation facilities.	Yes.	Supports mitigation, by reducing greenhouse gas emissions associated with facility maintenance, and supports equity by planning for universal access by people of all abilities.

Carbon Neutrality Amendment to The Flagstaff 2030 Regional Plan

Part III: Required Studies and Analysis

June 30, 2021

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Carbon Neutrality Amendment to the Flagstaff 2030 Regional Plan
Development timeline: Proposed adoption in December 2021

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PART III – REQUIRED REPORTS, STUDIES, ANALYSIS, & RELATED DATA

III.1 Public Services and Facilities Analysis

The carbon neutrality amendment to the Flagstaff 2030 Regional Plan will update the City's climate goals and policies as stated in the Regional Plan to align the Regional Plan with the City's climate action planning documents. This will provide clarity to the community and decision-makers, enabling the climate goals and policies, so that they may be better utilized when making community decisions.

The pursuit of these goals may impact planning for public services and facilities, as the City works to increase resilience and preparation for short-term disruptions and long-term changes.

Stormwater: The revised climate goals and policies support the current stormwater infrastructure operations of the City of Flagstaff and Coconino County. This amendment will not change stormwater operations.

The amendment supports an increased focus on stormwater as a way to prepare for storm events and build community resilience. As Flagstaff's climate warms over time, stormwater management will become more important as the Southwest experiences increased weather volatility, more extreme weather events, and more high-severity wildfires. It is well-established that climate change will bring increases in both the frequency and the intensity of extreme weather events, including intense thunderstorms and unusually heavy rainfall or snowfall events, leading to flooding in Flagstaff's flood-prone areas. Flood risks are also increased due to the increased likelihood of rain-on-snow or rain-on-ice, which lead to high volumes of run-off, or in areas that have recently been damaged by moderate- to high-severity wildfires, which degrade the soil's ability to absorb water. All of these factors contribute to expected increases in the frequency, magnitude and severity of flooding.

Our current infrastructure is not well-equipped to handle these increased risks: upgrades to our current infrastructure are necessary. Preparing for our changing risk profile is a critical part of climate resilience; the proposed text

amendment supports investments in public infrastructure, including stormwater infrastructure.

Water facilities: The revised climate goals and policies support the current water infrastructure operations of the City of Flagstaff, as the City of Flagstaff Water Services Division currently looks to optimize water reuse, utilize renewable energy and increase energy efficiency. Achieving carbon neutrality and increased resilience will involve collaboration with the City Water Services Division to analyze emissions reduction and adaptation opportunities, and take appropriate action. One example of collaboration already underway is the installation of electric back-up generators at the Lake Mary facility. This mitigation action to reduce greenhouse gas emissions doubles as an adaptive action to increase resiliency and secure our water system against unexpected power outages due to extreme weather. There are ample opportunities for partnership and achieving water services and climate mitigation and adaptation goals.

Schools: The revised climate goals and policies can support the Flagstaff United School District (FUSD) in their work to increase efficiencies and reduce resource use. FUSD is already working to reduce energy use in their facilities through lighting retrofits and other measures, and to reduce the impact of school bus transportation. The Plan amendment will raise the importance of collaboration between the City of Flagstaff and FUSD.

There are ample opportunities for partnership. The City can assist FUSD in reducing the impact of its substantial building footprint, as community-wide carbon neutrality will require a substantial reduction in greenhouse gas emissions from Flagstaff's buildings. Transportation is another area for improvement, due to the substantial car travel used to transport children to schools in Flagstaff. Active transportation, public transit, and idling reduction campaigns present opportunities for co-benefits for students, FUSD and the City. These efforts will help improve air quality for one of our most vulnerable communities—children—while also moving closer to our carbon neutrality goals.

III.2 Traffic Analysis or Report

The carbon neutrality amendment to the Flagstaff 2030 Regional Plan will update the City's climate goals and policies as stated in the Regional Plan to align the Regional Plan with the City's climate action planning documents. This will provide clarity to the community and decision-makers, enabling the climate goals and policies, so that they may be better utilized when making community decisions.

The revised climate goals and policies will further the City's already-existing goals to encourage active transportation, support transit use and operations, and reduce congestion. Because transportation emissions are a major contributor to greenhouse gas emissions, achieving carbon neutrality will require strengthened collaboration among City of Flagstaff Community Development Division, Engineering Division, and the Sustainability Section to analyze emissions reduction opportunities and take appropriate action. Many programs and policies to reduce vehicle miles travelled and support active modes of transportation already exist; achieving the City's climate goals will require strengthening those programs to reduce greenhouse gas emissions from transportation.

III.3 Water and Wastewater Impact Analysis

Requirement waived by the Planning Director.

III.4 School Impact Analysis

Requirement waived by the Planning Director.

Schools are discussed as part of the public facilities analysis, III.1

III.5 Police and Fire Protection Analysis

The carbon neutrality amendment to the Flagstaff 2030 Regional Plan will update the City's climate goals and policies as stated in the Regional Plan to

align the Regional Plan with the City's climate action planning documents. This will provide clarity to the community and decision-makers, enabling the climate goals and policies, so that they may be better utilized when making community decisions.

The revised climate goals and policies will not impact policing or Fire Protection in Flagstaff. Climate change will bring increased volatility, more extreme weather events, higher risk for wildfires, and significant community change. As these changes have the potential to increase demands on the Flagstaff Police Department and the Flagstaff Fire Department, this amendment and further discussion of climate change impacts can be an opportunity to anticipate these changes and increased demands. Anticipating these increases in adverse events and demands on services is a central part of building a resilient community.

Climate adaptation supports strengthening community support systems and building self-reliance, to increase community resilience. Increasing support systems and anticipating adverse events can potentially decrease the demands and pressures on our first responder systems.

III.6 Economic Development Analysis

The carbon neutrality amendment to the Flagstaff 2030 Regional Plan will update the City's climate goals and policies as stated in the Regional Plan. This will align the Regional Plan with the City's climate action planning documents. This will also provide clarity to the community and decision-makers, improving the utilization of climate goals and policies when making community decisions.

This amendment will have economic impacts, likely both positive and negative, as decision-makers work to incorporate climate considerations into their decision-making. The revised climate goals and policies support the previous Regional Plan's economic development goals in Flagstaff through an increased focus on community resilience and resilience-building by households, businesses, and institutions. These efforts to build resilience and a clean energy economy support the economic development goals of the City.

Climate Action as an Investment

Taking climate action and avoiding the worst impacts of climate change makes sense economically and morally. Action is far less expensive and far more beneficial than inaction. Like forest health measures taken to avoid catastrophic wildfire, climate action is an investment in our future.

In Flagstaff, forest protection provides a sobering example of the need for preparation: The 2010 Schultz wildfire and post-fire flooding had a total impact between \$133 and \$147 million.¹ By comparison, the phase one of the Flagstaff Watershed Protection Project (FWPP) required a \$10 million investment from Flagstaff residents. This down payment on forest health will help Flagstaff avoid high-severity fires that could cause devastating flooding, and is projected to help the Flagstaff area avoid between an estimated \$573 million and \$1.2 billion in damages.²

Just as individuals prepare for retirement, climate action takes intentional preparation. It is said that the best time to start investing for retirement is 15 years ago, and the next best time is now. Like retirement, it may be helpful to approach the spending that will be required on climate action with an investment mindset. Investments require spending, but they also produce returns and benefits. The earlier someone starts investing, the easier and less expensive it will be for them to meet their retirement goals. The longer someone delays investing, the more difficult and expensive it becomes.

Investments in climate action are no different, and these investments produce returns for ourselves and future generations. The 2019 UN Gap Report shows that if governments worldwide had started 10 years ago, we could have made relatively modest and gradual investments to achieve annual emissions reductions of just 3.3%. Figures 4 and 5 show the reductions required based on different action timeframes.

Because of our collective delay, the necessary investments will need to be more significant and rapid to achieve the annual global reductions of over 7.6% per

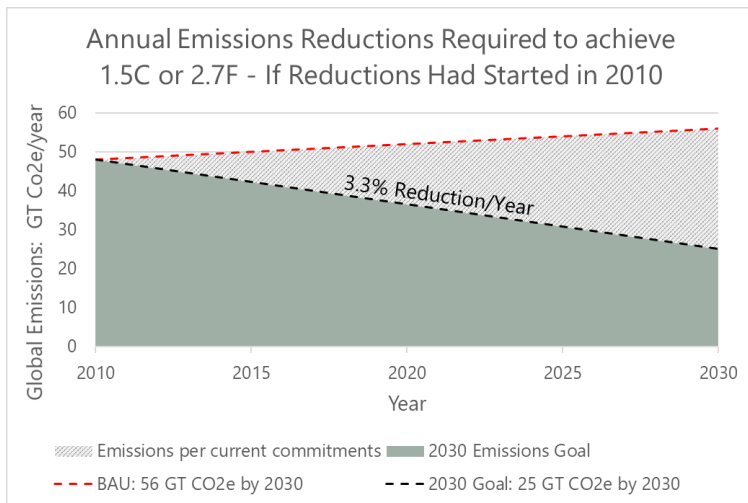
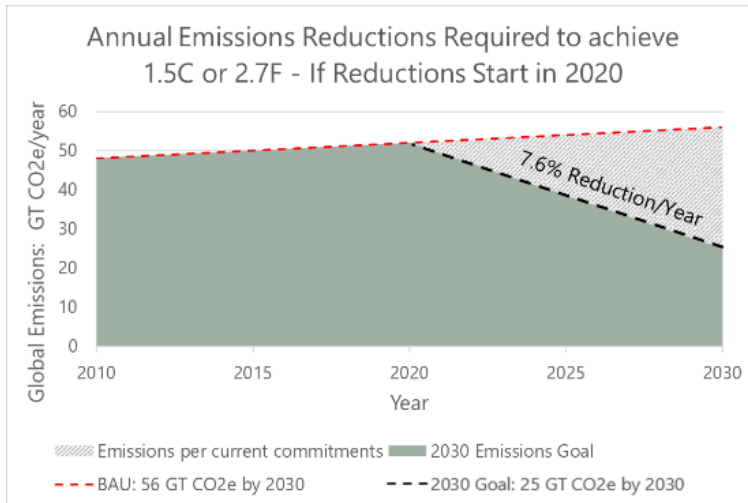
¹ Full Cost Accounting of the 2010 Schultz Fire:
http://openknowledge.nau.edu/1282/1/Combrink_EtAl_2013_ERIWhitePaper_SchultzFullCostAccounting.pdf

² The Cost of Inaction: Flagstaff Watershed Protection Project Cost Avoidance Study:
https://arizonastatelawjournal.org/wp-content/uploads/2016/04/Fox_Final.pdf

year that are now required.³ That trend only continues with further delay. Indeed one recent study concluded that if the U.S. starts investing now in efforts to reach net-zero emissions by 2050, the total spending required would be nearly half as much compared to delaying our investments until 2030.⁴ When it comes to making investments to achieve goals, the amount of time remaining can be either the greatest asset or biggest liability. There may still be enough time to meet our climate stabilization and adaptation goals, but only if we accelerate our ambition and start making the necessary investment contributions.

³ <https://www.unep.org/interactive/emissions-gap-report/2019/>

⁴ https://energyinnovation.org/wp-content/uploads/2021/01/Cost_of_Delay.pdf



Graphs: Depictions of the worldwide greenhouse gas reductions needed to achieve 1.5C (2.7F). Graphs reproduced from 2019 UN Gap Report Interactive Dashboard

It is said that an ounce of prevention is worth a pound of cure. Part of the investment mindset is evaluating both the cost of action as well as the cost of inaction. Choosing to avoid oil changes only appears to save a car owner money until their engine seizes. Likewise, avoiding investments in climate action only gives the appearance of saving money until it clearly, irreversibly, and perhaps quite suddenly, doesn't. While there is a high level of uncertainty about what the exact cost of the required level of climate action will be on a global scale, there is a high level of agreement that the risks and

cost of inaction will be far greater.⁵ This consensus on the cost of inaction comes despite the fact that there are many externalities that economic models often struggle to measure (See the Social Cost of Carbon section on page 41). The City's Climate Emergency Declaration recognizes that the time to invest in our future is now.

Climate Action Among Flagstaff Businesses

Climate action, like most actions to reach City goals, can have positive or negative impacts on economic development. By clarifying the City's climate goals and policies, the City intends for this text amendment to support economic development, lead to creative and productive collaborations with businesses, and help ensure the long-term success of businesses in the region. Local and regional businesses are critical partners to reach the City's goals, both in reducing emissions from commercial activities, and because many businesses in Flagstaff have climate action as part of their business model: local businesses see the opportunities for innovation and entrepreneurship, and are creating new green jobs and helping to solve climate challenges.

Climate action is already generating jobs in Flagstaff: Multiple solar companies call Flagstaff home, creating jobs while helping residents invest in on-site, money-saving energy. Home weatherization and electrification is happening today in Flagstaff, creating jobs at general contracting and home improvement companies as well as two residential energy efficiency companies providing long-term employment: E3 Energy and CozyHome. Two retail locations for electronic bikes recently opened near downtown Flagstaff, and native landscaping companies have been serving residents, creating jobs, and reducing impacts for years. Larger opportunities for jobs in the future might include infrastructure improvements to prepare for increased flooding, innovations in forest products, the construction of new bike trails and pedestrian crossings, infrastructure hardening, and net zero building construction. Local companies are often best poised to take rapid action to take advantage of market opportunities.

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https://policyintegrity.org/files/publications/Economic_Consensus_on_Climate.pdf

Businesses across Flagstaff and Arizona are also taking climate action, and seeing results both in operational savings, community support and revenue. A few examples:

- ▲ W.L. Gore & Associates, a large Flagstaff employer, has set a corporate goal to reduce their greenhouse gas (GHG) emissions from manufacturing sites and offices by 60% 2030, and work towards carbon neutrality by 2050.
- ▲ Rooftop Solar and Prometheus Solar, local Flagstaff companies, were selected by the Northern Arizona Solar Co-op to install solar for more than 80 households across Flagstaff, Sedona, and Coconino County. In partnership with the City, the Northern Arizona Coop was organized through Solar United Neighbors, a non-profit organization that seeks to increase the access and affordability of solar energy. These installations are projected to result in 647 kW of Solar installed, 11,608 Metric Tons of CO2 avoided over the lifetime of the panels, and \$1,845,219 invested in local businesses, jobs, and clean electricity.
- ▲ Flagstaff is home to operations and retail locations of several national corporations that have goals to significantly reduce greenhouse gas emissions. Purina has corporate goals to achieve net-zero greenhouse gas emissions by 2050. REI and Walmart are part of the We Mean Business Coalition. This Coalition, comprised of over 1,776 companies that “recognize the transition to a zero-carbon economy is the only way to secure sustainable economic growth and prosperity for all,” sent an open letter to the Biden administration supporting an emissions reduction goal of 50 to 52% by 2030, calling the target “ambitious and attainable.”
- ▲ Hotels across Flagstaff are taking climate action. The Flagstaff Drury Inn & Suites is the first LEED-certified hotel in Arizona. The DoubleTree by Hilton Flagstaff has already seen significant energy, water and waste savings from its environmental initiatives; Hilton, the global hospitality company, has committed to cutting its environmental impact in half by 2030, including a 60% reduction in emissions by 2030.
- ▲ Arizona Public Service (APS), which is Flagstaff’s electric utility company, has committed to transitioning to a 100% carbon-free electric grid by 2050. Salt River Project (SRP) recently committed to doubling its renewable electricity capacity by 2050, driven by demand from business customers.
- ▲ Arizona Forward has membership from over 150 public and private organizations across the state that recognize the need to “address the increasingly harmful climate impacts and shape Arizona’s long-term future... This is why we focus on bringing local businesses and municipalities together to work toward actionable solutions – because inaction is not an option.”

These are just a few examples of the many local and regional businesses working to reduce their impact and create climate solutions, with positive impacts on economic development, whether that comes from new green jobs in Flagstaff or cost savings for businesses that have invested in reducing their greenhouse gas emissions. To encourage more positive impacts like these, the City will partner with local businesses to learn about barriers and opportunities, and help them to ramp up their climate action efforts. The City can lend support, share resources, create connections to help share lessons learned opportunities, and highlight success stories.

Investment Opportunities

Clarifying Flagstaff's goals will help Flagstaff attract investment in climate-positive technologies and ensure Flagstaff is prepared for upcoming Federal grant opportunities and partnerships. The Federal Government will be an important partner in climate action. The U.S. Government has set a goal to reduce greenhouse gas emissions by 50% by 2030 and to achieve 100% renewable energy by 2035.⁶ Communities that have established carbon neutrality goals and have begun preparing for investments are well-positioned to take advantage of federal programming and opportunities for investment. Flagstaff's leadership in the field also positions it to partner with private companies: the City has been an early adopter in programs run by APS, Flagstaff's electric utility, and is currently working with APS to develop a large-scale renewable energy project that will help reach the climate goals of both APS and the City.

BALANCING PRIORITIES

While there are strong benefits to carbon neutrality, there are also areas where climate action goals may seem to conflict with economic or financial concerns. To achieve carbon neutrality and create a stronger community and economy, the City of Flagstaff will acknowledge the tensions between issues and seek to find common ground and mutual benefit. To illustrate the need

⁶ <https://www.reuters.com/business/sustainable-business/exclusive-white-house-pushing-80-clean-us-power-grid-by-2030-2021-04-26/>

for balance among key community priorities, this analysis explores three examples:

- Housing and climate
- Building electrification
- Climate change, visitation and recreation

Housing and climate

Flagstaff's housing crisis is one example of the complexity of community challenges. Affordable and additional housing in Flagstaff has been a documented need for more than 50 years and has reached a crisis level in recent years. In December 2020, the City Council declared a housing emergency and set in motion the need to make housing a leading priority for the City organization and Flagstaff community, similar to carbon neutrality. Housing costs and living expenses are key parts of economic development: today, many workers already struggle to live in Flagstaff and employers report difficulty hiring and retaining employees due to the high cost of living. Climate change is poised to exacerbate these difficulties, due to its anticipated impacts on our housing market: as temperatures rise in the Phoenix metro area and elsewhere, we can anticipate that demand for housing, second homes, and vacation rentals in Flagstaff will continue to increase. Without proper preparation, this can have severe consequences for Flagstaff's residents who already are struggling to afford a place to live. Housing, climate change, and economic development are intricately connected, critical challenges that will need to be addressed head on in the coming years. This text amendment will aid these conversations and problem-solving by ensuring that the scope of the climate challenge and the City's climate goals are accurately reflected in the City's guiding planning documents, leading to a more accessible conversation.

Balancing these priorities is achievable, when approached holistically.⁷ Indeed, the solutions to the climate emergency and the housing emergency are often the same: making better use of Flagstaff's limited land through denser neighborhoods with a more diverse mix of uses will increase housing supply and reduce greenhouse gas emissions. Improving safe transportation connections between neighborhoods will help more residents walk, bike, and take the bus; this not only decreases emissions but also

⁷ https://greenlining.org/wp-content/uploads/2019/10/Greenlining_EquitableElectrification_Report_2019_WEB.pdf

reduces the need for car ownership, which adds a significant expense to the cost of living – estimated by AAA to be around \$9,500 per year.⁸ Adding solar to homes can provide a return on investment to homeowners and landlords, reducing the overall cost of living due to decreased electricity costs. There are numerous other examples of climate actions and investments that can help reduce the cost of living in Flagstaff.

The potential benefit of these climate actions will be realized through careful design of programs to maximize benefit to residents, greenhouse gas emission reductions, and community equity. For example: currently a substantial amount of up-front financing is required to install solar panels on a house, which efficiently produce inexpensive energy on-site and provide a return on investment to homeowners. Consequently, many residents are unable to access the benefits of the low cost of solar and an investment opportunity. The City could design a solar incentive program to ensure that residents of all types can access this cost-saving investment, ensuring equitable access to a mechanism that can reduce the cost of living.

Costs of building electrification

- ▲ Building electrification is necessary to reduce greenhouse gas emissions associated with the use of fossil fuels in homes and other buildings. Building electrification, also called fuel switching, means eliminating the use of fossil fuels like natural gas and propane for functions like heating and cooking, and replacing gas appliances with alternatives that use electricity. In Flagstaff, 50% of our greenhouse gas emissions come from the buildings we live and work in. APS, Flagstaff’s electric utility, has committed to 100% clean electricity by 2050.⁹ As our electric grid gets steadily cleaner, building electrification will play a big part in reducing Flagstaff’s greenhouse gas emissions.

While electrification has promising benefits for residents, it is an emerging approach with technical complexity, up-front costs, and equity challenges. Fuel switching will require intentional policymaking and a planned transition for Flagstaff residents to gain access to the major benefits of electrification, including healthier indoor environments, reduced emissions, affordable clean energy, and energy efficiency. Equity must be a core focus of our building electrification work to ensure that the benefits of electrification can be accessed by a wide variety of community members, and that it is a solution

⁸ <https://magazine.northeast.aaa.com/daily/life/aaa/costs-more-than-ever-to-own-a-car/>

⁹ <https://www.aps.com/en/About/Our-Company/Doing-Business-with-Us/Resource-Planning>

to existing household difficulties —one that lowers bills, improves health, and makes homes more comfortable, as opposed to adding challenges for already-struggling families.

Electrification may impact economic development due to its intersection with housing challenges, particularly in the rental housing space. Today, 55% of Flagstaff residents are renters. Electrifying rental housing is challenging due to a split incentive issue: improvements to building energy use like energy efficiency and building electrification primarily produce benefits for the person paying the bills (usually the renter), while the cost of improvement falls to the building owner. This effect is exacerbated by Flagstaff's ongoing housing crisis, in which the demand for housing outstrips the supply, giving landlords little incentive to make clean energy investments. Renters may fear that an upgrade could cause their landlords to increase their rent, or convert the property to a short-term rental that could be more lucrative for the property owner. Currently, no regulatory or statutory protections ensure that Flagstaff renters who live in buildings that receive energy upgrades can remain in their homes with no or minimal increased rents after the upgrades are performed, leaving renters more vulnerable to housing instability. These potential impacts must be thoroughly considered when creating electrification policies and incentives, to avoid unintended consequences for Flagstaff's vulnerable community members.

Electrification has the potential to present upfront costs to residents and businesses. For new homes, electrification is a win-win: RMI, an environmental research group, recently conducted a multi-city analysis on building electrification costs, including of cities in cold climates. They found that *"in every city we analyzed, a new all-electric, single-family home is less expensive than a new mixed-fuel home that relies on gas for cooking, space heating, and water heating."*¹⁰

Retrofitting existing homes to all-electric is a more costly endeavor for individual homeowners, due to current price schemes and the fact that natural gas and propane produce negative externalities that are not accounted for in their price.¹¹ However, advancements in electric heating

¹⁰ RMI, *All Electric New Homes, a Win for the Climate and the Economy*: <https://rmi.org/all-electric-new-homes-a-win-for-the-climate-and-the-economy/>

¹¹ Electrified homes and buildings may have more price stability, too. Currently, fossil fuels are subsidized and are associated with large externalities, mainly from the negative effects of their

technologies, particularly through the use of heat pumps, mean that electrification does not necessarily result in higher costs. RMI has found that electrification of space and water heating can reduce costs over the lifetime of the appliances, for both new buildings and **some** retrofits.¹² Today, in Flagstaff, not all electrification projects will produce a return on investment. Some projects will produce a return on investment today, and should be done as soon as possible to help homeowners and building owners accrue the benefits of electrification as soon as possible. Other projects will become profitable in the near future, as advancements in electric space heating and water heating continue. Other projects will need financial incentives in order to move forward. The City will prioritize incentives in collaboration with local partners to make the cost of fuel switching competitive and even beneficial compared to remaining on fossil fuels. The City will work with its partners to help residents utilize the latest technology, analyze policies for their impact on affordability, and target incentives to ensure that electrification does not have detrimental effects for Flagstaff's low-income families.

When working to promote fuel switching, Flagstaff must carefully weigh the balance between climate action and affordability, with the understanding that both are critical to ensure true sustainability.

Visitation and outdoor recreation

Flagstaff's economy is intricately linked to outdoor recreation in the San Francisco Peaks, Grand Canyon, and surrounding national forests. Climate change threatens the health of these natural systems and, in turn, the health of Flagstaff's economy. This amendment supports preparation and reduction of these threats, which will help maintain Flagstaff's economy and quality of life. While achieving carbon neutrality by 2030 will take aggressive actions, making investments now will ensure Flagstaff is a thriving city well into the future.

POLICY ANALYSIS AND REVISIONS

This text amendment recommends a review of existing regulations, standards, and plans – codes, ordinances, etc., and then revisions to reduce

greenhouse gas emissions. Should a carbon price come into effect in the next decade, the artificial affordability of using on-site fossil fuels could be dramatically reduced or eliminated.

¹² <https://rmi.org/insight/the-economics-of-electrifying-buildings/>

greenhouse gas emissions. This policy was added as a complement to the current Regional Plan policy, E&C.3.2: Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce the community's vulnerability to climate change impacts. This existing policy speaks to a review and policy revisions focused on reducing vulnerability, or adaptation, one of the three core climate actions. The new policy, E&C.2.3, ensures that this review and potential revisions are undertaken with climate mitigation, or reducing emissions, as well as for adaptation. This new policy was written to be complementary and similar to the existing policy (E&C.3.2) so that implementation of this policy will be similar to current work to implement the regional plan.

Implementation of this policy will be done in two parts: first, an analysis of current plans, policies and codes, and then second, revisions to plans, policies and codes.

- (1) The analysis will be conducted to understand how the City's current plans and policies may contribute to, or work against, the reduction of community greenhouse gas emissions. This review will help the City understand how various plans, policies and codes may lead directly or indirectly to increased greenhouse gas emissions. As part of this analysis, the City will work to understand the impacts of existing plans, policies, and codes on greenhouse gas emissions, as well as, economic development, growth, and housing, due to their close relationship to our climate change impacts and challenges. This will increase the value of this review and illustrate where the City's many goals and priorities may create tensions or conflict, opening the door to a more productive conversation of how to balance priorities when revising City codes and processes. This process will result in a better understanding of the interactions among City policies/codes, and how potential revisions can better align the City's work.
- (2) Based on the results of the review, the City may revise select plans, policies, and codes so that they can better contribute to reducing greenhouse gas emissions. These revisions may have either positive or negative impacts on economic development, depending on the plan, policy or code in question. For example: City codes that require a minimum number of parking spaces in developments can contribute to increased driving, and increased greenhouse gas emissions. Code revisions that would eliminate or relax this minimum requirement, allowing the developer to determine the number of parking spaces to provide, can provide significant benefits for economic development, reduce housing costs, and can lead to reduced

driving and greenhouse gas emissions. On the other hand, code changes to increase the energy efficiency of buildings can bring higher up-front costs to the development process. While energy-efficiency investments have strong returns on investment, higher upfront costs could change how projects are financed and how investments are made, affecting economic development. Like the review process, any plan, policy or code revisions must consider any resulting impacts on economic development, growth and housing, to better align City priorities. Any changes to City plans, policies and codes will balance the original goals of the plan, policy or code with the City's goals for economic development, greenhouse gas emissions reductions, and housing.

III.7 Cultural Resource Study

Requirement waived by the Planning Director.

Carbon Neutrality Amendment to the Flagstaff Regional Plan 2030

Public Participation Report

Submitted September 24, 2021

Project:

Carbon Neutrality Amendment to the Flagstaff Regional Plan 2030
Development timeline: Proposed adoption in December 2021

Applicant:

City of Flagstaff
211 W. Aspen Avenue
Flagstaff, AZ 86001
928-213-2150

Project representative and preparer:

Jenny Niemann, Climate and Energy Specialist
City of Flagstaff Sustainability Section
211 W. Aspen Avenue
Flagstaff, AZ 86001
928-213-2150

This document summarizes the feedback received from the community during the 60-day review period.

The following outreach methods were utilized to solicit public feedback:

- Informational webpage
- Flagstaff Community Forum feedback form
- Community Open House
- Online information sessions
- Print advertisements
- Social media postings
- Direct outreach

The feedback received is detailed below.

I.1 Flagstaff Community Forum feedback form

Staff created a feedback form on the proposed Amendment, on the Flagstaff Community Forum portal. This feedback form was open from July 13, 2021 through September 13, 2021. The form was available to all members of the public.

On the forum site, staff provided links to the information webpage, dates and information for the Amendment Open House and information session events, and contact information for staff.

Five responses were provided through this feedback form. Those responses are below.

Note: the feedback form remains open, for members of the public to provide comments on the proposed amendment.

Comment #	Date	Comment	Response
1	8/24/2021 9:51	Commercial and residential buildings will have to convert to all electric at a significant level to meet CO2 reduction goals. The use of electric heat pumps instead of natural gas heat should be a large part of this effort. Is there a program planned to facilitate and encourage this? Thanks	There is a program planned to support commercial and residential buildings when converting to electric space- and water-heating. The City's strategies on this are outlined in the Building Fuel Switching target area of the Flagstaff Carbon Neutrality Plan. The City has recently published a website to assist homeowners with residential fuel switching, and is planning additional programming to support residents, businesses and contractors in this work.

2	9/8/2021 16:22	<p>Dear Community Shapers:</p> <p>I would ask several items when integrating the carbon neutrality amendment into the regional plan.</p> <p>First, could the plan please include incorporation of non wind and solar power for the power infrastructure. Inclusion of non-GHG emitting nuclear energy would provide resiliency when conditions are not favorable for wind and solar. Secondly, could the plan please include the disposal of wind and solar components as they cannot be recycled and should not be placed into the landfill with the hazardous materials they are constructed from. Thirdly, could the rare earth metals which batteries and solar panels are made be purchased using fair trade practices to avoid supporting and encouraging child and forced labor and horrific environmental practices of China, which mines most of the rare earth metals used to make solar panels. Lastly, the Sustainability Commission would benefit from having a climate realist on the commission to present a different point of view then all the other members.</p> <p>Please do your research and look at the data and make a truly more sustainable America.</p> <p>https://climaterealism.com/</p>	<p>The Regional Plan Amendment does not specify which clean or renewable energy technologies will be used to achieve our emissions reduction goals.</p> <p>Regarding the reliability and resilience of wind and solar: new utility-scale wind and solar plants are being installed with battery-storage systems, meaning that they can store the energy produced on-site for when it is most needed. This removes the concern about the reliability of wind and solar. The energy industry is transitioning to renewables (wind and solar) rapidly: Large solar plants with battery storage have decreased in price, making them price-competitive with natural gas. This trend is expected to continue as the market continues to innovate and the costs of solar and battery storage plants continue to fall.</p> <p>When new technologies emerge, there are often legitimate concerns that one bad thing (i.e., air pollution from coal) is just being replaced with another (i.e., waste from used solar panels). There are negative externalities associated with all forms of energy production. While we cannot avoid all negative impacts, we can choose the energy production methods that do the least harm to our environment and our community. The negative impacts of wind and solar are relatively modest, and are far outweighed by the positive impacts on air quality and reduced greenhouse gas emissions.</p> <p>Large renewable energy projects sometimes face concerns about where turbines or other equipment are disposed of after their useful life. There is much misinformation about wind turbine disposal, particularly. In fact, wind turbines are highly recyclable, as they are made of many valuable components. About 85% of wind turbine components are reusable or recyclable. Much of a solar panel is also recyclable; recycling practices for solar and wind are improving each year. Regardless, the total environmental impacts of solar and wind are far lower than other forms of energy production and involve far more recycling of components than coal, natural gas, and nuclear energy. The City will continue to consider short- and long-term impacts to</p>
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			<p>the environment and our community when developing renewable energy projects.</p> <p>In response to this comment, staff have changed the narrative section of the proposed page amendments to specify clean electricity, as opposed to renewable electricity, to provide clarity. Clean electricity is a term that signifies zero-emissions electricity, and includes renewable energy generation like solar and wind. Clean electricity is the name of the relevant target area in the Carbon Neutrality Plan, and so this change mirrors other changes in the narrative to match Carbon Neutrality Plan target area language.</p> <p>The website referenced - ClimateRealism.com - is a well-known climate-denial website that works to undermine the global consensus on climate change. It is backed by fossil-fuel companies and anonymous donors, and is not a reliable source for evidenced-based information on climate science and climate action.</p>
3	9/9/2021 15:09	I would like to comment on city staff's structuring of the carbon neutrality amendment. The language in the amendment is comprehensive in addressing the scientific, social, and policy needs of Flagstaff regarding climate change and what will be unfolding in the coming years. The State of Arizona heavily restricts what the City is capable of implementing so kudos for putting forth good directions for us to follow. Thank you for your hard work!	Response not required.
4	9/13/2021 11:58	The Carbon Neutrality Plan is dead on! I fully support the changes and proposals	Response not required.
5	9/13/2021 12:25	Happy to see the inclusion of the Carbon Neutrality Plan into the Regional Plan! The proposed language is clear and easy to understand. One issue that needs to be addressed in the Regional Plan Update is how the community wants to prioritize regional plan direction related to carbon neutrality when it is in conflict with other direction.	City staff believe the proposed amendment is compatible with the other goals and policies of the Flagstaff Regional Plan 2030. That said, the many goals of the Regional Plan must be balanced amongst each other. The proposed new goals in the Climate Change and Adaptation Section will need to be weighed against and balanced with the many other goals of the Regional Plan, from transportation to economic development goals. This prioritization takes place regularly, as staff, City Council, and other decision-makers weigh the many goals of the Regional Plan. The amended Climate Change and

		Adaptation section goals will be treated similarly to all other goals in the Plan: decision-makers will consider all goals of the Regional Plan and strive to balance these goals when making decisions about the future direction of Flagstaff.
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I.2 Emailed or written Comments:

Staff sent mailings and email notifications to local, state, and regional agencies, as well as lists of interested parties and residents on the Regional Plan notification list.

One comment was received via email.

Comment #	Date	Comment	Response
6	8/19/2021 4:28 PM	<p>From: Kate Morley <kmorley@naipta.az.gov> Sent: Thursday, August 19, 2021 4:28 PM To: Jenny Niemann <JNiemann@flagstaffaz.gov>; Heather Dalmolin <hdalmolin@naipta.az.gov> Subject: RE: Major Amendment to the Flagstaff Regional Plan - carbon neutrality</p> <p>Hi Jenny,</p> <p>Thanks again for allowing us to comment. We have several comments we would love to be considered to strengthen language around the role transit plays in achieving carbon neutrality.</p> <p>Policy E&C2.2: modify “promote” to “develop” or similar other word that commits to action.</p> <p>Policy T8.1: specifically identify transit as a component of “network” which could otherwise been seen more narrowly as streets.</p> <p>Policy T.8.2: reads as if there is no improvement to be made with work</p>	<p>The comment and suggestions provided are in line with the direction and intent of the Regional Plan Amendment. However, the request for revisions to specifically include transit call for a higher level of detail than the Regional Plan pages currently provide. The proposed revised pages communicate the broad goals of the City’s carbon neutrality work – achieving carbon neutrality, preparing for change, and acting equitably. The revised pages include supporting actions: reducing emissions from transportation and improving community connectivity are specifically mentioned actions that cover transit.</p> <p>The requested additional goal, to specifically designate the emissions reductions provided through transit and first last mile infrastructure, would introduce a level of detail not used in the amended Regional Plan pages. For renewable energy, for example, neither the original nor the revised pages suggest which types of renewable energy should be used (wind, solar, hydropower, etc.). The transportation actions follow this model.</p> <p>In response to this feedback, revisions will be made to clarify the actions to be taken. We will reference the seven target areas of carbon neutrality actions, as specified by the Flagstaff Carbon Neutrality Plan. This will introduce two areas that are actively related to transit: Decreasing Dependence on Cars and Electric Mobility.</p>

	<p>“maintain.” I suggest “modify” or something similar.</p> <p>Policy T.8.5: can often result in poor design for bike and ped infrastructure which is critical to Mountain Line riders. Consider “balancing” these needs.</p> <p>Most of all, we would love to a goal specifically around transit. I am not sure if it fits in the climate section or transportation section but something to the effect of:</p> <ul style="list-style-type: none"> • Support the reduction of transportation emissions through the prioritization of public transit and associated first last mile infrastructure, and through the implementation of Mountain Line services and Transit Guidelines. <p>Happy to discuss specifics and thanks again.</p> <p>Kate Morley, AICP Deputy General Manager Mountain Line</p>	<p>Regarding the suggested revision to Policy E&C2.2: the City utilizes the word ‘promote’ throughout the Regional Plan to designate areas that need further City support. Because the City is not always the actor, for example in development cases, words that connote more action or power on the City’s behalf are not appropriate in this context.</p> <p>Regarding the suggestion revision to Policy T8.1: the change to policy T8.1 was made to clarify the meaning of this policy, as there was confusion about the meaning of transportation connectivity. This revision, to specify network connectivity, is being made to clarify that this policy discusses the street network and the need for the efficient connections that are provided by a more grid-like network.</p> <p>Regarding the suggestion revision to Policy T.8.2: this suggested change is outside of the scope of the proposed amendment. This amendment focuses on the Climate Change and Adaptation section, with one change to transportation policies to remove confusion. The road and street classification system is somewhat related to climate action to reduce transportation emissions, but this policy is not incompatible with the proposed amendment. Staff do believe that the word maintain does imply continual work to actively sustained the desired state of the road and street classification system, and that improvements are possible and encouraged under this policy.</p> <p>Regarding the suggestion revision to Policy T.8.5: while this policy does elevate the importance of freight movement, it is to be implemented in balance with policy T.8.3, which is located in the same section. (T.8.3: Design neighborhood streets using appropriate traffic calming techniques and street widths to sustain quality of life while maintaining traffic safety.) Decision-makers need to weigh both policy T.8.5 (fright movement) and policy T.8.3 (traffic calming and street widths), to balance these two priorities. Staff believe that the existence of these two policies addresses the commenter’s concerns.</p>
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Planning & Zoning Commission

5. B.

Meeting Date: 10/27/2021

From: Tiffany Antol, Senior Planner

Information

TITLE:

PZ-21-00211: TIPPET HOH

A Conditional Use Permit request from the Tippet Family Trust, to allow a Single-Family High Occupancy Housing Development (HOHD) in the Single-Family Residential (R1) Zone at 2577 E Del Rae Drive (APN 105-19-039A) in the Pine Canyon master planned development. The proposal is to build a 12,786 square foot, 5-bedroom, 7-bathroom single family dwelling.

STAFF RECOMMENDED ACTION:

In accordance with the findings presented in this report, staff recommends approval of PZ-21-00211 with conditions

Attachments

Staff Report
Draft Conditional Use Permit
Draft Notice of Decision
Proposition 207 Waiver
Conditional Use Permit Application
Conditional Use Permit Narrative
Citizen Participation Report
Vicinity Map
Development Plans

PLANNING AND DEVELOPMENT SERVICES REPORT
CONDITIONAL USE PERMIT

PUBLIC HEARING
PZ-21-00211

DATE: **October 6, 2021**
MEETING DATE: **October 27, 2021**
REPORT BY: **Tiffany Antol, AICP**

REQUEST:

A Conditional Use Permit request from the Tippet Family Trust to allow a Single-Family High Occupancy Housing Development (HOHD) in the Single-Family Residential (R1) Zone at 2577 E Del Rae Drive (APN 105-19-039A) in the Pine Canyon master planned development. The proposal is to build a 12,786 square foot, 5-bedroom, 7-bathroom single family dwelling.

STAFF RECOMMENDATION:

In accordance with the findings presented in this report, staff recommends approval of PZ-21-00211 with conditions.

PRESENT LAND USE:

This location is currently an undeveloped parcel within a platted subdivision intended for single family dwellings.

PROPOSED LAND USE:

The applicant proposes to develop a single-family dwelling on the parcel.

NEIGHBORHOOD DEVELOPMENT:

North: Pine Canyon Golf Course, Single-Family Residential (R1) Zone
East: National Forest, Public Lands Forest (PLF) Zone
South: Residential, Single-Family Residential (R1) Zone
West: Residential, Single-Family Residential (R1) Zone

Introduction and Discussion:

Section 10-40.30.030.B of the Flagstaff Zoning Code, Residential Zones - Allowed Uses, identifies High Occupancy Housing Development, Single Family as an allowed land use in the Single-Family Residential (R1) Zone subject to the approval of a Conditional Use Permit (CUP) by the Planning Commission. Adopted on November 17, 2020, and effective on March 21, 2021, the High Occupancy Housing Development (HOHD) Zoning Code standards require that a Single-Family Dwelling which has 7 or more bedrooms, and/or 5 or more sanitation facilities, obtain a Conditional Use Permit before a building permit can be issued.

The applicant is proposing to build a 12,786 square foot, 5-bedroom, 7-bathroom single family dwelling on lot 192 of the Estates at Pine Canyon, Unit 2 Subdivision. The Pine Canyon master planned community is a low intensity Residential subdivision characterized by large lot sizes and estate style living, many of which would trigger the HOHD standards if they were built today. The subdivision is mostly developed, with the lots adjacent to the subject property developed with single-family homes. The entire subdivision is subject to Resource Protection standards, but it is not located in a Pedestrian Shed of an Activity Center as depicted in the Regional Plan.

Section 10-40.60.175 of the Flagstaff Zoning Code contains additional standards for HOH developments. This includes the requirement that the property owner shall maintain compliance with the Flagstaff Police Department's Crime Free Multi-Housing Program, unless exempted by the Police Department's representative. The structure is also required to be at least 10 feet or one third of the height of the building from any other structures on the parcel or on adjacent parcels. This results in a minimum separation of 10 feet, based on the proposed height of the building being 24 feet. There are also

additional parking requirements of a High Occupancy Housing Development, Single Family as discussed in Finding #3. A building permit for the single-family dwelling has been submitted and is currently under review. It is ready to be approved once the Conditional Use Permit is granted.

Required Findings

The Planning Commission may approve the Conditional Use Permit only after making the following three findings:

Finding #1

The conditional use is consistent with the objectives of the Zoning Code and the purpose of the Zone in which the site is located.

Finding #2

That granting of the conditional use will not be detrimental to the public health, safety, or welfare.

If the proposed Single-Family HOHD is developed in accordance with City codes, standards, and requirements, the use should not be detrimental to the public health, safety, or welfare.

Finding #3

The characteristics of the conditional use as proposed, and as it may be conditioned, are reasonably compatible with the types of uses permitted in the surrounding area. The Conditional Use Permit shall be issued only when the Planning Commission finds that the Applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area (Flagstaff Zoning Code Section 10-20.40.050.E.3):

- *Access, traffic, and pedestrian, bicycle and vehicular circulation;*
- *Adequacy of site and open space provisions, including resource protection standards, where applicable;*
- *Noise, light, visual and other pollutants;*
- *Proposed style and siting of structure(s), and relationship to the surrounding neighborhood;*
- *Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements;*
- *Impact on public utilities;*
- *Signage and outdoor lighting;*
- *Dedication and development of streets adjoining the property; and*
- *Impacts on historical, prehistoric or natural resources.*

Access and Traffic; Pedestrian, Bicycle and Vehicular Circulation

Access to the site is provided from E Del Rae Drive. The proposed use will have minimal impact on traffic circulation. A Traffic Impact Analysis is not required of a single private residence which would only see traffic from the home's occupants. Single family HOHD are required to provide 1 off-street parking space per bedroom. This development is proposing 5 bedrooms; thus 5 parking spaces are required which are easily accommodated in the 2.5 car garage, the 1-car garage and shop, and the large auto court.

Adequacy of Site/Open Space/Resource Provisions

A Resource Protection Plan was provided with the original subdivision plat. Each lot is allowed a maximum of 10,000 square feet of disturbed area except for the lots with specific building envelopes. The subject property has a specific building envelope which was amended to accommodate the proposed structure.

Noise, Light, Visual, and Other Pollutants

It is not anticipated that the proposed uses for the site will create any noise, visual, or other pollutants into the area. The site is well maintained.

Style and Siting of Structure(s), and Relationship to Surrounding Neighborhood

The architectural style, colors, and materials, along with the siting of the structure, are consistent with the adjoining existing residences and others within Pine Canyon.

Landscaping and Screening

No additional landscaping is required for this use.

Impact on Public Utilities

The site proposes to connect to existing city water and sewer services. No new off-site improvements are required to support this use.

Signage and Outdoor Lighting

All exterior lighting will be required to comply with the City of Flagstaff's strict outdoor lighting requirements which supports and maintains our designation as an International Dark Sky City. Section 10-50.70: Outdoor Lighting Standards of the Zoning Code allows single family residences to have up to 10,000 lumens of outdoor lighting (if using non-LED bulbs) or 6,993 lumens of outdoor lighting if all lighting is using LED bulbs. All outdoor lighting fixtures must be fully or partially shielded; no unshielded fixtures are allowed. Single family residential building permits do not require a separate Outdoor Lighting Permit.

Dedication and Development of Streets

No dedication or development of public streets is required.

Impacts on Resources

This site is not currently listed on any state or federal historic registry, nor does the site have any other historical significance. The site is located within the Resource Protection Overlay Zone; the proposed development fits within the development envelope of the Pine Canyon subdivision plat, which adequately address resource protection requirements.

Conditions of approval will only be imposed if they are necessary to ensure the intent and purpose of the Zoning Code are met; to ensure compatible and complementary development of the property; and to ensure the provision of appropriate off-site improvements will be fulfilled.

Finding #4

For the properties subject to Division 10-30.30, Heritage Preservation, the City's Historic Preservation Officer or the Heritage Preservation Commission has made a determination that the proposed HOHD or MHOHD had no adverse effect or has appropriately mitigated its effects on the historic cultural resource.

This property is not subject to Division 10-30.30; therefore, this criterion is not applicable.

Finding #5

Adequate transit service is available to the development Site containing four dwelling units or more. Adequate transit service from a Development Site to a permanent transit stop is:

- a. Less than or equal to 1,320 feet ; or*
- b. A distance greater than 1,320 feet when the Planning and Zoning Commission finds that the route to the permanent transit stop has adequate nighttime lighting and does not have a significant grade change, and the distance does not impede reasonable access to transit.*

The distance between the permanent transit stop to the Development Site shall be measured following a continuously improved sidewalk and/or public paved trail.

This proposed Conditional Use Permit is for an HOHD, Single Family; as such, this criterion is not applicable.

Citizen Participation:

The applicant notified property owners within 300 feet of the subject site of this application via mail in lieu of holding a virtual or in-person neighborhood meeting. As of the date of this report, staff has not received any comments from the public.

Recommendation:

In accordance with the findings presented in this report, Staff recommends that the request for the CUP be granted by the Planning Commission with the requirements included in Conditional Use Permit No. PZ-21-00211 and as follows:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application.
2. The property owner shall maintain compliance with the Flagstaff Police Department's Crime Free Multi-Housing Program, unless exempted by the Police Department's representative.

Attachments:

- Draft Conditional Use Permit PZ-21-00211
- Draft Notice of Decision
- Draft Prop 207 Waiver
- Conditional Use Permit Application
 - Narrative
 - Citizen Participation Plan
 - Vicinity Map
 - Architectural Site Plan
 - Building Floor Plans
 - Elevations

**COCONINO COUNTY, ARIZONA RECORDER
CONDITIONAL USE PERMIT
FROM GRANTOR: CITY OF FLAGSTAFF
COCONINO COUNTY, ARIZONA
OFFICE OF PLANNING AND ZONING
TO GRANTEE: MIRAMONTE PRESIDIO LLC**

Permit No. PZ-21-00211
November 7, 2021

Permission is hereby granted to Tippet Family Trust to establish a High Occupancy Housing Development, Single-Family use pursuant to Section 10-40.30.030.B of the *Flagstaff Zoning Code*. The High Occupancy Housing Development, Single-Family consists of 12,786 square feet with 5 bedrooms and 7 bathrooms on approximately 1.32 acres located at 2577 E Del Rae Drive in the Single-Family Residential (R1) Zone, and legally described as Coconino County Assessor parcel number 105-19-039A in the city of Flagstaff, Arizona.

After a public hearing held on October 27, 2021, the Planning and Zoning Commission voted to grant this Conditional Use Permit subject to the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application.
2. The property owner shall maintain compliance with the Flagstaff Police Department's Crime Free Multi-Housing Program, unless exempted by the Police Department's representative.

Furthermore, this permit is issued on the express condition that the use permitted herein shall conform in all relevant respects to the ordinances of the City of Flagstaff and the laws of the State of Arizona.

Any and all conditions endorsed on this permit are subject to periodic review by the City of Flagstaff's Planning Director. Following review, the Planning and Zoning Commission shall be notified when the conditions of operation imposed in the approval and issuance of this permit have not been or are not being complied with.

The Planning and Zoning Commission shall consider the matter of revocation and set the permit for public hearing. If the Planning and Zoning Commission finds, following the public hearing, that the conditions imposed in the issuance of this permit are not being complied with, this permit may be revoked and further operation of the use for which this permit was approved shall constitute a violation of the Zoning Code.

This Conditional Use Permit shall become null and void one (1) year from the effective date of November 7, 2021, unless the following shall have occurred:

1. A building permit has been issued and construction begun and diligently pursued; or
2. The approved use has been established; or
3. An extension has been granted by the Planning and Zoning Commission. Such extension shall be for a maximum of one hundred eighty (180) days and no extension may be granted which would extend the validity of the permit more than eighteen (18) months beyond the date of approval of the permit.
4. Property Owner shall sign Consent to Conditions/Waiver for Diminution of Value form as a condition of issuance of the Conditional Use Permit by the City.
5. Development of the use shall not be carried out until the applicant has secured all other permits and approvals required by the Zoning Code, the City, or applicable regional, State, and federal agencies.

This document ___ does modify, or X does not modify the provisions of a previous Conditional Use Permit recorded in docket _____, Office of the Coconino County, Arizona, Recorder.

Planning Director, City of Flagstaff

By: _____
Applicant (if other than the property owner)

STATE OF ARIZONA)
) ss
County of _____)

Before me, the undersigned Notary Public, personally appeared _____ who executed the foregoing document for the purposes contained therein.

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2021.

Notary Public

My Commission expires: _____

By: _____
Property Owner

STATE OF ARIZONA)
) ss
County of _____)

Before me, the undersigned Notary Public, personally appeared _____ who
executed the foregoing document for the purposes contained therein.

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2021.

Notary Public

My Commission expires: _____



City of Flagstaff

October 28, 2021

Ms. Lindsay Schube
Gammage & Burnham, PLC
40 N Central Avenue, 20th Floor
Phoenix, AZ 85004

RE: **NOTICE OF DECISION** – Conditional Use Permit No. PZ-21-00211

Dear Ms. Schube:

The Planning Commission, in accordance with Section 10-20.40.050 of the Flagstaff Zoning Code, has considered the request of the Tippet Family Trust for a Conditional Use Permit on the property at 2577 E Del Rae Drive (APN 105-19-039A) in the Residential Single-Family (R1) Zoning District for a High Occupancy Housing Development, Single-Family as provided in Table 10-40.30.030.B of the City of Flagstaff Zoning Code.

The Planning Commission held a public hearing on October 27, 2021, in regard to this Conditional Use Permit. The Commission found and determined that, based on the information provided in the staff report dated October 6, 2021, and at the public hearing, the facts exist as required by Section 10-20.40.050.F of the Zoning Code to justify granting the Conditional Use Permit.

Based upon the aforementioned findings, the Commission approved a Conditional Use Permit by a vote of (VOTE) for the use and location described above subject to the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application.
2. The property owner shall maintain compliance with the Flagstaff Police Department's Crime Free Multi-Housing Program, unless exempted by the Police Department's representative.

The above condition(s) is deemed by the Commission to be required to assure that the requested use will be compatible with neighboring uses and the growth and development of the area.

This action becomes final and effective ten (10) calendar days after the posting of this Notice of Decision on November 7, 2021, unless during these ten (10) days a written appeal to the City Clerk is filed or the City Council elects to review the application. Either appeal or City Council review shall stay the Conditional Use Permit until the City Council holds the required public hearing to consider the request.

Should you have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely,

Tiffany Antol, AICP, Senior Planner
City of Flagstaff, Current Planning Section
P. 928-213-2605 F. 928-213-2089
tantol@flagstaffaz.gov

cc: Planning Director, City Clerk, City Council

When recorded, mail to:
City Clerk
City of Flagstaff
211 W. Aspen Avenue
Flagstaff, Arizona 86001

CONSENT TO CONDITIONS/WAIVER FOR DIMINUTION OF VALUE

The undersigned is the owner of certain real property legally described as Coconino County Assessor parcel number 105-19-039A in the City of Flagstaff, Arizona that is the subject of Conditional Use Permit Application No. PZ-21-00211. By signing this document, the undersigned agrees and consents to all of the conditions imposed by the City of Flagstaff in conjunction with the approval of Conditional Use Permit No. PZ-21-00211 and waives and fully releases any and all claims and causes of action that the owner may have, now or in the future, for any "diminution in value" and for any "just compensation" under the Private Property Rights Protection Act, Arizona Revised Statutes § 12-1131, et seq., that may now or in the future exist as a result of the approval of Conditional Use Permit No. PZ-21-00211. Within ten (10) days after the execution of this Consent to Conditions/Waiver for Diminution of Value by the undersigned, the City Clerk shall cause this document to be recorded in the official records of Coconino County, Arizona.

Dated this _____ day of _____, 2021

PROPERTY OWNER:

Print Name

Sign Name

State of Arizona)
) ss
County of _____)

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2021, by:

Notary Public

My commission expires: _____



City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618

Date Received	Application for Conditional Use		File Number
Property Owner(s) Tippett Family Trust DTD 12-21-12			Phone
Mailing Address c/o Gammage & Burnham, PLC - 40 N Central Ave, 20th Fl		City, State, Zip Phoenix, AZ 85004	Email lschube@gblaw.com
Applicant(s) Lindsay C. Schube			Phone (602) 256-4471
Mailing Address Gammage & Burnham, PLC - 40 N Central Avenue, 20th Fl		City, State, Zip Phoenix, AZ 85004	Email lschube@gblaw.com
Project Representative Same as Applicant			Phone
Mailing Address		City, State, Zip	Email

Project Name 2577 E. Del Rae Drive Single-Family Residential CUP				
Site Address 2577 E. Del Rae Drive		Parcel Number(s) 105-19-039-A	Subdivision, Tract & Lot Number Estates at Pine Canyon, Unit 2, Lot 192	
Zoning District R1		Regional Plan Land Use Category Existing Suburban	Flood Zone Zone X	
Property Information:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing City of Flagstaff Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are pre-World War II housing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Subject property is undeveloped land?			
Surrounding Uses (Res, Com, Ind)	North Golf	South Residential	East National Forest	West Residential
Note: Conditional Use Permits are reviewed by City's Planning and Zoning Commission (P&Z), which meets the second and fourth Wednesday of every month . Applications are due by the close of business no fewer than 30 days prior to the meeting. You must provide a complete application form, along with the required number of plans and information as indicated in the attached checklist. Incomplete submittals will not be scheduled.				
Property Owner Signature 		Date 8/19/21	Applicant Signature 	Date 8.26.17
For City Use				
Date Filed	File Number:			
Hearing Date	Pub. / Posting Date(s):		Prop. Owner Notif. Date:	
Fee Receipt Number	Amount		Date	
Action by Planning and Zoning Commission:				
Hearing Date:		Type of Request:		
<input type="checkbox"/> Approved		<input type="checkbox"/> CUP		
<input type="checkbox"/> Denied		<input type="checkbox"/> Extension		
<input type="checkbox"/> Continued				
Staff Assignments	Planning	Engineering	Fire	Public Works/Water
				Stormwater

2577 East Del Rae Drive

Conditional Use Permit—Narrative

August 26, 2021

Introduction

The Tippet Family Trust (“Applicant”) is submitting a Conditional Use Permit application for the approximate 1.32 net acres of property located at 2577 East Del Rae Drive (Lot 192), also known as Coconino County Assessor Parcel Number 105-19-039A (“Property”). The Property is located within the Pine Canyon master-planned residential and golf community and is zoned R-1 Single-Family Residential (R-1)—Resource Protection Overlay.

The Applicant is proposing to construct a new single-family residence on the Property. The residence is planned to include 5-bedrooms and 7-bathrooms, which under the Zoning Code is considered High Occupancy Housing. In accordance with the Section 10-40.60.175 of the Zoning Code, the Applicant is requesting a Conditional Use Permit to allow for the proposed residence.



2577 East Del Rae Drive

Conditional Use Permit—Narrative

August 26, 2021

Context

The Property is located near the southwest corner of the Pine Canyon master plan. Adjoining properties include the golf course to the north, Coconino County National Forest to the east, and existing single-family residences to the south and west. The Property is located at the end of a cul-de-sac. The adjoining golf course and existing single-family residences are all zoned R-1, consistent with the zoning on the subject Property.

History of High Occupancy Housing

Following the adoption of the 2011 changes to the Zoning Code to promote mixed-use development, interest among the development community grew. Developers were specifically interested in high-density apartments for Northern Arizona University students. In order to address community backlash related to this new off-campus student housing, the City began evaluating its planning policies and Zoning Code.

In February 2018, the City Council adopted the citywide High Occupancy Housing Specific Plan (“HOH Plan”), a specific plan to the Regional Plan. **The HOH Plan was specifically developed in response to the community’s dialogue about previously proposed high-density, high-intensity, mid-rise developments near historic neighborhoods intended for student-rent.** Such development included in the HOH Plan analysis were The Hub, The Standard, Village at Aspen Place, and Fremont Station, amongst others. The HOH Plan identified various strategies that could be implemented to address the unintended impacts of these high-density, high-intensity, mid-rise buildings on neighborhood character and compatibility.

Then, in October 2019, after the adoption of the HOH Plan, City Staff received direction from the City Council to address smaller developments that may also be considered HOH. The smaller HOH developments that City Staff was directed to consider were single-family residences, duplexes, triplexes, and other multi-family residences that were not addressed in the HOH Plan.

Following this, the City Council directed City Staff to implement the HOH Plan, which included preparing a Zoning Code Text Amendment (“TA”). In general, the TA included various HOH regulatory provisions related to definitions, land uses, property development and use specific standards, and parking standards. Finally, on November 17, 2020, the City Council adopted the TA in the form of the High Occupancy Housing Ordinance (“HOH Ordinance”) (Ord. No. 2020-28; Resolution No. 2020-59). The HOH Ordinance went into effect on March 1, 2021.

2577 East Del Rae Drive

Conditional Use Permit—Narrative

August 26, 2021

Conditional Use Permit Request

The HOH Ordinance established various new land use categories within Table 10-40.30.030.B of the Zoning Code, including “High Occupancy Housing Development, Single Family.” The Zoning Code defines this as, “A single-family attached or detached dwelling unit with: (i) seven or more bedrooms; or (ii) five or more sanitation facilities.” In accordance with the aforementioned Table, a Conditional Use Permit is required within the R-1 zoning district, in order to construct a single-family residence with seven or more bedrooms or five or more bathrooms. As stated above, the Applicant’s proposed residence includes 7 bathrooms, thus requiring approval of a Conditional Use Permit.

Importantly, the City’s intent in requiring a Conditional Use Permit for a single-family residence is to regulate “mega mansions” in and around the Northern Arizona University campus where the property owner rents to students by the room. In this particular case, requiring the Applicant to obtain a Conditional Use Permit for the proposed residence is an unintended consequence of the HOH Ordinance. If that were, in fact, the intent of the HOH Ordinance, practically every residence within Pine Canyon would have to obtain a Conditional Use Permit—that is not the intent of the HOH Plan and Ordinance. Again, the HOH Plan and Ordinance are intended to regulate high-density apartments and “mega mansions” for student-rent—**not residences like the one proposed by the Applicant.**

Conditional Use Permit Approval Criteria

In accordance with Section 10-20.40.050.E, the Planning & Zoning Commission may approve the Conditional Use Permit upon making the following findings:

1. That the conditional use is consistent with the objectives of the Zoning Code and the purpose of the zone in which the site is located.

Response: *As stated in the Zoning Code, “The R-1 zoning district applies to areas of the City intended for single-family residential development.” The proposed single-family residence is consistent with the objectives of the Zoning Code and the purpose of the R-1 zoning district in every respect.*

2. That granting the conditional use will not be detrimental to the public health, safety, or welfare. The factors to be considered in making this finding include:
 - a. Property damage or nuisance arising from noise, smoke, odor, dust, vibration, or illumination;
 - b. Hazard to persons or property from possible explosion, contamination, fire or flood; and

2577 East Del Rae Drive
Conditional Use Permit—Narrative

August 26, 2021

- c. Impact on surrounding areas arising from unusual volume or character of traffic.

Response: *The immediately adjoining residences and others in Pine Canyon have: (a) not caused property damage or contributed to noise, smoke, odor, dust, vibration, or illumination; (b) proven not to be hazardous to persons or property from possible explosion, contamination, fire or flood; and (c) not caused an impact on surrounding areas from an unusual volume or character of traffic.*

The proposed residence and use are identical to the immediately adjoining residences and others in Pine Canyon. Accordingly, the proposed residence will also not be detrimental to the public health, safety, or welfare.

3. That the characteristics of the conditional use as proposed and as it may be conditioned are reasonably compatible with the types of uses permitted in the surrounding area. The conditional use permit shall be issued only when the Planning & Zoning Commission finds that the applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area:

- a. Access, traffic, and pedestrian, bicycle and vehicular circulation;

Response: *The proposed Site Plan provides for a 16-foot wide trail easement connecting pedestrians and bicyclists from Del Rae Drive to the golf course and beyond to the Coconino County National Forest. The proposed residence requires no changes to the existing access and vehicular circulation currently serving the other residences in Pine Canyon. Additionally, the development of one residence will not cause any measurable contribution in traffic.*

- b. Adequacy of site and open space provisions, including resource protection standards, where applicable;

Response: *The proposed residence complies with all applicable Resource Protection Overlay standards, including providing excess undisturbed area on the Property.*

- c. Noise, light, visual, and other pollutants;

Response: *Identical to the other residences in Pine Canyon, the proposed residence will not emit noise, light, visual, or other pollutants.*

- d. Proposed style and siting of structure, and relationship to the surrounding neighborhood;

Response: *The architectural style, colors, and materials, along with the siting of the structure, are consistent with the adjoining existing residences and others within Pine Canyon.*

2577 East Del Rae Drive
Conditional Use Permit—Narrative

August 26, 2021

- e. Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements;

Response: *The proposed residence complies with all applicable landscaping and screening requirements.*

- f. Impact on public utilities;

Response: *The proposed residence has no impact on public utilities.*

- g. Signage and outdoor lighting;

Response: *The proposed residence complies with all applicable lighting requirements. No signage is proposed.*

- h. Dedication and development of streets adjoining the property; and

Response: *The proposed residence does not require dedication and/or development of the street, Del Rae Drive, adjoining the Property.*

- i. Impacts on historical, prehistoric, or natural resources.

Response: *The proposed residence complies with all applicable natural resources standards, and has no historical or prehistoric impacts.*

* * *

The additional approval criteria in Section 10-40.60.175.E of the Zoning Code are not applicable.

* * *

In accordance with Section 10-30.60.050 of the Zoning Code, the following basic design elements shall be considered when assessing compatibility of a new development project which is subject to approval of a Conditional Use Permit:

1. *Patterns of Development.* Patterns of development include characteristics such as the streetscape, site relationships, signage, and landscape features.

Response: *The streetscape of the Property will include the nature and character of the existing streetscape along Del Rae Drive and other streets within Pine Canyon. The proposed residence has been sited, setback, and separated from adjoining residences similar to that along Del Rae Drive and other residences within Pine Canyon.*

2577 East Del Rae Drive
Conditional Use Permit—Narrative

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2. *Scale.* Scale refers to similar or harmonious proportions, especially overall height and width, but also includes the visual intensity of the development, the building massing, and the shapes and sizes of the various design elements.

Response: *The height and width, proportions, and building massing are consistent and compatible with adjoining residences along Del Rae Drive and other residences within Pine Canyon. The scale and architecture has been designed so that the proposed residence does not dominate the existing residences along Del Rae Drive.*

3. *Continuity.* Continuity encompasses patters of development and scale, but also characteristics such as site development, building forms, textures, materials, details, and colors.

Response: *The proposed architecture includes building forms, textures, materials, details, and colors are compatible with the character of the immediately joining residences, Del Rae Drive, and other residence within Pine Canyon.*

* * *

2577 East Del Rae Drive

Conditional Use Permit—Citizen Participation Plan *October 12, 2021*

Introduction

The Tippet Family Trust (“Applicant”) submitted a Conditional Use Permit application (“Application”) for the approximate 1.32 net acres of property located at 2577 East Del Rae Drive (Lot 192), also known as Coconino County Assessor Parcel Number 105-19-039A (“Property”). The Property is located within the Pine Canyon master-planned residential and golf community and is zoned R-1 Single-Family Residential (R-1).

The Applicant is proposing to construct a new single-family residence on the Property. The residence is planned to include 5-bedrooms and 7-bathrooms, which under the Zoning Code is considered High Occupancy Housing. In accordance with the Section 10-40.60.175 of the Zoning Code, the Applicant has requested a Conditional Use Permit to allow for the proposed residence.

This Citizen Participation Report submitted to the City of Flagstaff in accordance with Section 10-20.30.060.F of the Zoning Code, documenting any correspondence, telephone calls, meetings, etc. with Affected Parties (defined below) or other interested citizens; and affidavits/certification of the Notice of Application Mailing, Public Hearing Mailing Notification, and Public Hearing Site Posting Notification.

Neighborhood Meeting

As agreed upon by City Staff, the Applicant was not required to conduct a neighborhood meeting. In lieu, the Applicant provided public notice as outlined below.

Notice of Application

Notice of Application Mailing. On September 15, 2021, the Applicant mailed a Notice of Application letter via first class mail to: (1) each real property owner within 300-feet of the Property, as shown on the last assessment of the Property; (2) property owners’ associations and homeowners’ associations within 300-feet of the Property; and (3) individuals, groups, etc. on the City’s “Registry of Persons and Groups,” as provided by the City (collectively, “Affected Parties”). See *Notice of Application Mailing* at Tab A.

The Notice of Application letter set forth the purpose and substance of the Application, and provided contact information for the City Planner assigned to the Application, and the Applicant’s representative.

2577 East Del Rae Drive

Conditional Use Permit—Citizen Participation Plan *October 12, 2021*

Notice of Public Hearing

Public Hearing Mailing Notification. On October 11, 2021, the Applicant mailed a Notice of Public Hearing letter via first class mail to Affected Parties. See *Public Hearing Mailing Notification* at Tab B.

The Public Hearing Mailing Notification letter setting forth the purpose and substance of the Application, and provided contact information for the City Planner assigned to the Application, and the Applicant's representative.

Public Hearing Site Posting Notification. On October 12, 2021, the Applicant installed one sign along the Property's Del Rae Drive frontage setting forth the purpose and substance of the Application, with an attached information tube containing copies of the Public Hearing Mailing Notification letter. See *Public Hearing Site Posting Notification* at Tab C.

Opportunities for Input

Affected Parties were given the opportunity to call or email the Applicant's representative, Lindsay C. Schube of Gammage & Burnham, PLC, at (602) 256-4471 or lschube@gbllaw.com for more information.

Record of Proceedings

In response to the Notice of Application Mailing, Ms. Schube received a telephone call from Mr. David Zimmerman, the adjoining resident to the southeast located at 2551 East Del Rae Drive.

Mr. Zimmerman had questions regarding building height and side yard setbacks. Ms. Schube explained that the Applicant's proposed residence is consistent with the building height, setbacks, and scale of Mr. Zimmerman's residence, along with numerous other residences within Pine Canyon. Both Mr. Zimmerman's and the Applicant's lots are zoned the same—R-1. Ms. Schube further explained that the City determined that the Applicant's proposed residence complies with all building height and side yard setback requirements.

The Applicant has received no other correspondence, telephone calls, and/or emails from the public.

Tab A

MAILING NOTIFICATION LIST - PZ-21-00211					
PROPERTY OWNERS WITHIN 300-FEET					
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP	
TLC PC GOLF LLC	8601 N SCOTTSDALE RD STE 335	SCOTTSDALE	AZ	85253	
BURESH JEFFREY & ROYCE	2582 E DEL RAE DR	FLAGSTAFF	AZ	86005	
TIPPETT FAMILY TRUST DTD 12-21-12	19860 N 97TH ST	SCOTTSDALE	AZ	85255	
HERIAUD FAMILY TRUST DTD 04-28-91	6049 E JANAN DR	SCOTTSDALE	AZ	85254	
BASDEN FAMILY TRUST DTD 04-01-08	6168 E OWLS NEST PL	TUCSON	AZ	85750	
PC VILLAGE ASSOCIATION INC	PO BOX 10000	PRESCOTT	AZ	86304	
ZIMMERMAN DAVID & JEANNE S	2551 E DEL RAE DR	FLAGSTAFF	AZ	86005	
TND LEE TRUST DTD 2-17-18	22491 IVY RIDGE	MISSION VIEJO	CA	92692	
NORTON MELANIE MARIE TRUST DTD 09-13-84	4543 E DESERT COVE AVE	PHOENIX	AZ	85028	
DEMORE LIVING TRUST DTD 01-05-12	8711 E PINNACLE PEAK RD NO 304	SCOTTSDALE	AZ	85255	
BURTON FAMILY TRUST DTD 12-21-01	2482 BENCH REEF PL	HENDERSON	NV	89052	
PROPERTY OWNERS' AND HOMEOWNERS' ASSOCIATIONS WITHIN 300-FEET					
ASSOCIATION	MAILING ADDRESS	CITY	STATE	ZIP	EMAIL
PC VILLAGE ASSOCIATION INC	PO BOX 10000	PRESCOTT	AZ	86304	NO EMAIL ADDRESS PROVIDED.
PINE CANYON HOMEOWNERS ASSOCIATION C/O HOAMCO ATTN: MELANIE LASHLEE	NO MAILING ADDRESS PROVIDED.				MLASHLEE@HOAMCO.COM
CITY-REGISTERED PERSONS OF INTEREST					
ORGANIZATION / CONTACT	MAILING ADDRESS	CITY	STATE	ZIP	EMAIL
FRIENDS OF FLAGSTAFF'S FUTURE	PO BOX 23462	FLAGSTAFF	AZ	86002	INFO@FRIENDSOFFLAGSTAFF.ORG
NAT WHITE	1120 N ROCKRIDGE RD	FLAGSTAFF	AZ	86001	WHITE@LOWELL.EDU
FRIENDS OF FLAGSTAFF'S FUTURE ATTN: MICHELE A. JAMES	PO BOX 23462	FLAGSTAFF	AZ	86002	NOT PROVIDED.
CHARLIE SILVER	720 W ASPEN AVE	FLAGSTAFF	AZ	86001	CWS720@GMAIL.COM
NORTHERN ARIZONA BUILDING ASSOCIATION	1500 E CEDAR AVE, STE 86	FLAGSTAFF	AZ	86004	TBOCIUNG@NAZBA.ORG
BETSY MCKELLAR	330 S ASH LN	FLAGSTAFF	AZ	86004	BIRDVEST8@GMAIL.COM
DAVID CARPENTER	495 S RIVER RUN, STE 100	FLAGSTAFF	AZ	86001	DC@HOPEAZ.COM
NORTHERN ARIZONA ASSOCIATION OF REALTORS ATTN: JEFFREY HERD	1515 E CEDAR AVE, STE C-4	FLAGSTAFF	AZ	86004	NAARFLAG@NAZREALTOR.COM NAARGOVAFFAIRS@OUTLOOK.COM
ARIZONA ARMY NATIONAL GUARD, AZAA-FMO ATTN: DORENDA COLEMAN	5636 E MCDOWELL RD, M5330	PHOENIX	AZ	85008	DORENDA.J.COLEMAN.NFG@MAIL.MIL
TISH BOGAN-OZMUN	5271 MT. PLEASANT DR	FLAGSTAFF	AZ	86004	TISHFLAGSTAFF@GMAIL.COM
US NAVY, INTERGOVERNMENTAL BRANCH ATTN: MARY BETH DREUSIKE	850 PACIFIC HWY, BUILDING 1 5TH FL, STE 513	SAN DIEGO	CA	92132	MARYBETH.DREUSIKE@NAVY.MIL
MARILYN WEISSMAN	1055 E APPLE WAY	FLAGSTAFF	AZ	86001	MISSYMOET@AOL.COM
CELIA BAROTZ	3354 N CREST ST	FLAGSTAFF	AZ	86001	CBAROTZ@GMAIL.COM
COAST AND MOUNTAIN PROPERTIES ATTN: MAURY HERMAN	3 N LEROUX ST	FLAGSTAFF	AZ	86001	MHERMAN@COASTANDMOUNTAIN.COM
NORM WALLEN	3716 N GRANDVIEW	FLAGSTAFF	AZ	86004	NORMWALLENFLG@GMAIL.COM
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JAY CHRISTELMAN	2500 N FORT VALLEY RD, BLDG 1	FLAGSTAFF	AZ	86001-1287	JCHRISTELMAN@COCONINO.AZ.GOV
TYLER DENHAM	800 W FOREST MEADOWS ST, APT 119	FLAGSTAFF	AZ	86001	TYLER.B.DENHAM@GMAIL.COM
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JESS MCNEELY	2500 N FORT VALLEY RD, BLDG 1	FLAGSTAFF	AZ	86001-1287	WMCNEELY@COCONINO.AZ.GOV
FLAGSTAFF LODGING, RESTAURANT, & TOURISM ASSN ATTN: STEVE FINCH	PO BOX 30622	FLAGSTAFF	AZ	86003	SFINCH@FLRTA.ORG
ADRIAN SKABELUND	819 W GRAND CANYON AVE	FLAGSTAFF	AZ	86001	ASKABELUND@AZDAILY.SUN.COM
RACHEL BASS	3083 W EASTERDAY LN	FLAGSTAFF	AZ	86001	RSILVERTON@GMAIL.COM
OTHER INTERESTED PARTIES					
ORGANIZATION / CONTACT	MAILING ADDRESS	CITY	STATE	ZIP	EMAIL
CITY OF FLAGSTAFF COMMUNITY DEVELOPMENT DEPT. ATTN: CHRIS ROBINSON	211 W ASPEN AVE	FLAGSTAFF	AZ	86001	CHRIS.ROBINSON@FLAGSTAFFAZ.GOV
GAMMAGE & BURNHAM, PLC ATTN: NICHOLAS A. SOBRASKE	40 N CENTRAL AVE, 20TH FL	PHOENIX	AZ	85004	NSOBRASKE@GBLAW.COM

GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW

40 NORTH CENTRAL AVENUE

20TH FLOOR

PHOENIX, ARIZONA 85004

TELEPHONE (602) 256-0566
FACSIMILE (602) 256-4475

Lindsay C. Schube
lschube@gblaw.com

WRITER'S DIRECT LINE
(602) 256-4471

September 15, 2021

Dear Neighbor or Interested Party,

On behalf of the Tippet Family Trust ("Applicant"), the purpose of this letter to inform you we have submitted Conditional Use Permit application no. PZ-21-00211 ("Application") with the City of Flagstaff ("City") for the approximate 1.3 acres of property located at 2577 East Del Rae Drive ("Property"). See enclosed Aerial Map. The Property is located within the Pine Canyon master-planned residential and golf community and is zoned R-1—RPO (Single-Family Residential R-1—Resource Protection Overlay).

The Applicant is proposing to construct a new family home on the Property. See enclosed Site Plan. Earlier this year, the City adopted the High Occupancy Housing Ordinance ("HOH Ordinance") which depending on the number of bedrooms and/or bathrooms, can require approval of a Conditional Use Permit for a single-family residence. This home will be consistent in size, scale, and function with other homes in Pine Canyon.

This letter is intended to ensure that citizens and property owners have an adequate opportunity to learn about the application and obtain additional information at this state of the process. Conditional Use Permits generally include a neighborhood meeting; however, the City has approved this letter as alternative notification to facilitate communication between the applicant's representative and potentially affected property owners. Any questions or comments can be directed to me at **(602) 256-4471, lschube@gblaw.com, or 40 North Central Avenue, 20th Floor, Phoenix, Arizona 85004**. Please contact me with any questions or comments you may have no later than Wednesday, September 29, 2021 so that they may be included in the public participation report for the Application.

You are receiving this notice because property listed in your name is located within 300-feet of the Property, you are the contact for a property owners' or homeowners' association within 300-feet of the Property, or you are listed on the City's Registry of Persons and Groups. This is not a notice of public hearing with the Planning & Zoning Commission. However, the Planning & Zoning Commission will conduct a public hearing for and take action on the CUP at a later date. You may receive such notice in the future when the Application is scheduled for public hearing.

The City Planner assigned to this case is Mr. Chris Robinson. Mr. Robinson can be reached at (928) 213-2608 or Chris.Robinson@flagstaffaz.gov; he can answer your questions regarding the status of the Application and provide information regarding the City's review and hearing processes.

Sincerely,

GAMMAGE & BURNHAM, P.L.C.



By

Lindsay C. Schube

LCS/nas
Enclosures

AERIAL MAP

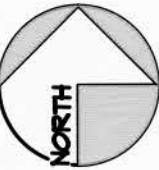


2577 East Del Rae Drive



ADJACENT PROPERTY OWNERS		
LOT	OWNER	DISTANCE FROM PROPERTY
191	ZIMMERMAN DAVID & JEANNE S	78'-1 1/2"
192	TIPPETT FAMILY	-
193	BURESH JEFFERY & ROYCE	86'-3 3/4"
194	HERIAUD FAMILY	166'-4 3/4"

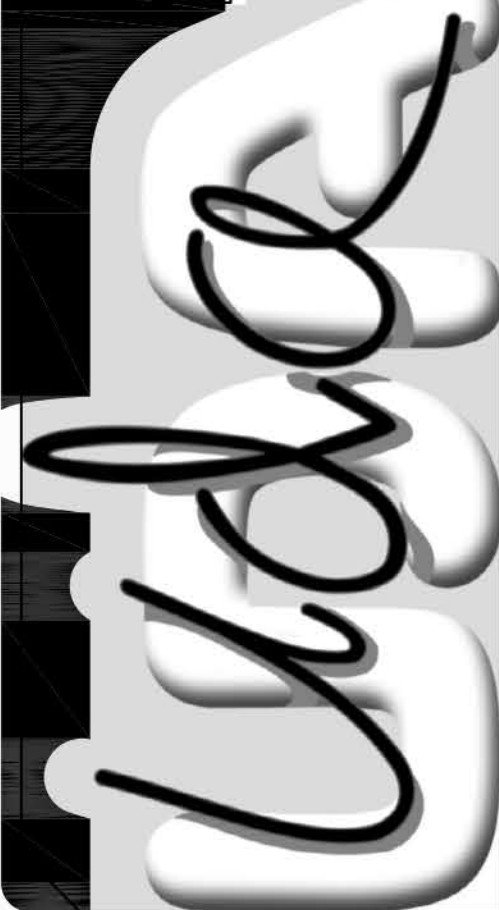
VICINITY AREA MAP
SCALE: 1" = 30'-0"



ARCHITECTURAL SITE PLAN

SHEET
S-1

A CUSTOM RESIDENCE PREPARED FOR
MR. & MRS. TIPPETT
AT
LOT 192, PINE CANYON



URBAN DESIGN architecture
ASSOCIATES LTD. AIA 480-905-1212
8150 N. 86TH. PLACE SCOTTSDALE, ARIZONA 85258

DWG BY:	LG/ALS	DATE:	6/1/2021
REVISIONS:		DR FINAL RESUBMITTAL	

ALL IDEAS, DESIGNS AND TYPES OF CONSTRUCTION SHOWN ON THESE DWGS ARE THE PROPERTY OF THE ARCHITECT AND WERE PREPARED BY HIM OR HER FOR THE PROJECT ONLY. ANY REUSE, ALTERATIONS, ADDITIONS OR DELETIONS OF ANY PART OF THESE DWGS ON THIS PROJECT OR ANY OTHER PROJECT SHALL BE AT THE USER'S RISK WITHOUT LIABILITY TO URBAN DESIGN ASSOCIATES LTD. IN THE EVENT OF A CONFLICT BETWEEN THESE DWGS AND ELECT. CODES, THE DWGS SHALL GOVERN.

PRELIMINARY ONLY
NOT FOR
CONSTRUCTION

Jessica Hutchison-Rough, AIA

Tab B

Affidavit of Notifications to Affected Property Owners

Case Number: PZ-21-00211

Project Name: 2577 E. Del Rae Drive Single-Family Residential CUP

Applicant Name: Tippett Family Trust

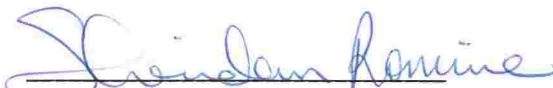
Location: 2577 East Del Rae Drive

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the **applicant** for public hearings in the City of Flagstaff shall notify affected property owners as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to establish a list of the names and addresses of persons who require notification of a public hearing as established in sections 10-20.30.60.(A).3, 10-20.30.60.(B), and 10-20.30.60.(C) of the Zoning Code, and mail a notice of required public hearing via first class mail to each of the persons on the list referenced above no later than 15 days prior to the public hearing date. It shall also be the responsibility of the applicant to submit a notarized copy of the mailing list to the Director prior to the fifteenth day before the public hearing date.**

I confirm that the public hearing notifications were mailed as detailed in Section 10-20.30.080 of the City of Flagstaff Zoning Code at least fifteen (15) days prior to the public hearing.

Applicant's/Representative's Signature: 

SUBSCRIBED AND SWORN before me this 14th day of October, 2021 by: Elizabeth Brundige


Notary Public



SHERIDAN ROMINE
Notary Public - Arizona
Maricopa Co. / #566111
Expires 05/31/2023

My Commission Expires:

5/31/2023

MAILING NOTIFICATION LIST - PZ-21-00211					
PROPERTY OWNERS WITHIN 300-FEET					
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP	
TLC PC GOLF LLC	8601 N SCOTTSDALE RD STE 335	SCOTTSDALE	AZ	85253	
BURESH JEFFREY & ROYCE	2582 E DEL RAE DR	FLAGSTAFF	AZ	86005	
TIPPETT FAMILY TRUST DTD 12-21-12	19860 N 97TH ST	SCOTTSDALE	AZ	85255	
HERIAUD FAMILY TRUST DTD 04-28-91	6049 E JANAN DR	SCOTTSDALE	AZ	85254	
BASDEN FAMILY TRUST DTD 04-01-08	6168 E OWLS NEST PL	TUCSON	AZ	85750	
PC VILLAGE ASSOCIATION INC	PO BOX 10000	PRESCOTT	AZ	86304	
ZIMMERMAN DAVID & JEANNE S	2551 E DEL RAE DR	FLAGSTAFF	AZ	86005	
TND LEE TRUST DTD 2-17-18	22491 IVY RIDGE	MISSION VIEJO	CA	92692	
NORTON MELANIE MARIE TRUST DTD 09-13-84	4543 E DESERT COVE AVE	PHOENIX	AZ	85028	
DEMORE LIVING TRUST DTD 01-05-12	8711 E PINNACLE PEAK RD NO 304	SCOTTSDALE	AZ	85255	
BURTON FAMILY TRUST DTD 12-21-01	2482 BENCH REEF PL	HENDERSON	NV	89052	
PROPERTY OWNERS' AND HOMEOWNERS' ASSOCIATIONS WITHIN 300-FEET					
ASSOCIATION	MAILING ADDRESS	CITY	STATE	ZIP	EMAIL
PC VILLAGE ASSOCIATION INC	PO BOX 10000	PRESCOTT	AZ	86304	NO EMAIL ADDRESS PROVIDED.
PINE CANYON HOMEOWNERS ASSOCIATION C/O HOAMCO ATTN: MELANIE LASHLEE	NO MAILING ADDRESS PROVIDED.				MLASHLEE@HOAMCO.COM
CITY-REGISTERED PERSONS OF INTEREST					
ORGANIZATION / CONTACT	MAILING ADDRESS	CITY	STATE	ZIP	EMAIL
FRIENDS OF FLAGSTAFF'S FUTURE	PO BOX 23462	FLAGSTAFF	AZ	86002	INFO@FRIENDSOFFLAGSTAFF.ORG
NAT WHITE	1120 N ROCKRIDGE RD	FLAGSTAFF	AZ	86001	WHITE@LOWELL.EDU
FRIENDS OF FLAGSTAFF'S FUTURE ATTN: MICHELE A. JAMES	PO BOX 23462	FLAGSTAFF	AZ	86002	NOT PROVIDED.
CHARLIE SILVER	720 W ASPEN AVE	FLAGSTAFF	AZ	86001	CWS720@GMAIL.COM
NORTHERN ARIZONA BUILDING ASSOCIATION	1500 E CEDAR AVE, STE 86	FLAGSTAFF	AZ	86004	TBOCIUNG@NAZBA.ORG
BETSY MCKELLAR	330 S ASH LN	FLAGSTAFF	AZ	86004	BIRDVEST8@GMAIL.COM
DAVID CARPENTER	495 S RIVER RUN, STE 100	FLAGSTAFF	AZ	86001	DC@HOPEAZ.COM
NORTHERN ARIZONA ASSOCIATION OF REALTORS ATTN: JEFFREY HERD	1515 E CEDAR AVE, STE C-4	FLAGSTAFF	AZ	86004	NAARFLAG@NAZREALTOR.COM NAARGOVAFFAIRS@OUTLOOK.COM
ARIZONA ARMY NATIONAL GUARD, AZAA-FMO ATTN: DORENDA COLEMAN	5636 E MCDOWELL RD, M5330	PHOENIX	AZ	85008	DORENDA.J.COLEMAN.NFG@MAIL.MIL
TISH BOGAN-OZMUN	5271 MT. PLEASANT DR	FLAGSTAFF	AZ	86004	TISHFLAGSTAFF@GMAIL.COM
US NAVY, INTERGOVERNMENTAL BRANCH ATTN: MARY BETH DREUSIKE	850 PACIFIC HWY, BUILDING 1 5TH FL, STE 513	SAN DIEGO	CA	92132	MARYBETH.DREUSIKE@NAVY.MIL
MARILYN WEISSMAN	1055 E APPLE WAY	FLAGSTAFF	AZ	86001	MISSYMOET@AOL.COM
CELIA BAROTZ	3354 N CREST ST	FLAGSTAFF	AZ	86001	CBAROTZ@GMAIL.COM
COAST AND MOUNTAIN PROPERTIES ATTN: MAURY HERMAN	3 N LEROUX ST	FLAGSTAFF	AZ	86001	MHERMAN@COASTANDMOUNTAIN.COM
NORM WALLEN	3716 N GRANDVIEW	FLAGSTAFF	AZ	86004	NORMWALLENFLG@GMAIL.COM
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JAY CHRISTELMAN	2500 N FORT VALLEY RD, BLDG 1	FLAGSTAFF	AZ	86001-1287	JCHRISTELMAN@COCONINO.AZ.GOV
TYLER DENHAM	800 W FOREST MEADOWS ST, APT 119	FLAGSTAFF	AZ	86001	TYLER.B.DENHAM@GMAIL.COM
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JESS MCNEELY	2500 N FORT VALLEY RD, BLDG 1	FLAGSTAFF	AZ	86001-1287	WMCNEELY@COCONINO.AZ.GOV
FLAGSTAFF LODGING, RESTAURANT, & TOURISM ASSN ATTN: STEVE FINCH	PO BOX 30622	FLAGSTAFF	AZ	86003	SFINCH@FLRTA.ORG
ADRIAN SKABELUND	819 W GRAND CANYON AVE	FLAGSTAFF	AZ	86001	ASKABELUND@AZDAILY.SUN.COM
RACHEL BASS	3083 W EASTERDAY LN	FLAGSTAFF	AZ	86001	RSILVERTON@GMAIL.COM
OTHER INTERESTED PARTIES					
ORGANIZATION / CONTACT	MAILING ADDRESS	CITY	STATE	ZIP	EMAIL
CITY OF FLAGSTAFF COMMUNITY DEVELOPMENT DEPT. ATTN: TIFFANY ANTOL	211 W ASPEN AVE	FLAGSTAFF	AZ	86001	TANTOL@FLAGSTAFFAZ.GOV
GAMMAGE & BURNHAM, PLC ATTN: NICHOLAS A. SOBRASKE	40 N CENTRAL AVE, 20TH FL	PHOENIX	AZ	85004	NSOBRASKE@GBLAW.COM

GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW

40 NORTH CENTRAL AVENUE

20TH FLOOR

PHOENIX, ARIZONA 85004

TELEPHONE (602) 256-0566
FACSIMILE (602) 256-4475

Lindsay C. Schube
lschube@gblaw.com

WRITER'S DIRECT LINE
(602) 256-4471

October 11, 2021

Dear Neighbor or Interested Party,

On behalf of the Tippet Family Trust ("Applicant"), the purpose of this letter to inform you that Conditional Use Permit application no. PZ-21-00211 ("Application") with the City of Flagstaff ("City") for the approximate 1.3 acres of property located at 2577 East Del Rae Drive ("Property") has been scheduled for public hearing before the Planning & Zoning Commission. See enclosed Aerial Map. The Property is located within the Pine Canyon master-planned residential and golf community and is zoned R-1—RPO (Single-Family Residential R-1—Resource Protection Overlay).

The Applicant is proposing to construct a new family home on the Property. See enclosed Site Plan. Earlier this year, the City adopted the High Occupancy Housing Ordinance ("HOH Ordinance"), which, depending on the number of bedrooms and/or bathrooms, can require approval of a Conditional Use Permit for a single-family residence. This home will be consistent in size, scale, and function with other homes in Pine Canyon.

The City Planning & Zoning Commission hearing details are as follows:

Wednesday, October 27, 2021 at 4:00 PM

Meeting to be held virtually.

Please visit <https://www.flagstaff.az.gov/2845/Planning-Zoning-Commission> for instructions on how to participate in this virtual meeting. Interested persons or authorized agents may participate and be heard.

Due to the COVID-19 pandemic, all in-person City Planning & Zoning Commission meetings have been suspended until further notice. Please confirm the meeting details by calling the City's Planning & Development Services Section at (928) 213-2611, as they are subject to change.

The City Planning & Zoning Commission will conduct a public hearing for and take action on the Application. The City Planner assigned to this case is Ms. Tiffany Antol. Ms. Antol can be reached at (928) 213-2605 or TAntol@flagstaffaz.gov. Ms. Antol can answer your questions regarding the City's review and hearing processes. You can also contact Ms. Antol to arrange review of the Application or to make written comment.

Should you have any questions, please do not hesitate to contact me at (602) 256-4471 or lschube@gblaw.com. Thank you.

Sincerely,

GAMMAGE & BURNHAM, P.L.C.



By

Lindsay C. Schube

LCS/nas
Enclosure

AERIAL MAP

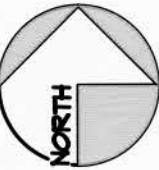


2577 East Del Rae Drive



ADJACENT PROPERTY OWNERS		
LOT	OWNER	DISTANCE FROM PROPERTY
191	ZIMMERMAN DAVID & JEANNE S	78'-1 1/2"
192	TIPPETT FAMILY	-
193	BURESH JEFFERY & ROYCE	86'-3 3/4"
194	HERIAUD FAMILY	166'-4 3/4"

VICINITY AREA MAP
SCALE: 1" = 30'-0"



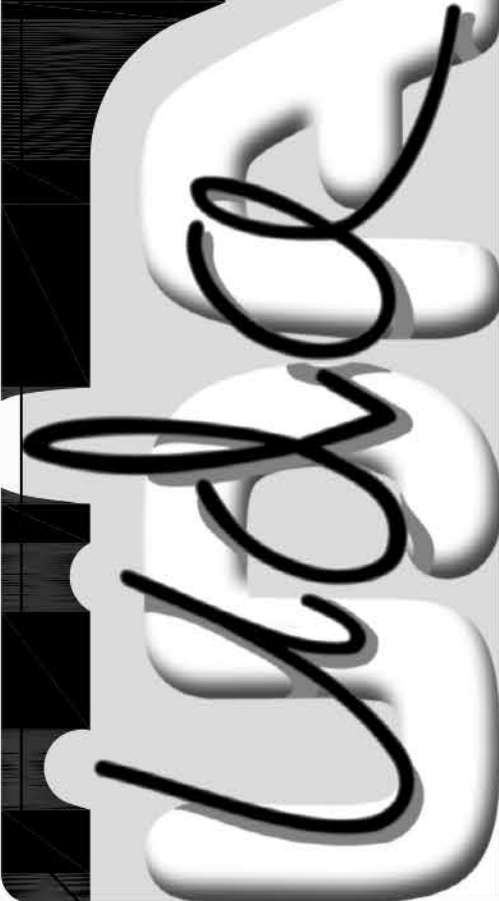
ARCHITECTURAL SITE PLAN

SHEET
S-1

OF
3

JOB NO.
020.09.1A

A CUSTOM RESIDENCE PREPARED FOR
MR. & MRS. TIPPETT
AT
LOT 192, PINE CANYON



URBAN DESIGN architecture
ASSOCIATES LTD. AIA 480-905-1212
8150 N. 86TH. PLACE SCOTTSDALE, ARIZONA 85258

DWG BY: LG/ALS
DATE: 6/1/2021
REVISIONS:
DR FINAL RESUBMITTAL

ALL IDEAS, DESIGNS AND TYPES OF CONSTRUCTION SHOWN ON THESE DWGS ARE THE PROPERTY OF URBAN DESIGN ASSOCIATES LTD. NO REUSE, ALTERATIONS, ADDITIONS OR DELETIONS SHALL BE MADE BY ANY OTHER PERSON OR FIRM WITHOUT THE WRITTEN CONSENT OF URBAN DESIGN ASSOCIATES LTD. IN THE EVENT OF A CONFLICT BETWEEN THESE DWGS AND ELECT. CODES, THESE DWGS SHALL GOVERN.

PRELIMINARY ONLY
NOT FOR
CONSTRUCTION

Jessica Hutchison-Rough, AIA

Tab C

Affidavit of Sign Posting

Case Number: PZ-21-00211

Project Name: 2577 E. Del Rae Drive Single-Family Residential CUP

Applicant Name: Tippett Family Trust

Location: 2577 East Del Rae Drive

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the **applicant** for public hearings in the City of Flagstaff shall post signs as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to erect and to maintain the sign on the subject property 15 days prior to the hearing and to update the hearing information on the sign until final disposition of the case. It shall also be the responsibility of the applicant to remove the sign within seven (7) days after the final disposition of the case.**

I confirm that the site has been posted as detailed in Section 10-20.30.080 of the Zoning Code as well as the Public Hearing Notice Sign Specifications included in this application for the case above and the site was posted at least fifteen (15) days prior to the public hearing.

See attached date stamped photo exhibit of posted signs.

Applicant's/Representative's Signature: [Signature]

SUBSCRIBED AND SWORN before me this 14th day of October, 2021 by: Elizabeth Brundige

[Signature]
Notary Public



SHERIDAN ROMINE
Notary Public - Arizona
Maricopa Co. / #566111
Expires 05/31/2023

My Commission Expires:

5/31/2023

CITY OF FLAGSTAFF

PUBLIC HEARING FOR CONDITIONAL USE PERMIT PZ-21-00211 PLANNING & ZONING COMMISSION

Tippett Family Trust is requesting a Conditional Use Permit for +/- 1.3 acres located at 2577 East Del Rae Drive to allow for a new single-family residence (High Occupancy Housing Development, Single-Family) within the R-1—RPO zoning district (Single-Family Residential—Resource Protection Overlay).

To arrange to review the application file or make written comment
contact: TAntol@flagstaffaz.gov.

When:

October 27th, 2021, 4:00PM

When:

Due to the COVID-19 pandemic, all Planning and Zoning Commission meetings are currently being held virtually. For instruction on the virtual meetings visit the following link:

<https://www.flagstaffaz.gov/2845/Planning-Zoning-Commission>

Interested persons or authorized agents may participate and be heard.

Representative
Contact:

Lindsay C. Schube, Gammage & Burnham PLC
(602) 256-4471 or lschube@gbllaw.com

City Contact:

Tiffany Antol
(928) 213-2605 or TAntol@flagstaffaz.gov

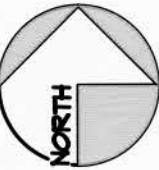
Planning & Development Services Department (928) 213-2600
Site Posting: October 12th, 2021

Oct 12, 2021 10:08:37 AM
2585 East del Rae Drive
Flagstaff
Coconino County
Arizona



ADJACENT PROPERTY OWNERS		
LOT	OWNER	DISTANCE FROM PROPERTY
191	ZIMMERMAN DAVID & JEANNE S	78'-1 1/2"
192	TIPPETT FAMILY	-
193	BURESH JEFFERY & ROYCE	86'-3 3/4"
194	HERIAUD FAMILY	166'-4 3/4"

VICINITY AREA MAP
SCALE: 1" = 30'-0"



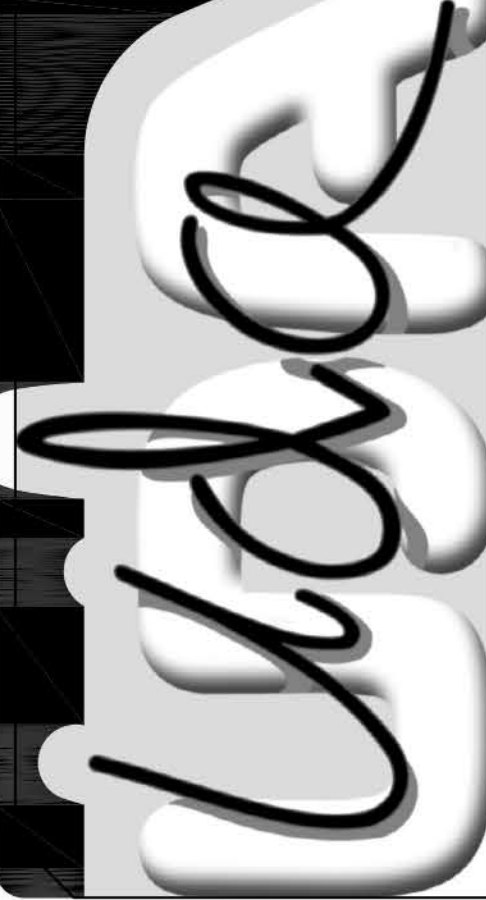
ARCHITECTURAL SITE PLAN

SHEET
S-1

OF
3

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LOT 192, PINE CANYON



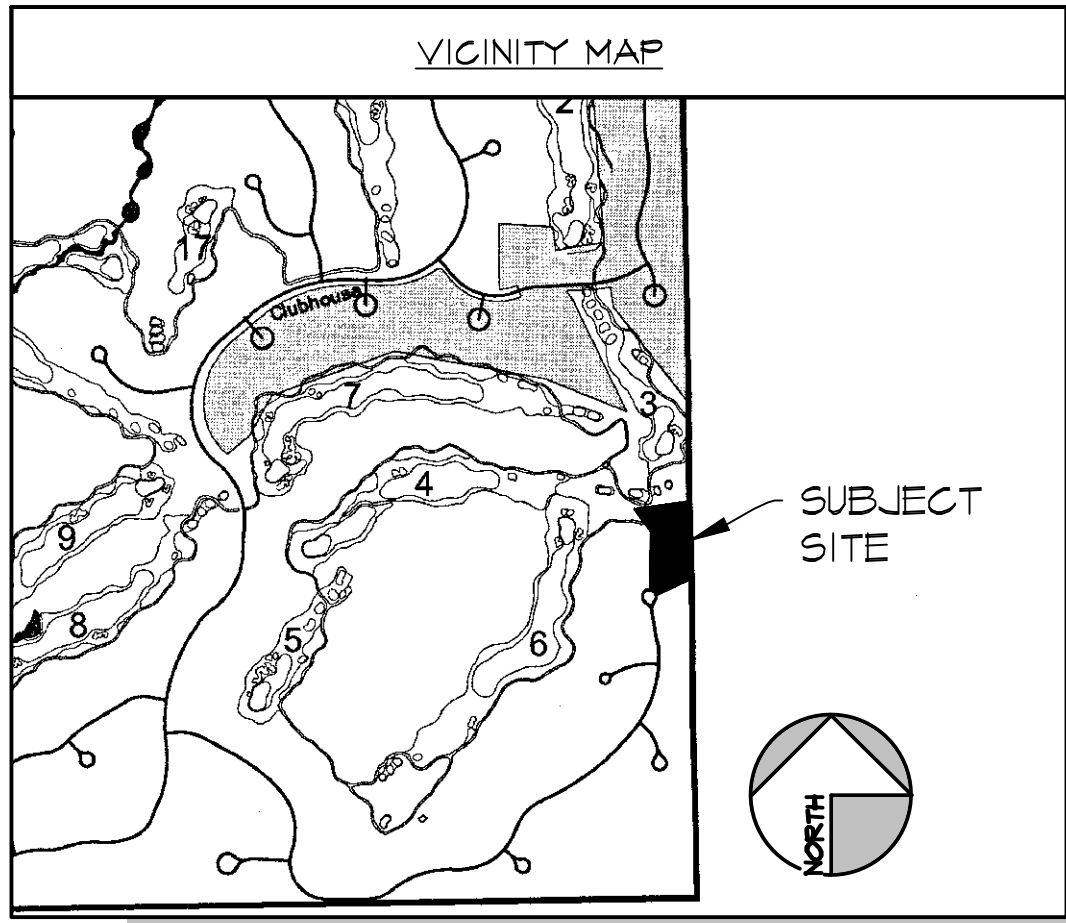
URBAN DESIGN architecture
ASSOCIATES LTD. AIA 480-905-1212
8150 N. 86TH. PLACE SCOTTSDALE, ARIZONA 85258

DWG BY: LG/ALS
DATE: 6/1/2021
REVISIONS:
DR FINAL RESUBMITTAL

ALL IDEAS, DESIGNS AND TYPES OF CONSTRUCTION SHOWN ON THESE DWGS ARE THE PROPERTY OF URBAN DESIGN ASSOCIATES LTD. AND ARE NOT TO BE REUSED, ALTERED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF URBAN DESIGN ASSOCIATES LTD. ANY VIOLATION OF THESE TERMS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO URBAN DESIGN ASSOCIATES LTD. IN THE EVENT OF A CONFLICT BETWEEN THESE DWGS AND ANY OTHER DWGS, THESE DWGS SHALL GOVERN.

PRELIMINARY ONLY
NOT FOR
CONSTRUCTION

Jessica Hutchison-Rough, AIA

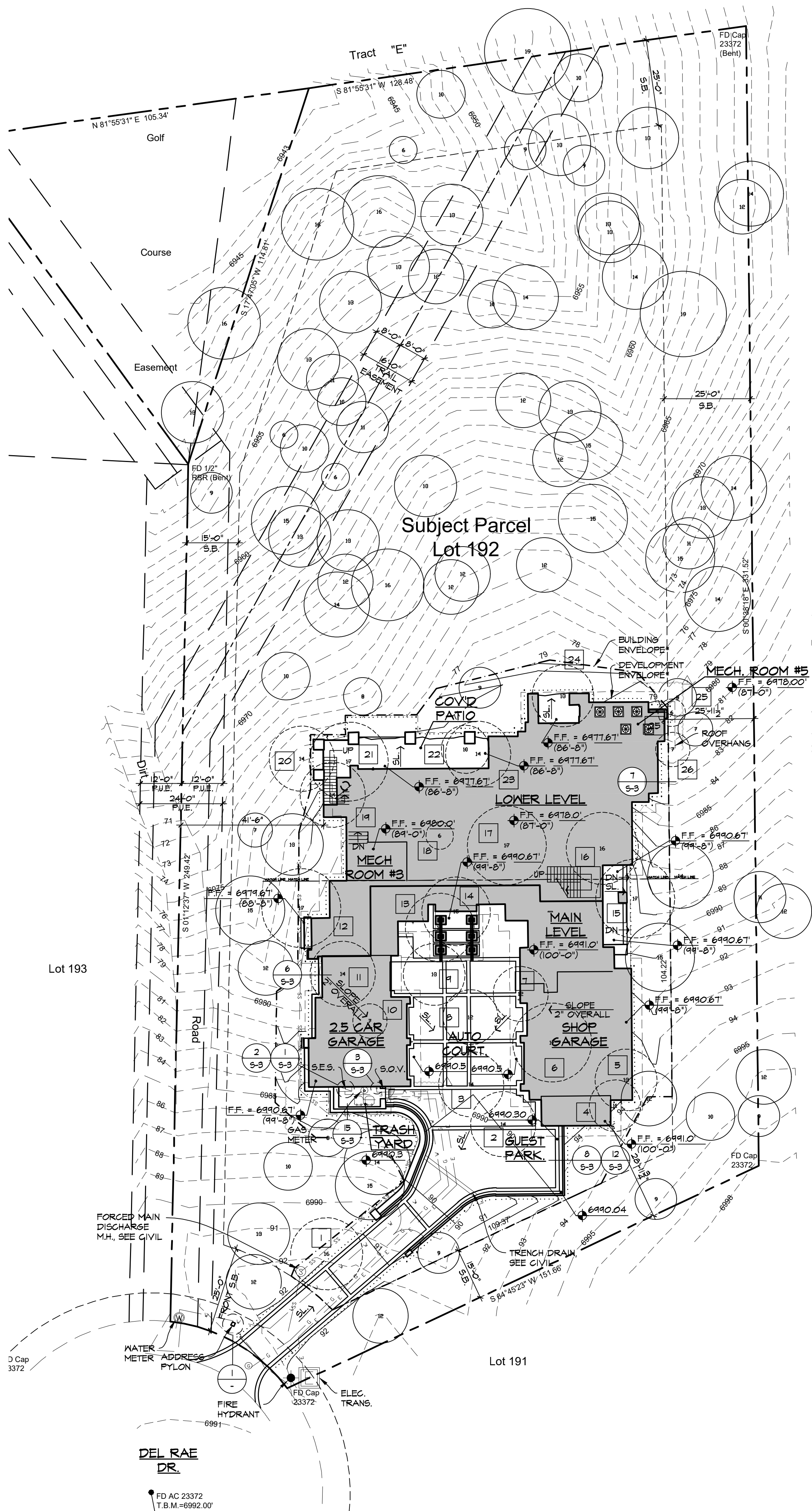


DISTURBED AREA	
SITE AREA	51,931 SQ. FT.
PROPOSED DISTURBED AREA	13,000 SQ. FT. (DEVELOPMENT ENVELOPE)

TREES TO BE REMOVED			
NO.	DBH	DRIP LINE DIAMETER	DRIP LINE AREA
1	12"	16'	201 s.f.
2	10"	14'	154 s.f.
3	10"	14'	154 s.f.
4	8"	11'	95 s.f.
5	4"	13'	132 s.f.
6	12"	17'	226 s.f.
7	4"	12'	113 s.f.
8	4"	12'	113 s.f.
9	4"	13'	132 s.f.
10	3"	7'	38 s.f.
11	10"	14'	154 s.f.
12	13"	17'	226 s.f.
13	12"	15'	171 s.f.
14	12"	15'	171 s.f.
15	13"	17'	226 s.f.
16	12"	16'	201 s.f.
17	13"	17'	226 s.f.
18	3"	6'	28 s.f.
19	10"	14'	154 s.f.
20	13"	14'	154 s.f.
21	10"	17'	226 s.f.
22	6"	10'	78 s.f.
23	10"	14'	154 s.f.
24	4"	13'	132 s.f.
25	3"	6'	28 s.f.
26	3"	7'	38 s.f.
PROPOSED TREE CANOPY DISTURBANCE:			4182 S.F.

IMPERVIOUS SURFACES AREA	
AREA	S.F.
ROOF AREA:	10,091 S.F.
DRIVEWAY AND PARKING AREA:	3,350 S.F.
SIDEWALKS AND DECK/PATIO/PRIVATE LANDSCAPE AREA:	418 S.F.
BUILDING AREA (NOT COVERED BY ROOF):	24 S.F.
TOTAL AREA:	13,824 S.F.

- NOTES:
- ALL MASONRY SCREEN WALLS NOT RETAINING EARTH SHALL HAVE #4 BARS AT 48" O.C. IN SOLID GROUTED CELLS.
 - EXPOSED EXTERIOR CONCRETE SLABS TO HAVE INTEGRAL COLORING. SEE SPEC.
 - MISCELLANEOUS SITE STRUCTURES, GAS STORAGE TANKS, SWIMMING POOLS, SPAS, FENCES AND SITE WALLS (INCLUDING RETAINING WALLS) REQUIRE SEPARATE PERMITS.
 - PROVIDE 3" DIA. PVC DRAINAGE SLEEVES UNDER ALL WALKS, DRIVES, PATIOS ETC. THAT ISOLATE THE DRAINAGE OF LANDSCAPED AREA TO ANOTHER.
 - PROVIDE 4" X 4" OPENINGS IN SOLID PERIMETER FENCING FOR DRAINAGE. IF EXTERIOR GRADE IS MORE THAN 12" BELOW INTERIOR GRADE, PROVIDE A CATCH BASIN WITH MIN. 4" PVC PIPE DOWN AND OUT AT LOWER GRADE. IF EXTERIOR GRADE IS HIGHER THAN INTERIOR GRADE, PROVIDE CATCH BASIN AND MIN. 4" DIA. PVC PIPE TO DAYLIGHT.
 - PIPE ALL CONDENSATE DRAINS TO LANDSCAPED AREAS OR DRAIN TAILPIECE, PROVIDE RIVER ROCK SPLASH AT ALL GUTTER DOWNSPOUT OUTLETS WHERE POTENTIAL SOIL EROSION MAY OCCUR.
 - DO NOT TOP OUT SITE WALLS UNTIL AFTER SLABS ARE IN PLACE AND OWNERS APPROVAL IS OBTAINED.
 - VERIFY IN FIELD ALL EXISTING CONDITIONS SHOWN ON DRAWINGS, INCLUDING BUT NOT LIMITED TO NATIVE PLANTS, UTILITY TAPS, INVERT ELEVATIONS, PAVEMENT CURBS, ROCK OUT CROPPINGS, AND WASHES.
 - ALL INDICATED UTILITY AND STUB-UP LOCATIONS ARE FOR REFERENCE ONLY; EXACT LOCATIONS SHALL BE VERIFIED IN THE FIELD, PRIOR TO CONSTRUCTION.



- FIRE DEPARTMENT REQUIREMENTS:
- FIRE SPRINKLERS SHALL BE MOD-13D
 - MAXIMUM 10% GRADE AT DRIVEWAY
 - MAXIMUM 110' TO FACE OF GARAGE FROM STREET
 - NUMERICAL PREMISE I.D. MUST BE LEGIBLE FROM STREET OR DRIVE

NOTE:

NO DRAINAGE OR RUNOFF SHALL BE DIVERTED TO ADJACENT PROPERTIES.

- PINE CANYON REQUIREMENTS
- VERIFY LOCATION OF UTILITY TRENCHES TO PRESERVE TREES
 - NO DRAINAGE RUNOFF WILL BE DIVERTED TO ADJACENT PROPERTY
 - PROVIDE BACKFLOW PREVENTING DEVICE ON SEWER SYSTEM

NOTE:

ALL EXTERIOR LIGHTING WILL COMPLY WITH CITY OF FLAGSTAFF AND PINE CANYON STANDARDS, AND SHALL BE DOWNWARD-FACING, SHIELDED BELOW THE HORIZON, NO LAMPS, (BULBS), SHALL BE VISIBLE FROM ANY OTHER PROPERTY. SEE HARDSCAPE PLAN

LEGEND

---	6400	EXISTING CONTOUR LINE
---	6400	NEW CONTOUR LINE
12		EXISTING TREE TO REMAIN
12		EXISTING TREE TO BE REMOVED
E		NEW UTILITY SERVICE - POWER
W		NEW UTILITY SERVICE - WATER
S		NEW UTILITY SERVICE - SEWER
G		NEW UTILITY SERVICE - GAS
SL		DRAINAGE DIRECTION
---		PROPERTY LINE
---		EASEMENT
---		BUILDING SETBACK LINE
---		BUILDING ENVELOPE
---		DEVELOPMENT ENVELOPE
---		ROOF OVERHANG

BUILDING AREA			
	LIVABLE	COVERED PATIO/DECK	GARAGE/ STORAGE
MAIN FLOOR	4,355 S.F.	1,413 S.F.	2,418 S.F.
LOWER FLOOR	2,322 S.F.	634 S.F.	1,634 S.F.
TOTAL	6,677 S.F.	2,052 S.F.	4,052 S.F.

DISTURBED AREA	
BUILDING ENVELOPE	13,000 S.F.
DEVELOPMENT ENVELOPE	SEE CIVIL
LIMITS OF GRADING	SEE CIVIL

NOTE:

- PINE CANYON DEVELOPMENT ENVELOPE
- CITY OF FLAGSTAFF, AZ BUILDING ENVELOPE

PROJECT DATA:

OWNER: MR. & MRS. TIPPETT
10782 E. RIM ROCK DR.
SCOTTSDALE, AZ 85258

ARCHITECT: JESSICA HUTCHISON-ROUGH
URBAN DESIGN ASSOCIATES
8150 N. 86TH PLACE
SCOTTSDALE, AZ 85258

PROJECT ADDRESS: 2571 E. DEL RAE DRIVE
FLAGSTAFF, AZ 86001

LEGAL DESCRIPTION: LOT 142
PINE CANYON

NET LOT AREA: 1.82 ACRES/51,931 S.F.

PARKING PROVIDED (OFF STREET) (COVERED): 2/4

ASSESSOR'S PARCEL NO. 10519.039A

GRADING: SEE GRADING PLAN.

BENCH MARK: SEE GRADING PLAN.

CLEAN UP: SITE TO BE CLEANED OF ALL DEBRIS AS OUTLINED IN SPECIFICATIONS.
- FIRE PROTECTION: STORE VOLATILE WASTE IN COVERED METAL CONTAINERS, AND REMOVE FROM PREMISES DAILY.
- POLLUTION CONTROL: CONDUCT CLEANUP AND DISPOSAL OPERATIONS TO COMPLY WITH LOCAL ORDINANCES AND ANTI-POLLUTION LAWS. BURNING OR BURYING OF RUBBISH AND WASTE MATERIAL ON THE PROJECT SITE IS NOT PERMITTED.
- DISPOSAL OF VOLATILE FLUID WASTE (SUCH AS MINERAL SPIRITS, OIL, OR PAINT THINNER) IN STREAMS OR SANITARY SEWER SYSTEMS OR INTO DRAINAGE OR WATERWAYS IS NOT PERMITTED.
- CLEAN UP FREQUENTLY (AT LEAST WEEKLY) ALL REFUSE, RUBBISH, SCRAP MATERIALS, AND DEBRIS CAUSED BY OPERATIONS, TO THE END THAT AT ALL TIMES THE SITE OF THE WORK SHALL PRESENT A NEAT, ORDERLY AND WORKMANLIKE APPEARANCE. SPRINKLE DUSTY DEBRIS WITH WATER.
- PROVIDE FOR THE DISPOSAL OF ALL WASTE PRODUCTS, TRASH, DEBRIS, ETC., AND MAKE NECESSARY ARRANGEMENT FOR LEGAL DISPOSAL OF SAME OFF THE SITE.
- ALL EXISTING IMPROVEMENTS, INSIDE OR OUTSIDE THE PROPERTY WHICH ARE DISTURBED, DAMAGED OR DESTROYED BY THE WORK UNDER THE CONTRACT SHALL BE RESTORED TO THE CONDITION IN WHICH THEY ORIGINALLY WERE, OR TO THE SATISFACTION OF THE ARCHITECT.

Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA811
Call 811 or click Arizona811.com

EACH LOT OWNER IS RESPONSIBLE FOR INSTALLATION OF AN ADDRESS SIGN ACCORDING TO SECTION 2.17A OF THE DESIGN GUIDELINES. A STEEL PEDESTAL UNIT, INCLUDING LETTERING AND LIGHTING, SHALL BE PURCHASED BY OWNER. EACH LOT OWNER IS RESPONSIBLE FOR INSTALLATION AND RELATED WIRING.

NUMBERS SHALL BE BACK-LIT THROUGH TRANSLUCENT MATERIAL.

EACH UNIT SHALL BE EQUIPPED WITH A PHOTOCELL CONTROL. ADDRESS SIGN SHALL BE "ALWAYS ON" WHEN CELL IS ACTIVE.

A PRE-CAST CONCRETE BASE WITH 1/2" CONDUIT PROVIDED. RUN ELECTRICAL LINE FROM HOUSE TO ADDRESS PYLON.

SIGN LOCATION: SIGN TO BE INSTALLED AS SHOWN ON FINAL PLANS APPROVED BY THE DRG.

DEPENDS ON SITE CONDITIONS, IF THE 6-FOOT DIMENSION FROM THE STREET PAVEMENT IS NOT FEASIBLE, THE SIGN MAY BE PLACED UP TO 15 FEET FROM THE STREET PAVEMENT (AS CLOSE TO BE 6-FOOT REQUIREMENT AS POSSIBLE).

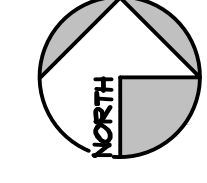
CONTACT THE ARCHITECT CONSULTANT FOR APPROVAL OF ALTERNATIVE LOCATION.

1 ADDRESS PYLON

ARCHITECTURAL SITE PLAN

NOTE: SEE HARDSCAPE PLAN FOR ALL MATERIALS AND HEIGHTS OF SITE WALLS, GATES, & FENCES.

SCALE: 1" = 20'-0"



PRELIMINARY ONLY
NOT FOR CONSTRUCTION

DWG BY: LG/ALS
DATE: 6/1/2021

REVISIONS:

NO.	DATE	DESCRIPTION

CITY COMMENTS

A CUSTOM RESIDENCE PREPARED FOR MR. & MRS. TIPPETT AT LOT 192, PINE CANYON

Urban Design architecture
ASSOCIATES LTD. AIA 480-905-1212
8150 N. 86TH. PLACE SCOTTSDALE, ARIZONA 85258

OF 3
SHEET S-1

JOB NO. 020.041A



SYMBOLS

TREE TO REMAIN

TREE TO BE REMOVED

TREES TO BE REMOVED			
NO.	DBH	DRIP LINE DIAMETER	DRIP LINE AREA
1	12"	16'	201 s.f.
2	10"	14'	154 s.f.
3	10"	14'	154 s.f.
4	8"	11'	95 s.f.
5	9"	13'	132 s.f.
6	12"	17'	226 s.f.
7	9"	12'	113 S.F.
8	9"	12'	113 S.F.
9	9"	13'	132 S.F.
10	3"	7'	38 S.F.
11	10"	14'	154 S.F.
12	13"	17'	226 S.F.
13	12"	15'	177 S.F.
14	12"	15'	177 S.F.
15	13"	17'	226 S.F.
16	12"	16'	201 S.F.
17	13"	17'	226 S.F.
18	3"	6'	28 S.F.
19	10"	14'	154 S.F.
20	13"	17'	226 S.F.
21	10"	14'	154 S.F.
22	6"	10'	78 S.F.
23	10"	14'	154 S.F.
24	9"	13'	132 S.F.
25	3"	6'	28 S.F.
26	3"	7'	38 S.F.
PROPOSED TREE CANOPY DISTURBANCE:			4182 S.F.

DISTURBED AREA	
SITE AREA	57,331 SQ. FT.
DISTURBED AREA	13,000 SQ. FT.
PROPOSED ALLOWABLE	23%
	35%

NATURAL RESOURCES PLAN

DATE: 3/11/21 SCALE: 1" = 10'-0" 10'-0" 5'-0" 0" 10'-0"

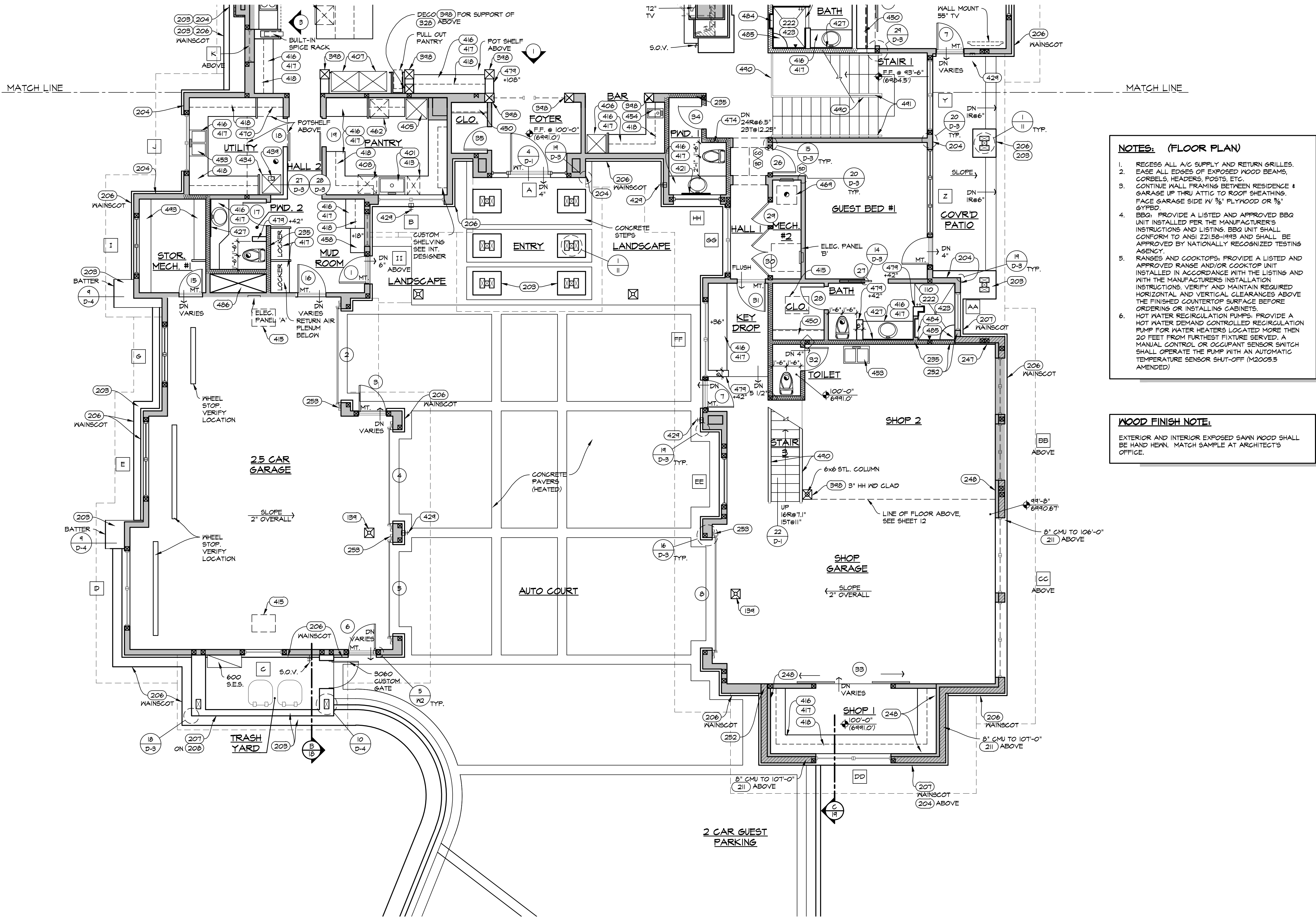
DATE: 3/11/21
DR. REVIEW: 3/17/21

A CUSTOM RESIDENCE
AT
LOT # 192
PINE CANYON

PREPARED FOR
MR. & MRS. TIPPETT

URBAN DESIGN architecture
ASSOCIATES LTD. AIA 480-905-1212
8150 N. 86TH. PLACE SCOTTSDALE, ARIZONA 85258

JESSICA HUTCHISON-ROUGH, AIA



MAIN LEVEL ARCHITECTURAL FLOOR PLAN - SOUTH

INDICATE INTERIOR ELEVATION, SEE SHEET 1-1 & 1-2.
REFER TO SHEET 1-1 & 1-2 FOR DOOR & WINDOW SCHEDULES

SCALE: 3/16" = 1'-0"

BUILDING AREA				
	LIVABLE	COVERED PATIO/DECK	GARAGE/ STORAGE	TOTAL
MAIN FLOOR	4,355 S.F.	1,415 S.F.	2,415 S.F.	8,185 S.F.
LOWER FLOOR	2,322 S.F.	634 S.F.	1,634 S.F.	4,600 S.F.
TOTAL	6,677 S.F.	2,052 S.F.	4,051 S.F.	12,786 S.F.

NOTES: (FLOOR PLAN)

- RECESS ALL A/C SUPPLY AND RETURN GRILLES. BASE ALL EDGES OF EXPOSED WOOD BEAMS, CORBELS, HEADERS, POSTS, ETC.
- CONTINUE WALL FRAMING BETWEEN RESIDENCE & GARAGE UP THRU ATTIC TO ROOF SHEATHING. FACE GARAGE SIDE W/ 3/4" PLYWOOD OR 3/4" GYPSUM BOARD.
- PROVIDE A LISTED AND APPROVED BBQ UNIT INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS AND LISTING. BBQ UNIT SHALL CONFORM TO ANSI Z21.50-1993 AND SHALL BE APPROVED BY NATIONALLY RECOGNIZED TESTING AGENCY.
- RANGES AND COOKTOPS: PROVIDE A LISTED AND APPROVED RANGE AND COOKTOP UNIT INSTALLED IN ACCORDANCE WITH THE LISTING AND WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. VERIFY AND MAINTAIN REQUIRED HORIZONTAL AND VERTICAL CLEARANCES ABOVE THE FINISHED COUNTERTOP SURFACE BEFORE ORDERING OR INSTALLING CABINETS.
- HOT WATER RECIRCULATION PUMPS: PROVIDE A HOT WATER DEMAND CONTROLLED RECIRCULATION PUMP FOR WATER HEATERS LOCATED MORE THAN 20 FEET FROM FURTHEST FIXTURE SERVED. A MANUAL CONTROL OR OCCUPANT SENSOR SWITCH SHALL OPERATE THE PUMP WITH AN AUTOMATIC TEMPERATURE SENSOR SHUT-OFF (M2003.5 AMENDED)

WOOD FINISH NOTE:

EXTERIOR AND INTERIOR EXPOSED SAWN WOOD SHALL BE HAND HEWN. MATCH SAMPLE AT ARCHITECT'S OFFICE.

100. FOUNDATION
101. 4" CONC. SLAB W/ 6x6x14 W/4x4 MUF.
102. 4" CONC. SLAB W/ FINISH & SCORING AS SHOWN ON PLANS.
103. DECOMPOSED GRANITE.
104. DEPRESS SLAB AT SHOWER. (MORTAR SUB-BASE AND VINYL LINER BY TILE CONTR. RAMP FLOOR TO OMIT STEP @ SHOWER ENTRANCE.
110. FOUNDATION SILL KEEP SCALED. SEE DETAIL 102.
115. 1/2" EXPANSION JT.
116. WATERPROOFING. SEE SP-1.
118. CONTROL JOINT.
119. CONCRETE FOOTING.
120. 12" X 8" THICK FOR SHEAR WALL.
122. 30" MIN. BELOW UNDISTURBED SOIL OR ENGR. CERT. COMPACTED SOIL. FINISH GRADE.
123. EXISTING GRADE.
126. FLOOR FINISH.
130. A/C UNIT W/ RETURN AIR. SEE HVAC PLAN.
131. A/C CONDENSING UNIT ON 4" HIGH CONCRETE PAD.
134. 4" AREA DRAIN.
200. WALLS
201. 2" STONE CAP.
204. WOOD SIDING. SEE SP-1.
206. STONE VENEER. SEE SP-1.
207. METAL PANEL RAIN SCREEN-SEE SP-1.
208. G.M.U. SEE SP-1.
209. C.M.U. TO TOP PLATE.
210. 2x4 WOOD STUDS @ 16" O.C.
211. 2x6 WOOD STUDS @ 16" O.C.
212. DBL. 2 X W/ D. PLATE.
213. 2X TREATED WOOD SILL @ EXT. WALL W/ 1/2" X 12" A.B. @ MAX 6" O.C. AND 12" MAX. FROM F.L. BDRY. (1" MIN. EMBEDMENT) W/ 2x2 CUT FL. WASHERS.
214. 2X TREATED WOOD SILL PL. @ INT. WALL. ANCHOR W/ POWER DRIVEN FASTENERS. SEE SP-1.
215. 2x6 STUDS @ 16" O.C. W/ 2x2 BLK'S @ COUNTERS & PLUMBING FIXTURES.
216. W/ POST. SEE FR. PLAN.
217. 2X WOOD OR GYPSUM BOARD FIRESTOP BLOCKING.
218. PLASTER FINISH. SEE SPEC.
220. GYPSUM BOARD. SEE SP-1.
221. CROWN MOULDING. SEE FINISH SCHEDULE.
222. 1/2" GYPSUM BOARD. SEE SP-1.
223. 5/8" GYPSUM BOARD AT WALLS AND CEILING OF ACCESSIBLE UNDER STAIR SPACE.
224. 5/8" GYPSUM BOARD AT GARAGE CLS. AND WALLS BETWEEN GARAGE & RESIDENCE.
225. PLYWOOD SHEATHING @ SHEAR PANEL.
227. METAL LOUVER.
230. INSULATION. SEE SP-1.
231. 1" GLOVED CELL SPRAY FOAM. SEE SPEC.
232. BUTYRENE FLASHING.
233. SOUND WALL. SEE DETAIL 24/D-3.
246. 1/2" FURRING.
247. 2x2 FURRING.
248. 2x2 FURRING.
249. FURRED CEILING.
252. ANCHOR STUD WALL TO MASONRY W/ 1/2" DIA. A.B. @ 24" O.C.
253. 3x6 R.S. W/ 1/2" DIA. A.B. @ 24" O.C.
300. FLOORS & ROOFS
301. ASPHALT SHINGLES. SEE SP-1.
307. METAL ROOFING. SEE SP-1.
310. PLYWOOD SHEATHING. SEE SP-1.
315. PLYWOOD SUBFLOOR. SEE SP-1.
317. 1/2" LIGHTWEIGHT CONC. SEE SP-1.
318. WOOD ROOF FLAT BOTTOM TRUSSES (24" O.C.)
321. PARALLEL CHORD SCISSOR TRUSSES (24" O.C.)
322. GIRDER TRUS.
323. GABLE END TRUSS.
324. JOIST ROOF RAFTERS @ 24" O.C. AND BOTTOM (24" O.C.)
325. 2x6 CONVENTIONAL FRAMING, TOP AND BOTTOM (24" O.C.)
326. RIPPED ROOF JOISTS (24" O.C.)
327. 2X OVERFRAMING (24" O.C.)
328. EXPOSED HEAVY TIMBER TRUSSES.
329. ROOF JOIST W/ RIPPERS (24" MAX. O.C.)
330. 2X ROOF RAFTER (24" O.C.)
331. ROOF RAFTER. SEE FR. PLAN.
332. BEAM. SEE FR. PLAN.
333. HAND HEWN DECK BEAM.
334. 2X FASCIA. SEE FR. PLAN.
335. 2X ROOF PURLIN. SEE FR. PLAN.
336. 2X SOLID BLK'S.
337. HEADER. SEE SCHEDULE.
350. 2X FLOOR JOISTS (16" O.C.)
351. WOOD FLOOR TRUSSES/JOISTS SEE FR. PLAN.
360. SIMPSON H25 EA.JST.
361. SIMPSON H25 EVERY OTHER STUD.
364. SIMPSON HANGERS. SEE FR. PLAN.
365. SIMPSON A36 EACH BLOCK (3-160 T.V. OPTIONAL).
370. BOUNDARY NAILING.
371. 26 GA. GALV. METAL COUNTER FLASHING.
380. CANT. FLASH & COUNTERFLASH.
391. GRIGLET.
392. DRAPERY POCKET. (SEE DETAIL).
393. 1/4" X 6" DECORATIVE.
394. 1/4" WOOD PLANK.
401. 3x6 METAL TRELLIS @ 12" O.C.
402. EXPOSED WOOD POST.
400. INTERIOR FIXTURES & FINISHES
401. SINK W/ DISPOSAL.
402. RANGE & OVEN.
405. OVEN, MICROWAVE COMB.
406. BUILT-IN WINE REFRIGERATOR.
407. BUILT-IN REF. W/ WATER SUPPLY.
408. DISHWASHER.
409. TRASH DRAWER.
415. 22x30 ATTIC ACCESS PANEL. SEE 5/14.
416. COUNTER TOP. EDGE & SPLASH.
417. CABINETRY. PROVIDE SHOPDRAWINGS.
418. WALL CABINET.
419. BUILT-IN FREEZER.
421. BACKING FOR DECO. HANGING MIRROR.
422. TIE SHWR W/ ROD AND NON-ABSORBANT FINISH TO CEILING.
423. SHWR W/ NON-ABSORBANT FINISH TO CEILING. WATERPROOF BOTTOM W/ 12" HIGH VINYL LINER.
424. 24" SAFETY GLASS SHWR DOOR.
426. 60" TALL MED. CAB. SEE DETAIL 21/D-3.
427. PLATE GLASS MIRROR.
428. HORIZONTAL IN RECESSED METAL BOX.
430. WASHER SPACE W/ PLUMB. BOX.
431. DRYER SPACE W/ VENT.
432. FULL SIZE COPPER F & T LINE TO EXT. TERMINATE 6" ABOVE GRADE.
433. POWER VENTED WATER HEATER W/ PRESSURE RELIEF VALVE. S.S. PAN AND DRAIN LINE.
434. STACKED WASHER/DRYER.
435. ISOKERN FIREPLACE W/ PERMANENTLY INSTALLED APPROVED GAS LOG SET & IRON DAMPER BLOCKED OPEN (1" SEE SP-1).
436. FIREPLACE COMBUSTION AIR DUCT W/ CAST IRON GRILLES.
438. NON-COMBUSTIBLE HEARTH.
439. 2" DIA. FLOOR DRAIN.
440. WATER TREATMENT LOOP W/ DRAIN.
441. DIRECT VENT FURNACE UNIT ON 18" HIGH PLATFORM RETURN AIR.
442. HOT WTR. RECIRC. PUMP. SEE DETAIL 6/10.
443. STEAM GENERATOR.
444. RANGED LBS W/ NON-ABSORBANT DECK AND SPLASH.
445. K.P. ACCESS PANEL.
446. SHOE RACK.
447. BUILT-IN TV CABINET W/ POCKET DOORS.
448. 5 WOOD SHELVES.
449. CUSTOM GLOSET STORAGE SYSTEM.
450. ROD & SHELF. A.F.F.
452. 18" SHELF. S4.
453. LAUNDRY SINK.
454. BAR SINK.
455. BUILT-IN BANGCO. HT AS INDICATED.
456. BUILT-IN NICHE.
462. UNDERCOUNTER REFRIG.
464. UNDERCOUNTER WINE REFRIGERATOR.
465. MARKING DRAWER.
467. BUILT-IN MICROWAVE.
468. BUILT-IN DESK.
469. A/V RACK AND STRUCTURED WIRE PANEL.
470. DRIP DRY W/ ROD @ 60".
471. R-18 BATT INSULATION AND VAPOR BARRIER.
474. REMOTE EXHAUST FAN. LOCATE GRILLE IN WALL @ 12" A.T.F.
475. BUILT-IN RANGE HOOD W/ VENT TO FAN ON ROOF.
476. BUILT-IN GAS BARBECUE. BASE AND IRON DOORS. SEE SP-1.
477. BUILT-IN BOOKSHELVES.
478. LOW WALL. SEE INTERIOR ELEVATION UNO.
483. BUILT-IN LINEN CABINET.
484. SOAP NICHE. SEE DET. 22/D-3.
485. 18" HIGH BUILT-IN BANGCO @ SHOWER.
486. RETURN AIR FLENN/BANGCO.
490. GUARD RAIL @ 36" A.F.F. SEE SP-1.
491. HANDRAIL. SEE SP-1.
493. STORAGE SHELVING. SEE OWNER.
496. HEATED TOWEL BAR.

PRELIMINARY ONLY
NOT FOR
CONSTRUCTION

DATE	BY	REVISIONS	CITY COMMENTS
6/1/2021	LG/ALS		

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A CUSTOM RESIDENCE PREPARED FOR
MR. & MRS. TIPPETT
AT
LOT 192, PINE CANYON

URBAN DESIGN architecture
ASSOCIATES LTD. AIA 480-905-1212
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Urban

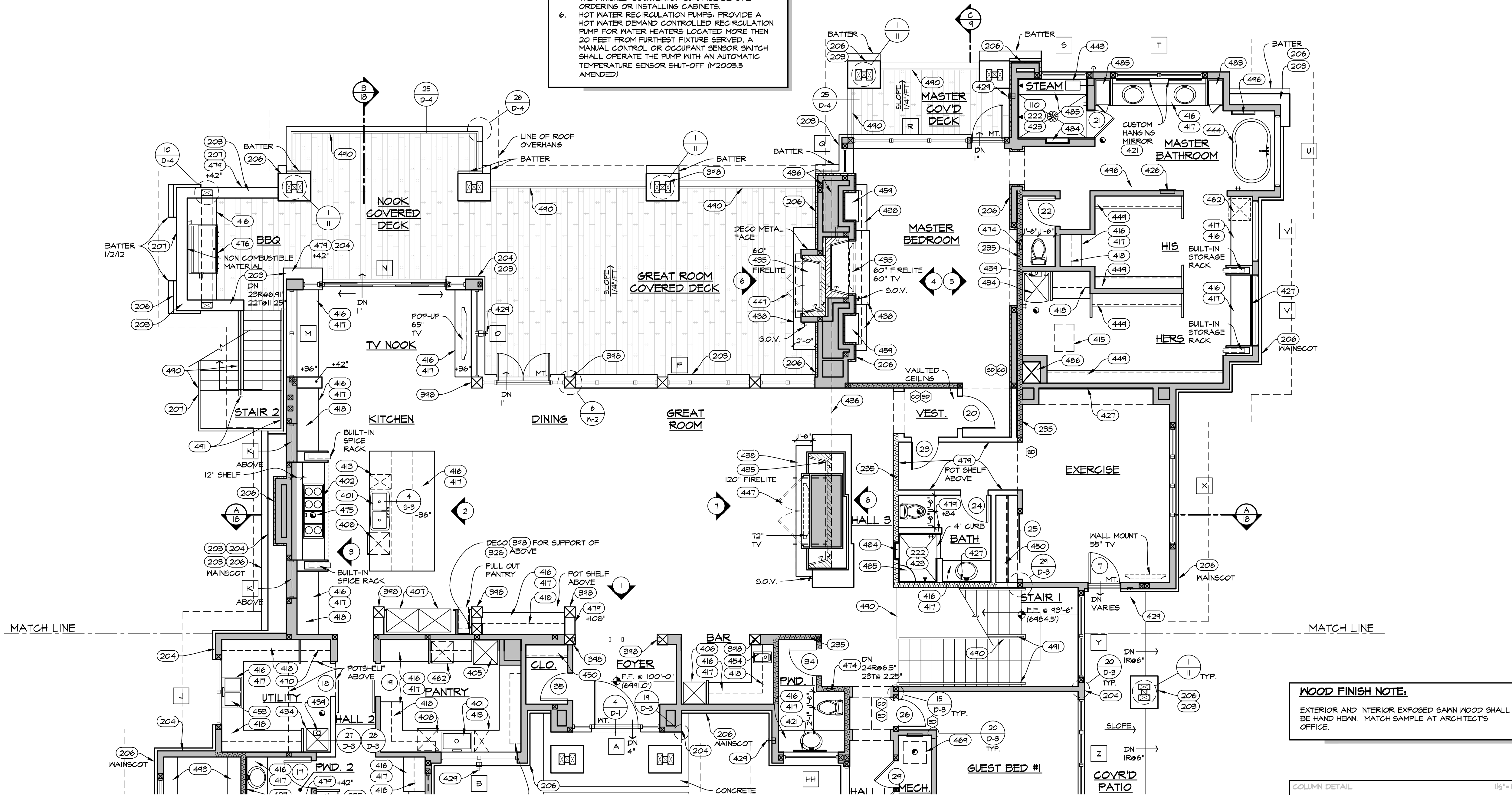
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Jessica Hutchison-Rough, AIA

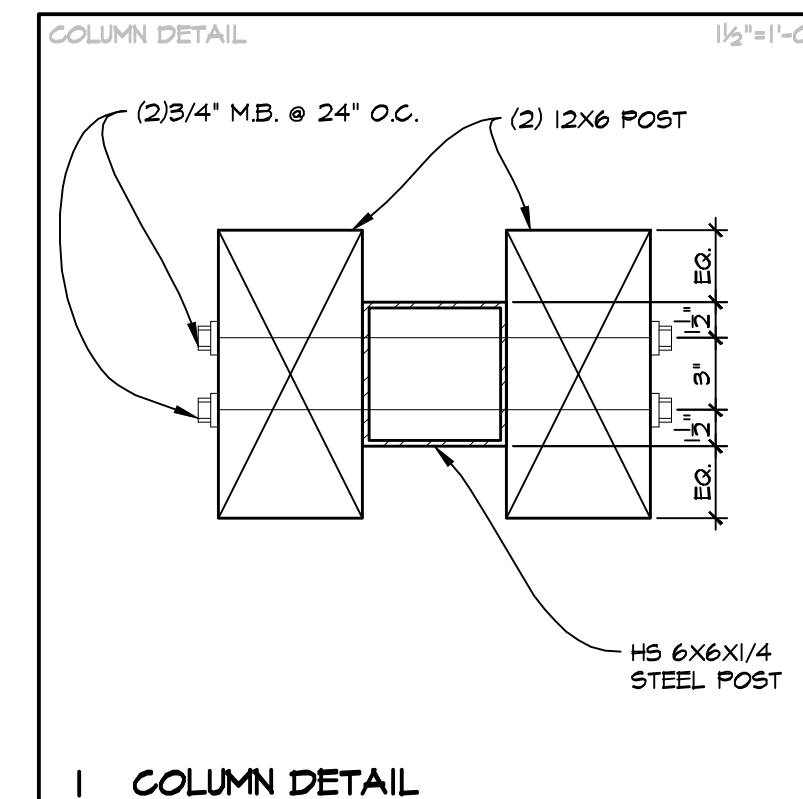
MAIN LEVEL ARCHITECTURAL FLOOR PLAN - SOUTH

2. RECESS ALL A/C SUPPLY AND RETURN GRILLSES. EASE ALL EDGES OF EXPOSED WOOD BEAMS, CORBELS, HEADERS, POSTS, ETC.
3. CONTINUE WALLS BETWEEN RESIDENCE & GARAGE TO THE ATTIC TO DOOT SHEATHING. FACE GARAGE SIDE W/ 1" PLYWOOD OR 3/4" GYPSUM.
4. BIDDING PROVIDE A LISTED AND APPROVED EBBG UNIT INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS AND LISTING. BIDD UNIT SHALL CONFORM TO ANSI Z21.50-1998 AND SHALL BE APPROVED BY NATIONALLY RECOGNIZED TESTING AGENCY.
5. RANGES AND COOKTOPS; PROVIDE A LISTED AND APPROVED RANGE AND/OR COOKTOP UNIT. PROVIDE IN ALL AREAS WITH GAS PIPING AND WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS. VERIFY AND MAINTAIN REQUIRED HORIZONTAL AND VERTICAL CLEARANCES ABOVE ALL EXISTING GAS COOKTOPS AND SURFACES BEFORE ORDERING OR INSTALLING CABINETS.
6. HOT WATER RECIRCULATION PUMPS; PROVIDE A HOT WATER DEMAND CONTROLLED RECIRCULATION PUMP WITH WATER TIGHT COVER. PUMP SHALL BE 20 FEET FROM FURTHEST FIXTURE SERVED, A MANUAL CONTROL OR OCCUPANT SENSOR SWITCH SHALL OPERATE THE PUMP WITH AN AUTOMATIC TIME/TEMPERATURE SENSOR SHUT-OFF (M2003.5 AMENDED).


BUILDING AREA				
	LIVABLE	COVERED PATIO/DECK	GARAGE/ STORAGE	TOTAL
MAIN FLOOR	4355 S.F.	1413 S.F.	2418 S.F.	8186 S.F.
LOWER FLOOR	2322 S.F.	634 S.F.	1634 S.F.	4600 S.F.
TOTAL	6677 S.F.	2052 S.F.	4051 S.F.	12786 S.F.




EXTERIOR AND INTERIOR EXPOSED SAWN WOOD SHALL
BE HAND HEWN. MATCH SAMPLE AT ARCHITECT'S
OFFICE.




SCALE: $\frac{3}{16}'' = 1'-0''$

 INDICATE INTERIOR ELEVATION, SEE SHEET I-1 & I-2.

 REFER TO SHEET W-1 & W-2 FOR DOOR & WINDOW SCHEDULES.

100. FOUNDATION
01. 4" CONC. SLAB IV 6'-6" X 4'-4" X 4" MIN.
02. 4" CONC. SLAB IV FINISH & SCORINGS
AS SHOWN ON FOUNDATION PLAN
03. DECOMPOSED GRANITE
04. DEPRESS SLAB AT SHOWER, MORTAR SUB-
GRADE AND VINYL FLOOR BY TILE CONTR.
RAMP FLOOR TO OMIT STEP @ SHOWER
ENTRANCE
05. FOUNDATION SILL KEEP SCURED. SEE
DETAIL 1/D-1.
11. EXPANSION JNT.
11A. WATERPROOFING. SEE SP-1.
12. CONTROL JOINT.
13. DETAIL FOOTING.
13A. 12" N x 8" THICK FOR SHEAR WALL
14. EXPOSED GRADE.
OR ENR CRET. COMPACTED SOIL.
15. FINISH GRADE
16. EXPOSED GRADE
16A. FLOOR FINISH
18. HVAC UNIT IV RETURN AIR. SEE HVAC PLAN.
19. AIR EXHAUSTING UNIT ON 4" HIGH
CONCRETE PAD.
20. 1/2" DRAIN.
200. WALLS
201. 2" STONE GAP
202. MOOD SIDING. SEE SP-1.
203. STONE VENEER. SEE SP-1.
204. METAL PANEL. RAIN SCREEN. SEE SP-1
205. 1/2" DRAIN
206. G.M.U TO TOP PLATE.
207. 2X4 MOOD STUDS @ 16" O.C.
208. 2X4 MOOD STUDS @ 16" O.C.
209. 2X4 MOOD STUDS @ 16" O.C.
210. 2X4 MOOD STUDS @ 16" O.C.
211. 1/2" X 12" A.B. @ MAX. 6' O.C. AND
12" MAX. FROM PL. ENDS 1' MIN.
212. 1/2" X 12" A.B. @ MAX. 6' O.C. AND
12" MAX. FROM PL. ENDS 1' MIN.
213. 2X4 MOOD STUDS @ 16" O.C.
214. 2X4 MOOD STUDS @ 16" O.C.
215. 2X4 MOOD STUDS @ 16" O.C.
216. 2X4 MOOD STUDS @ 16" O.C.
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MR. & MRS. TIPPETT
AT
LOT 192, PINE CANYON**

**AT
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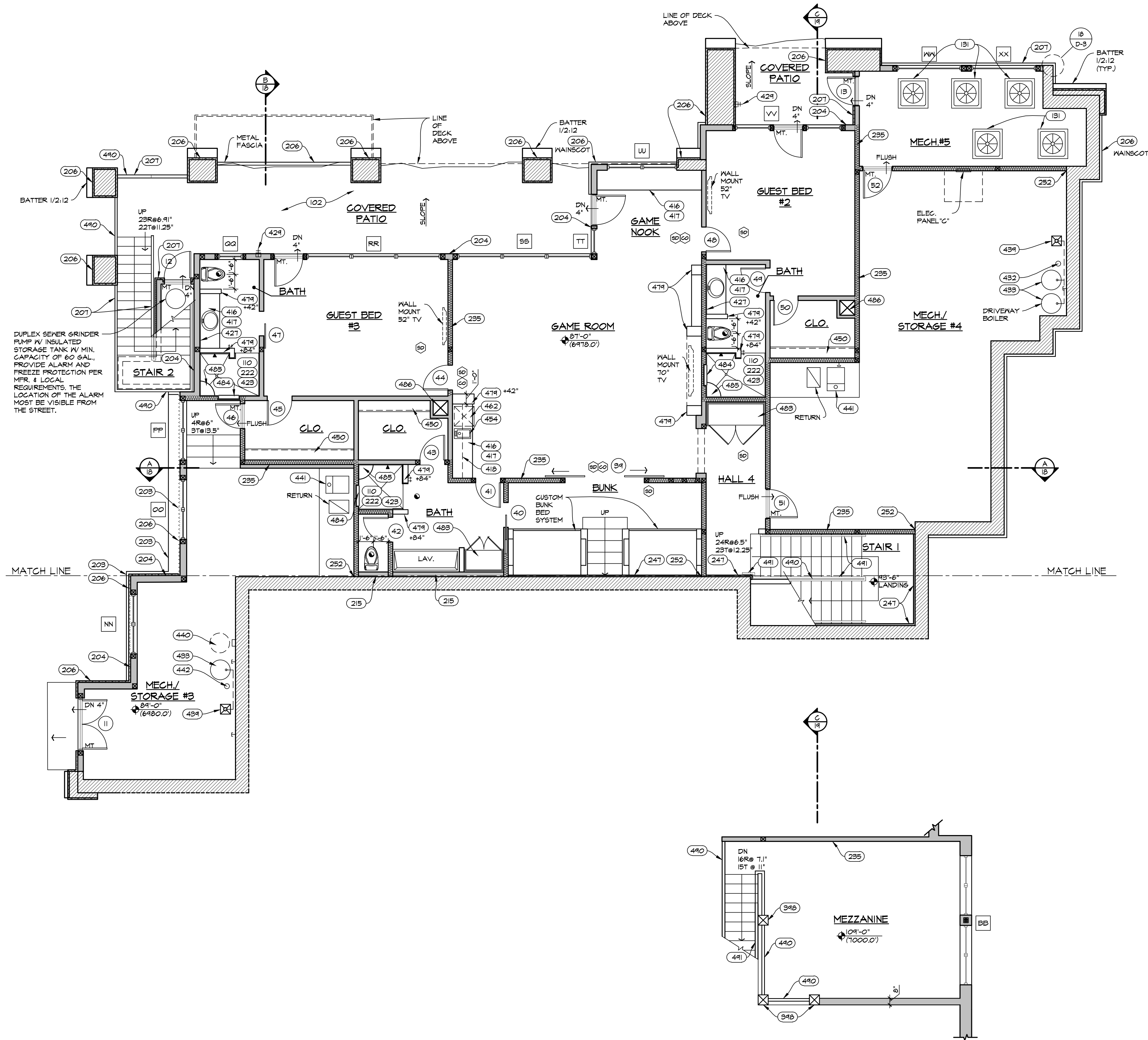
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LOWER LEVEL & MEZZANINE ARCHITECTURAL FLOOR PLAN

INDICATE INTERIOR ELEVATION, SEE SHEET I-1
REFER TO SHEET I-1 & I-2 FOR DOOR & WINDOW SCHEDULES

SCALE: 3/16" = 1'-0" 3'-0" 0" 3'-0"

100. FOUNDATION
101. 4" CONC. SLAB W/ 6x6-4x4x4 HULF.
102. 4" CONC. SLAB W/ FINISH & SCORING
AS SHOWN ON PLANS.
103. DECOMPOSED GRANITE
104. DEPRESS SLAB AT SHOWER (MORTAR SUB-
BASE AND VINYL LINER BY TILE CONTR.
RAINF FLOOR TO OMIT STEP @ SHOWER
ENTRANCE.
110. FOUNDATION SILL KEEP SCALED, SEE
DETAIL I-2.
115. 1/2" EXPANSION JT.
116. WATERPROOFING, SEE SP-1.
117. CONTROL JOINT.
118. CONCRETE FOOTING.
120. 12" W x 8" THICK FOR SHEAR WALL
122. 30" MIN. BELOW UNDISTURBED SOIL
OR ENR CERT. COMPACTED SOIL.
123. FINISH GRADE.
125. EXISTING GRADE.
126. FLOOR FINISH.
130. A/C UNIT W/ RETURN AIR, SEE HVAC PLAN.
131. A/C CONDENSING UNIT ON 4" HIGH
CONCRETE PAD.
134. 4" AREA DRAIN.
200. WALLS
201. 2" STONE CAP
204. WOOD SIDING, SEE SP-1.
206. STONE VENEER, SEE SP-1.
207. METAL PANEL RAIN SCREEN-SEE SP-1.
208. G.M.U. SEE SP-1.
209. C.M.U. TO TOP PLATE.
210. 2x4 WOOD STUDS @ 16" O.C.
211. 2x6 WOOD STUDS @ 16" O.C.
212. DBL. 2 X WD FLATE
213. 2X TREATED WOOD SILL @ EXT. WALL
W/ 1/2" X 12" A.B. @ MAX 6' O.C. AND
12" MAX. FROM FL. BDS (1" MIN.
EMBEDMENT) W/ 2x2 CUT PL. WASHERS.
214. 2X TREATED WOOD SILL FL. @ INT.
WALL ANCHORED W/ POWER DRIVEN
FASTENERS, SEE SP-1.
215. 2x6 STUDS @ 16" O.C. W/ 2x12 BLK'S
@ COUNTERS & PLUMB'S FIXTURES.
216. WD POST. SEE FR. PLAN.
217. 2X WOOD OR GYPSUM BOARD FIRESTOP
BLOCKING.
219. PLASTER FINISH, SEE SPEC.
220. GYPSUM BOARD, SEE SP-1.
221. CROWN MOULDING, SEE FINISH SCHEDULE.
222. 1/2" GYPSUM BOARD, SEE SP-1.
223. 5/8" GYP. BD. AT WALLS AND CEILING OF
ACCESSIBLE UNDER STAIR SPACE.
224. 5/8" GYP. @ GARAGE CL.S. AND WALLS
BETWEEN GARAGE & RESIDENCE.
225. PLYWOOD SHEATHING @ SHEAR PANEL.
227. METAL LOUVER.
230. INSULATION, SEE SP-1.
231. 1" CLOSED CELL SPRAY FOAM, SEE SPEC.
232. BITUMENE FLASHING.
233. SOUND WALL, SEE DETAIL 24/D-3.
246. 1x2 FURRING.
247. 2x2 FURRING.
248. 2x4 FURRING.
249. FURRED CEILING.
252. ANCHOR STUD WALL TO MASONRY W/
1/2" DIA. A.B. @ 24" O.C.
253. 3x6 R.S. W/ 1/2" DIA. A.B. @ 24" O.C.
AT DOOR HEAD AND JAMBS.
300. FLOORS & ROOFS
301. ASPHALT SHINGLES, SEE SP-1.
307. METAL ROOFING, SEE SP-1.
310. PLYWOOD SHEATHING, SEE SP-1.
315. PLYWOOD SUBFLOOR, SEE SP-1.
317. 1/2" LIGHTWEIGHT CONC. SEE SP-1.
320. WOOD ROOF FLAT BOTTOM TRUSSES (24" O.C.)
321. PARALLEL CHORD SCISSOR TRUSSES (24" O.C.)
322. GIRDER TRUS.
323. GABLE END TRUSS.
324. 1-JOIST ROOF RAFTERS @ 24" O.C.
325. 2x6 CONVENTIONAL FRAMING, TOP
AND BOTTOM (24" O.C.)
326. RIPPED ROOF JOISTS (24" O.C.)
327. 2X OVERFRAMING (24" O.C.)
328. EXPOSED HEAVY TIMBER TRUSSES.
329. ROOF JOIST W/ RIPPERS (24" MAX O.C.)
330. 2X ROOF RAFTER (24" O.C.)
331. ROOF RAFTER, SEE FR. PLAN.
332. BEAM, SEE FR. PLAN.
333. HAND HEVN DECO BEAM.
334. 2X FASCIA, SEE FR. PLAN.
335. 2X ROOF PURLIN, SEE FR. PLAN.
336. 2X SOLID BLK'S
337. HEADER, SEE SCHEDULE.
350. 2X FLOOR JOISTS (16" O.C.)
351. WOOD FLOOR TRUSSES/JOISTS SEE FR. PLAN
360. SIMPSON H25 EA.JST.
361. SIMPSON H25 EVERY OTHER STUD.
364. SIMPSON HANGERS, SEE PLAN.
365. SIMPSON A35 EACH BLOCK (3-16D
T.N. OPTIONAL).
370. BOUNDARY NAILING.
371. 26 GA. GALV. METAL COUNTER FLASHING.
380. CANT. FLASH & COUNTERFLASH.
391. GRIGGET.
392. DRAPERY POCKET, (SEE DETAIL)
393. NO T & S DECKING.
394. 1x4 WOOD PLANK.
397. 3x6 METAL TRELLIS @ 12" O.C.
398. EXPOSED WOOD POST.
400. INTERIOR FIXTURES & FINISHES
401. SINK W/ DISPOSAL.
402. RANGE & OVEN.
405. OVEN, MICROWAVE COMB.
406. BUILT-IN NINE REFRIGERATOR.
407. BUILT-IN REF. W/ WATER SUPPLY.
408. DISHWASHER.
409. TRASH DRAWER.
415. 22x30 ATTIC ACCESS PANEL, SEE 5/14
416. COUNTER TOP, EDGE & SPLASH.
417. CABINETRY, PROVIDE SHOPDRAWINGS.
418. WALL CABINET.
419. BUILT-IN FREEZER.
421. BACKING FOR DECO. HANGING
MIRROR.
422. TIE SHWR W/ ROD AND NON-ABSORBANT
FINISH TO CEILING.
423. SHWR W/ NON-ABSORBANT FINISH TO
CEILING, WATERPROOF BOTTOM W/ 12"
HIGH VINYL LINER.
424. 24" SAFETY GLASS SHWR DOOR.
426. 60" TALL MED. CAB. SEE DETAIL 21/D-3.
427. PLATE GLASS MIRROR.
428. HOBBISSIE IN RECESSED METAL BOX
430. WASHER SPACE W/PLMB. BOX.
431. DRYER SPACE W/ VTR.
432. FULL SIZE COPPER F & T LINE TO EXT.
TERMINATE 6" ABOVE GRADE.
433. POWER VENTED WATER HEATER W/
PRESSURE RELIEF VALVE, S.S. PAN AND
DRAIN LINE.
434. STACKED WASHER/DRYER.
435. ISOKERN FIREPLACE W/ PERMANENTLY
INSTALLED APPROVED GAS LOG SET & IRON
DAMPEN BLOCKED OPEN (1" SEE SP-1).
436. FIREPLACE COMBUSTION AIR DUCT W/
CAST IRON GRILLES.
438. NON-COMBUSTIBLE HEARTH.
439. 2" DIA. FLOOR DRAIN.
440. WATER TREATMENT LOOP W/ DRAIN.
441. DIRECT VENT FURNACE UNIT ON 18" HIGH
PLATFORM RETURN AIR.
442. HOT WTR. RESCUE. PUMP, SEE DETAIL 6/10
443. STEAM GENERATOR.
444. RANGED TUB W/ NON-ABSORBANT DECK AND
SPLASH.
445. K.P. ACCESS PANEL.
446. SHOE RACK.
447. BUILT-IN TV CABINET W/ POCKET DOORS.
448. 5 WOOD SHELVES
449. CUSTOM CLOSET STORAGE SYSTEM
450. ROD & SHELF.
452. 18" SHELF 54" A.F.F.
453. LAUNDRY SINK.
454. BAR SINK.
455. BUILT-IN BANGKO HT AS INDICATED.
459. BUILT IN NICHE
462. UNDERCOUNTER REFRIG.
464. UNDERCOUNTER NINE REPRIGERATOR.
465. MARKING DRAWER.
466. BUILT-IN MICROWAVE.
468. BUILT-IN DESK.
469. A/V RACK AND STRUCTURED WIRE PANEL
470. DRIP DRY W/ ROD @ 60".
471. R-18 BATT INSULATION AND VAPOR BARRIER
474. REMOTE EXHAUST FAN, LOCATE GRILLE
IN WALL @ 12" A.T.F.
475. BUILT-IN RANGE HOOD W/ VENT TO FAN ON
ROOF.
476. BUILT-IN GAS BARBECUE.
BASE AND IRON DOORS, SEE SP-1.
477. BUILT-IN BOOKSHELVES
479. LOW WALL, SEE INTERIOR ELEVATION UNO.
483. BUILT-IN LINEN CABINET.
484. SCRAP NICHE, SEE DET. 22/D-3
485. 18" HIGH BUILT-IN BANGKO @ SHOWER.
486. RETURN AIR FLEM/BANGKO
489. GUARD RAIL @ 36" A.F.F. SEE SP-1.
491. HANDRAIL, SEE SP-1.
493. STORAGE SHELVING, SEE OWNER.
496. HEATED TONEL BAR.

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AT
LOT 192, PINE CANYON

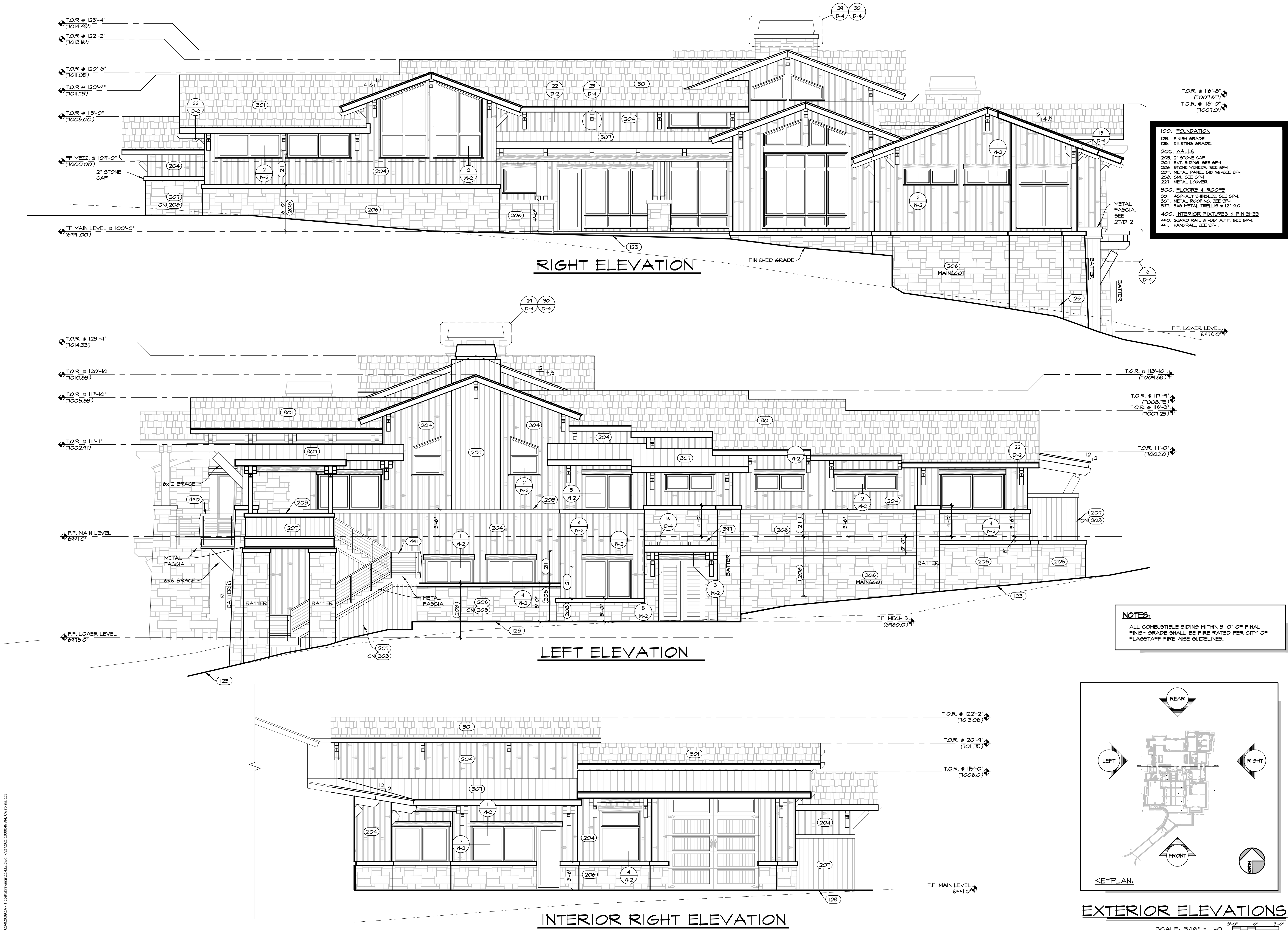
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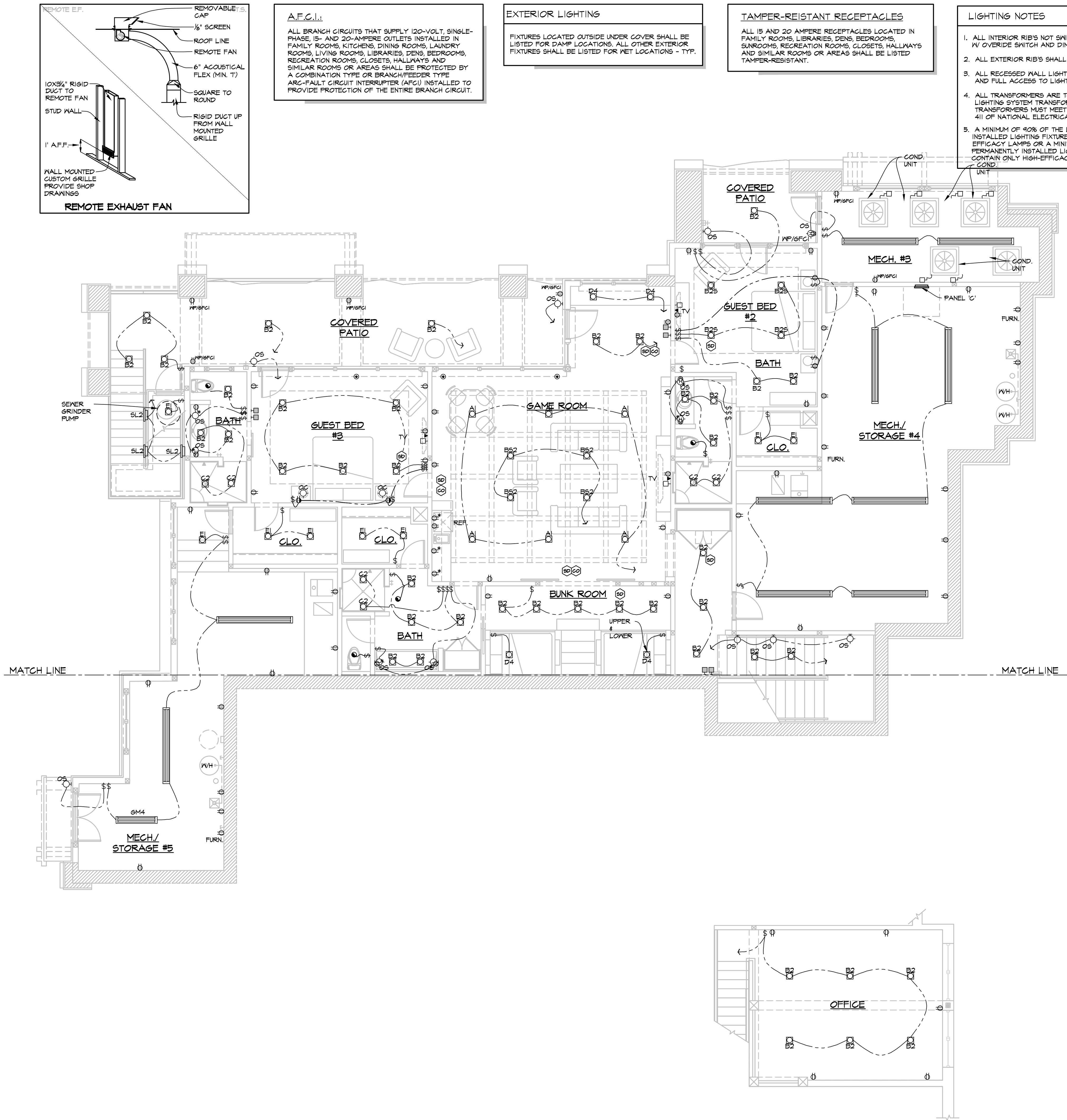
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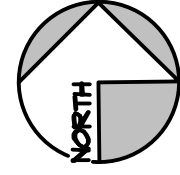
Jessica Hutchison-Rough, AIA



LOWER LEVEL POWER & LIGHTING PLAN

FOR NOTES, DETAILS, SCHEDULES - SEE SHEET E-6 OF 8

SCALE: 3/16" = 1'-0"



A.F.C.I.:

ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, KITCHENS, DINING ROOMS, LAUNDRY ROOMS, LIVING ROOMS, LIBRARIES, DENS, BEDROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE OR BRANCH/FEEDER TYPE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

EXTERIOR LIGHTING

FIXTURES LOCATED OUTSIDE UNDER COVER SHALL BE LISTED FOR DAMP LOCATIONS. ALL OTHER EXTERIOR FIXTURES SHALL BE LISTED FOR WET LOCATIONS - TYP.

TAMPER-REISTANT RECEPTACLES

ALL 15 AND 20 AMPERE RECEPTACLES LOCATED IN FAMILY ROOMS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE LISTED TAMPER-RESISTANT.

LIGHTING NOTES

- ALL INTERIOR RIB'S NOT SWITCHED SHALL BE ON D/D W/ OVERRIDE SWITCH AND DIMMER @ UTILITY.
- ALL EXTERIOR RIB'S SHALL BE ON D/D.
- ALL RECESSED WALL LIGHTS TO HAVE COMPLETE AND FULL ACCESS TO LIGHT J-BOX
- ALL TRANSFORMERS ARE TO BE UL LISTED AS LIGHTING SYSTEM TRANSFORMERS. ALL LIGHTING TRANSFORMERS MUST MEET REQUIREMENTS ARTICLE 411 OF NATIONAL ELECTRICAL CODE UL-2108/UL-1839.
- A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM OF 90% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

ELECTRICAL SYMBOL LEGEND

\$	SWITCH SINGLE POLE @ +48" A.F.F. UNLESS NOTED OTHERWISE
\$	3 WAY SWITCH
\$	4 WAY SWITCH
\$	SMART SWITCH
\$	DIMMER SWITCH
\$	DOOR JAMB SWITCH
\$	LIGHT, CLG. MOUNTED
\$	LIGHT, CLG. MOUNTED
\$	LIGHT/WALL MOUNTED @ +60" UNLESS NOTED OTHERWISE
\$	LIGHT/SURFACE MOUNTED ADJ. SPOT
\$	SECURITY LIGHT W/ MOTION SENSOR
\$	LIGHT, RECESSED IN CEILING
\$	LIGHT, RECESSED IN CEILING (ADJUST.)
\$	LIGHT, RECESSED WALL WASHER
\$	STRIP LIGHTING
\$	LIGHT RECESSED IN WALL @ +12" UNLESS NOTED OTHERWISE
\$	FLUORESCENT LIGHT/SURFACE MTD. UNLESS NOTED OTHERWISE
\$	FLUORESCENT WALL MOUNT (ABOVE DOOR)
\$	PLASTER WALL SCONCE @ +18" UNLESS NOTED OTHERWISE
\$	WEATHER PROOF LIGHT FIXTURE LISTED FOR DAMP LOCATION
\$	"J-BOX" FLUSH MOUNTED
\$	MULTI SPEED FAN, 2 CIRCUITS, DBL. SWITCH
\$	POWERSTRIP IN DRAWER POWER FROM GFCI RECEPTACLE @ +12"
\$	110V DUPLEX RECEPTACLE MOUNTED AT POTSHIELD LEVEL
\$	DUPLEX 110V RECEPTACLE @ +12" UNLESS NOTED OTHERWISE
\$	FOURPLEX 110V RECEPTACLE @ +12" UNO
\$	RECEPTACLE @ +12" ONE SIDE SWITCHED
\$	220 VOLT RECEPTACLE
\$	RECEPTACLE WITH GROUND FAULT INTERRUPTER (GFCI), MTD, ABOVE COUNTER
\$	ENTIRE CIRCUIT SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S)
\$	RECEPTACLE WEATHERPROOF, GFCI
\$	CLOCK BOX
\$	RECEPTACLE RECESSED IN FLOOR, VERIFY LOCATION
\$	TELEPHONE JACK
\$	PHONE JACK RECESSED IN FLOOR
\$	DATA JACK
\$	CABLE TV JACK
\$	CABLE TV JACK FLOOR MOUNT
\$	PUSH BUTTON/DOOR BELL
\$	CHIME
\$	EXHAUST FAN TO OUTSIDE, 5 AIR CHANGES/HR. MIN.
\$	SPEAKER
\$	THERMOSTAT
\$	DISCONNECT
\$	SMOKE DETECTOR
\$	DRAPERY POCKET POWER & LOW VOLTAGE CONTROL, VERIFY SWITCHING
\$	SECURITY KEY PAD
\$	ELECTRICAL SES PANEL, FLUSH MOUNT
\$	ELECTRICAL SUB PANEL
\$	LOW VOLTAGE TRANSFORMER
\$	L.C.P. LIGHTING CONTROL PANEL
\$	LIGHTING ZONE
\$	LIGHTING CONTROL KEYPAD
\$	LIGHTING CONTROL, MULTIPLE KEYPADS
\$	CARBON MONOXIDE DETECTOR
\$	INTERCOM SYSTEM
\$	REMOTE EXHAUST FAN W/ GRILLE NEAR FLOOR
\$	CEILING MOUNTED EXHAUST FAN
\$	EXHAUST FAN ON ROOF
\$	D/D DUSK TO DAWN PHOTOCELL
\$	P.S. POT SHELF
\$	T.K. TOE KICK
\$	U.C. UNDER COUNTER
\$	W.P. WATER PROOF FIXTURE
\$	D.P. DAMP PROOF FIXTURE
\$	HOME RUN TO LIGHTING CONTROL SYSTEM
\$	INFRARED HEATER 220V

A CUSTOM RESIDENCE PREPARED FOR MR. & MRS. TIPPETT AT LOT 192, PINE CANYON

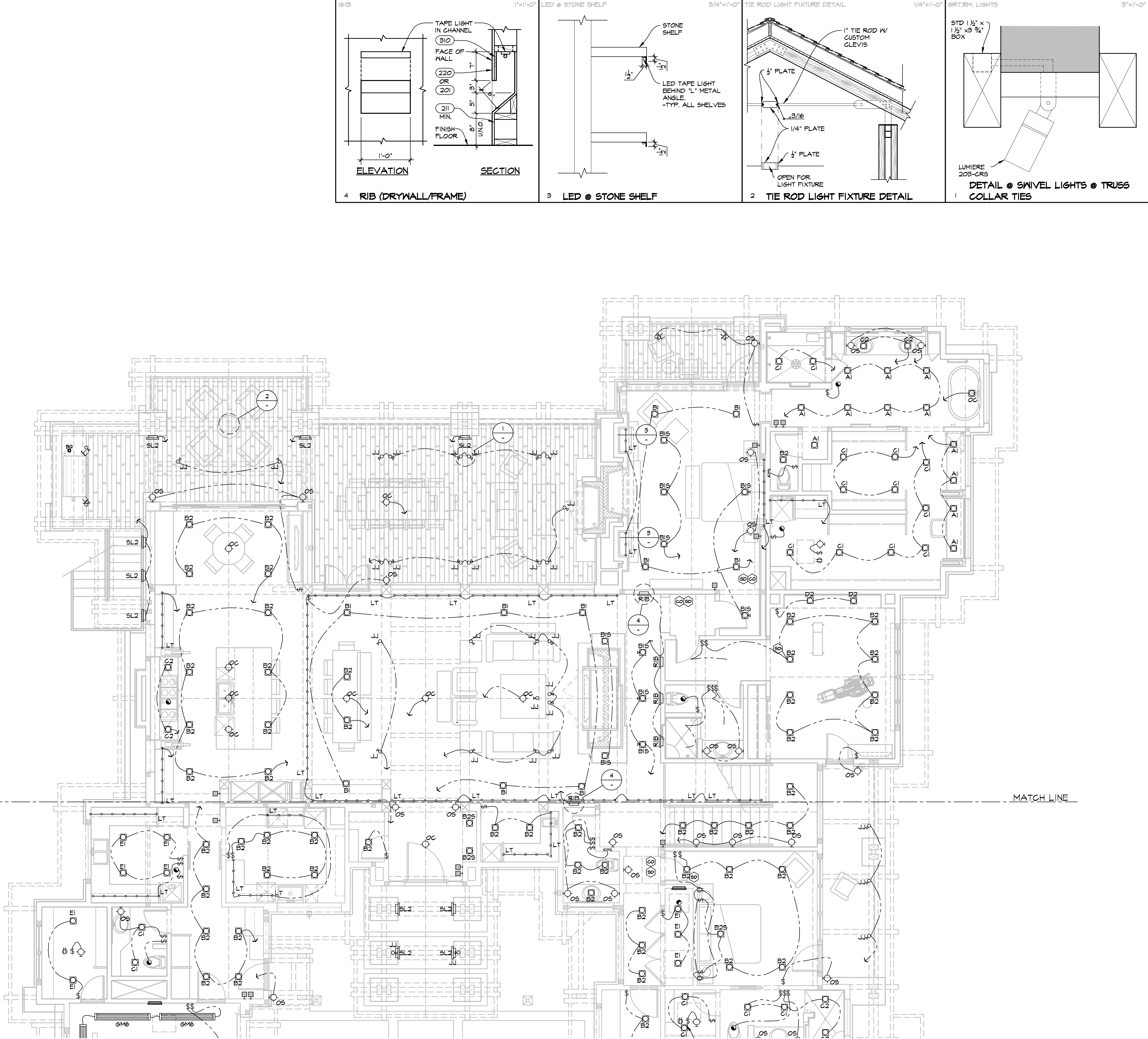
URBAN DESIGN architecture ASSOCIATES LTD. AIA 480-905-1212 8150 N. 86TH. PLACE SCOTTSDALE, ARIZONA 85258

PRELIMINARY ONLY NOT FOR CONSTRUCTION

DWG BY: LG/ALS DATE: 6/1/2021

REVISIONS: CITY COMMENTS

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MAIN LEVEL LIGHTING PLAN - NORTH

SCALE: 3/16" = 1'-0"

ELECTRICAL SYMBOL LEGEND	
\$	SWITCH SINGLE POLE @ +48" A.F.F. UNLESS NOTED OTHERWISE
\$3	3 WAY SWITCH
\$4	4 WAY SWITCH
\$sm	SMART SWITCH
\$d	DIMMER SWITCH
\$j	DOOR JAMB SWITCH
\$s	LIGHT, CLG. MOUNTED
\$c	LIGHT, CLG. MOUNTED
\$w	LIGHT/WALL MOUNTED @ +60" UNLESS NOTED OTHERWISE
\$a	LIGHT/SURFACE MOUNTED ADJ. SPOT
\$m	SECURITY LIGHT W/ MOTION SENSOR
\$r	LIGHT, RECESSED IN CEILING
\$h	LIGHT, RECESSED IN CEILING (ADJUST.)
\$m	LIGHT, RECESSED WALL WASHER
\$s	STRIP LIGHTING
\$f	LIGHT RECESSED IN WALL @ +12" UNLESS NOTED OTHERWISE
\$f	FLUORESCENT LIGHT/SURFACE MTD. UNLESS NOTED OTHERWISE
\$f	FLUORESCENT WALL MOUNT (ABOVE DOOR)
\$p	PLASTER WALL SCONCE @ +18" UNLESS NOTED OTHERWISE
\$wp	WEATHER PROOF LIGHT FIXTURE LISTED FOR DAMP LOCATION
\$j	"J-BOX" FLUSH MOUNTED
\$x	MULTI SPEED FAN, 2 CIRCUITS, DBL. SWITCH
\$p	POWERSTRIP IN DRAWER POWER FROM GFCI RECEPTACLE @ +12"
\$p	110V DUPLEX RECEPTACLE MOUNTED AT POT SHELF LEVEL
\$p	DUPLEX 110V RECEPTACLE @ +12" UNLESS NOTED OTHERWISE
\$p	FOURPLEX 110V RECEPTACLE @ +12" UNO
\$p	RECEPTACLE @ +12" ONE SIDE SWITCHED
\$p	220 VOLT RECEPTACLE
\$p	RECEPTACLE WITH GROUND FAULT INTERRUPTER (GFCI), MTD. ABOVE COUNTER
\$p	ENTIRE CIRCUIT SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S)
\$wp	RECEPTACLE WEATHERPROOF, GFCI
\$c	CLOCK BOX
\$p	RECEPTACLE RECESSED IN FLOOR, VERIFY LOCATION
\$j	TELEPHONE JACK
\$j	PHONE JACK RECESSED IN FLOOR
\$j	DATA JACK
\$j	CABLE TV JACK
\$j	CABLE TV JACK FLOOR MOUNT
\$j	PUSH BUTTON/DOOR BELL
\$j	CHIME
\$j	EXHAUST FAN TO OUTSIDE, 5 AIR CHANGES/HR. MIN.
\$j	SPEAKER
\$j	THERMOSTAT
\$j	DISCONNECT
\$j	SMOKE DETECTOR
\$j	DRAWERY POCKET POWER & LOW VOLTAGE CONTROL, VERIFY SWITCHING
\$j	SECURITY KEY PAD
\$j	ELECTRICAL SES PANEL, FLUSH MOUNT
\$j	ELECTRICAL SUB PANEL
\$j	LOW VOLTAGE TRANSFORMER
\$j	L.C.P. LIGHTING CONTROL PANEL
\$j	(A) LIGHTING ZONE
\$j	LIGHTING CONTROL KEYPAD
\$j	LIGHTING CONTROL, MULTIPLE KEYPADS
\$j	CARBON MONOXIDE DETECTOR
\$j	INTERCOM SYSTEM
\$j	REMOTE EXHAUST FAN W/ GRILLE NEAR FLOOR
\$j	CEILING MOUNTED EXHAUST FAN
\$j	EXHAUST FAN ON ROOF
\$j	D/D DUSK TO DAWN PHOTOCELL
\$j	P.S. POT SHELF
\$j	T.K. TOE KICK
\$j	U.C. UNDER COUNTER
\$j	W.P. WATER PROOF FIXTURE
\$j	D.P. DAMP PROOF FIXTURE
\$j	HOME RUN TO LIGHTING CONTROL SYSTEM
\$j	INFRARED HEATER 220V

A CUSTOM RESIDENCE PREPARED FOR
MR. & MRS. TIPPETT
AT
LOT 192, PINE CANYON

URBAN DESIGN architecture
ASSOCIATES LTD. AIA 480-905-1212
8150 N. 86TH. PLACE SCOTTSDALE, ARIZONA 85258

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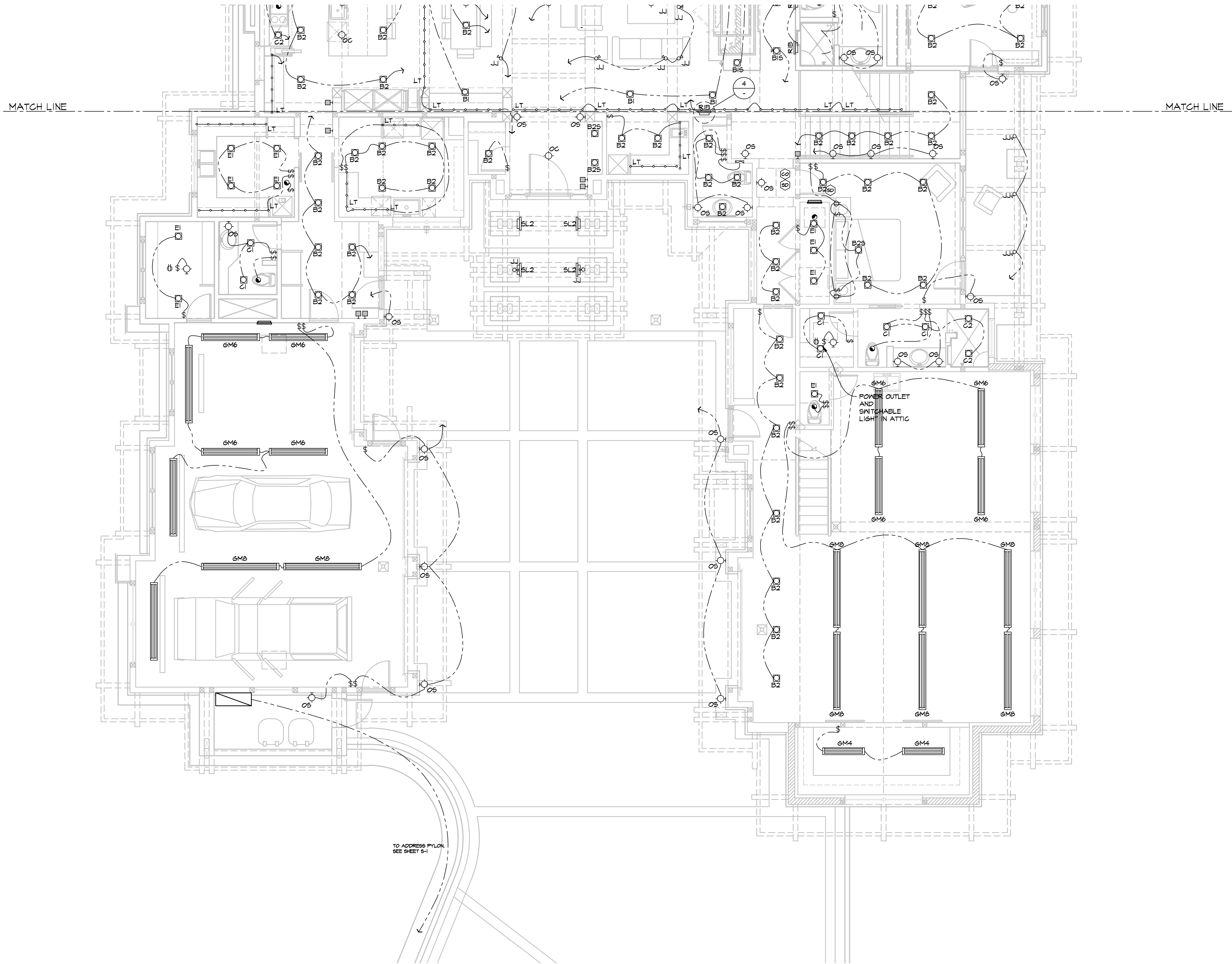
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DATE: 6/1/2021
REVISIONS:
CITY COMMENTS:

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CONSTRUCTION

Jessica Hutchison-Rough, AIA

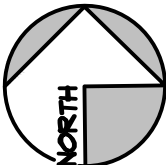
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MAIN LEVEL LIGHTING PLAN - SOUTH

SCALE: 3/16" = 1'-0"



ELECTRICAL SYMBOL LEGEND	
\$	SWITCH SINGLE POLE @ +48" A.F.F. UNLESS NOTED OTHERWISE
\$3	3 WAY SWITCH
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—	STRIP LIGHTING
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A CUSTOM RESIDENCE PREPARED FOR MR. & MRS. TIPPETT AT LOT 102, PINE CANYON

URBAN DESIGN architecture ASSOCIATES LTD. AIA 480-905-1212 8150 N. 86TH. PLACE SCOTTSDALE, ARIZONA 85258

DATE: 6/1/2021
LG/ALS

REVISIONS:
CITY COMMENTS

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Jessica Hutchison-Rough, AIA

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Planning & Zoning Commission

5. C.

Meeting Date: 10/27/2021

From: Tiffany Antol, Senior Planner

Information

TITLE:

PZ-20-00159: Core Services Microwave Tower

A Conditional Use Permit request from the City of Flagstaff to allow a 110-foot-tall communications tower with antenna and lightening rod to extend not higher than 118-feet above grade. The proposed location is a 300 square foot portion of the City owned property that includes the Core Services Maintenance Facility located at 3200 W Route 66 within the Public Facilities (PF) Zone.

STAFF RECOMMENDED ACTION:

In accordance with the findings presented in this report, staff recommends approval of PZ-20-00159 with conditions.

Attachments

Staff Report
DRAFT Conditional Use Permit
Draft Notice of Decision
Proposition 207 Waiver
Conditional Use Permit Application
Conditional Use Permit Narrative
Public Participation Report
Tower Plan Set

PLANNING AND DEVELOPMENT SERVICES REPORT
CONDITIONAL USE PERMIT

PUBLIC HEARING
PZ-20-00159

DATE: **October 6, 2021**
MEETING DATE: **October 27, 2021**
REPORT BY: **Tiffany Antol, AICP**

REQUEST:

A Conditional Use Permit request from the City of Flagstaff to allow a 110-foot-tall communications tower with antenna and lightning rod to extend not higher than 118-feet above grade. The proposed location is a 300 square foot portion of the City owned property that includes the Core Services Maintenance Facility located at 3200 W Route 66 within the Public Facilities (PF) Zone.

STAFF RECOMMENDATION:

In accordance with the findings presented in this report, staff recommends approval of PZ-20-00159 with conditions.

PRESENT LAND USE:

City of Flagstaff Core Services Maintenance Facility.

PROPOSED LAND USE:

A new 110-foot communications tower.

NEIGHBORHOOD DEVELOPMENT:

North: Vacant Land owned by the City of Flagstaff, Coconino County jurisdiction

East: Hidden Hollow Manufactured Home Community, Coconino County jurisdiction

South: W Route 66, residential property in the Rural Residential Zone, commercial property under Coconino County jurisdiction

West: Vacant Land owned by the City of Flagstaff, Coconino County jurisdiction

I. Project Introduction

A. Background/Introduction

Section 10-40.30.060.B of the Flagstaff Zoning Code (Page 40.30-27), *Allowed Uses*, identifies Antenna-Supporting Structure as an allowed land use in the Public Facilities (PF) Zone subject to the approval of a Conditional Use Permit (CUP) by the Planning and Zoning Commission. In addition, Section 10-40.60.310 of the Flagstaff Zoning Code (Page 40.60-6), *Telecommunication Facilities*, lists additional requirements for the proposed structure.

The City decided several years ago to build and own an independent microwave network as a replacement for a leased fiber network. The point-to-point microwave radio system is designed to be interconnected in several service rings that provide a nearly unbreakable network that supports access to data, telecommunications, and control systems for utilities and other critical infrastructure. The proposed structure will support the City of Flagstaff Information Technology infrastructure, including telecommunication services between City offices and facilities,

interconnection of the City water production and distribution systems, as well as the City Fire Department's fire ground frequency. The proposed structure will be added to two other similar structures within the City including one on McMillan Mesa and one on Commerce Avenue.

The new structure is proposed to be a three-sided, lattice tower, and will be roughly 12 feet per each side of the structure base tapering to 6 feet on each side at a maximum height of 110 feet. The applicant proposes to locate four antennas on the structure as well as the previously mentioned lighting rod. Co-location of antennas is not proposed at this time. The tower will be an engineered structure that meets all required standards and is in full compliance with all FCC and FAA requirements. The tower has been cleared without the need for any lighting or marking requirements by the FAA.

Telecommunication facilities located on a preferred site, as defined by Section 10-40.60.310.E.2 of the Zoning Code (Page 40.60-65), are limited to a height of 100 feet. This application proposes development of a tower that is 10 feet above the maximum height allowed by the Zoning Code. The tower height proposed provides a minimum microwave path clearance to the Flagstaff Law Enforcement Facility and the Lake Mary Water Treatment Plant. The tower height necessary was determined utilizing a crane equipped with a basket to verify the calculated path clearances. The City of Flagstaff is not required to comply with the standards set forth in the Zoning Code, but they have worked diligently to comply with the intent of the code. The height of the structure exceeds the maximum height of 100 feet to the minimum necessary to ensure adequate emergency service connection.

II. Required Findings

The Planning Commission may approve the Conditional Use Permit only after making a finding that:

A. Finding #1:

The conditional use is consistent with the objectives of the Zoning Code and the purpose of the Zone in which the site is located.

"The Public Facility (PF) zone applies to areas of the City owned by public or quasi-public agencies. The PF zone is intended to preserve and encourage the establishment of public lands and to provide an area with the City for active and passive recreation uses, parks, public open space, governmental buildings and facilities, schools and school grounds, quasi-public buildings and facilities, and related uses."

The proposed Antenna-Supporting Structure is a government facility located within a zone that supports this use.

B. Finding #2

That granting the conditional use will not be detrimental to the public health, safety, or welfare.

If the proposed project is developed in accordance with City codes, standards, and requirements, the project should not be detrimental to the public health, safety, or welfare.

C. Finding #3

The characteristics of the conditional use as proposed, and as it may be conditioned, are reasonably compatible with the types of uses permitted in the surrounding area. The Conditional Use Permit shall be issued only when the Planning Commission finds that the Applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area (Flagstaff Zoning Code Section 10-20.40.050.E.3):

- *Access, traffic, and pedestrian, bicycle, and vehicular circulation;*

- *Adequacy of site and open space provisions, including resource protection standards, where applicable;*
- *Noise, light, visual, and other pollutants;*
- *Proposed style and siting of structure(s), and relationship to the surrounding neighborhood;*
- *Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements;*
- *Impact on public utilities;*
- *Signage and outdoor lighting;*
- *Dedication and development of streets adjoining the property; and*
- *Impacts on historical, prehistoric, or natural resources.*

1. Access and Traffic; Pedestrian, Bicycle, and Vehicular Circulation

The proposed Antenna-Supporting Structure is located within the City of Flagstaff Core Maintenance Facility (Public Works Yard) with full vehicular access to the location. It is sited so that it does not obstruct any adjacent traffic, pedestrian, bicycle and/or vehicular circulation.

2. Adequacy of Site/Open Space/Resource Provisions

The structure is proposed to be located on a site that is just over 48 acres in size and complies with all required setbacks. The structure will not have any additional impacts on the existing resources on site. All resource disturbed were accounted for as part of the original site plan. There are no open space or civic space areas required for this use.

3. Noise, Light, Visual, and Other Pollutants

The proposed structure will add no additional noise or light pollutants to the site or surrounding area. The proposed structure will be a 110-foot freestanding tower plus an 8-foot lighting protection for a total height of 118 feet above finish grade. The tower is located approximately 890 feet north of Route 66 shielded from view by existing trees. The proposed structure will be visible or partially visible from limited locations based on the photo simulations provided.

4. Style and Siting of Structure(s) and Relationship to Surrounding Neighborhood

The proposed structure is a classic triangular lattice tower with a galvanized steel finish. A similar tower exists on McMillan Mesa although shorter in overall height. The tower is sited to reduce visibility to existing surrounding properties.

5. Landscaping and Screening

Existing trees on the site will be used to meet landscaping requirements as well as provide screening for the proposed structure. No additional landscaping or screening is proposed to be provided on site.

6. Impact on Public Utilities

The proposed development has no additional impact to City utilities.

7. Signage and Outdoor Lighting

No signage is proposed for this use. Outdoor lighting will be reviewed through a separate permit in conjunction with the building permit application should this Conditional Use Permit be approved.

8. Dedication and Development of Streets

No dedication or development of public streets is required.

9. Impacts on Resources

The proposed structure is not anticipated to have any adverse impacts on prehistoric or natural resources. The development site is within previously developed land within the Core Services Maintenance Facility. The proposed location does not impact any existing trees on site.

Conditions of approval will only be imposed if they are necessary to ensure the intent and purpose of the Zoning Code are met; to ensure compatible and complementary development of the property; and to ensure the provision of appropriate off-site improvements will be fulfilled.

III. Citizen Participation

The applicant held a virtual neighborhood meeting utilizing the Microsoft Teams platform on Thursday, September 16, 2021, at 5:30 pm. There was one attendee from the public. Concerns presented included the aesthetics of the tower and if there were any alternatives to the placement of a new tower.

IV. Recommendation:

Staff recommends that the request for the CUP be granted by the Planning and Zoning Commission with the requirements included in Conditional Use Permit No. PZ-20-00159 and as follows:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application.
2. The Antenna-Supporting Structure shall be a finished galvanized metal with grey antennas without logos. Any changes, additions, or modification to the structure or antenna shall be similar in design.

V. Attachments:

The draft documents have been prepared in accordance with the staff recommendation and do not indicate the Commission's final decision. These documents will be updated after the public hearing on this case to reflect the Commission's decision.

- Draft Conditional Use Permit No. PZ-20
- Draft Notice of Decision
- Proposition 207 waiver
- Conditional Use Permit Application
 - Narrative
 - Public Participation Report
 - Development Plans

**COCONINO COUNTY, ARIZONA RECORDER
CONDITIONAL USE PERMIT
FROM GRANTOR: CITY OF FLAGSTAFF
COCONINO COUNTY, ARIZONA
OFFICE OF PLANNING AND ZONING
TO GRANTEE: CITY OF FLAGSTAFF**

Permit No. PZ-20-00159
November 7, 2021

Permission is hereby granted to the City of Flagstaff to establish an Antenna-Supporting Structure pursuant to Section 10-40.30.060.B of the *Flagstaff Zoning Code*. The Antenna-Supporting Structure consists of a three-sided lattice tower with a total height of 110 feet with an additional 8-foot lightning rod on approximately 48 acres located at 3200 W Route 66 in the Public Facility (PF) Zone, and legally described as Coconino County Assessor parcel number 112-01-001D in the city of Flagstaff, Arizona.

After a public hearing held on October 27, 2021, the Planning and Zoning Commission voted to grant this Conditional Use Permit subject to the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application.
2. The Antenna-Supporting Structure shall be a finished galvanized metal with grey antennas without logos. Any changes, additions, or modification to the structure or antenna shall be similar in design.

Furthermore, this permit is issued on the express condition that the use permitted herein shall conform in all relevant respects to the ordinances of the City of Flagstaff and the laws of the State of Arizona.

Any and all conditions endorsed on this permit are subject to periodic review by the City of Flagstaff's Planning Director. Following review, the Planning and Zoning Commission shall be notified when the conditions of operation imposed in the approval and issuance of this permit have not been or are not being complied with.

The Planning and Zoning Commission shall consider the matter of revocation and set the permit for public hearing. If the Planning and Zoning Commission finds, following the public hearing, that the conditions imposed in the issuance of this permit are not being complied with, this permit may be revoked and further operation of the use for which this permit was approved shall constitute a violation of the Zoning Code.

This Conditional Use Permit shall become null and void one (1) year from the effective date of September 4, 2021, unless the following shall have occurred:

1. A building permit has been issued and construction begun and diligently pursued; or
2. The approved use has been established; or
3. An extension has been granted by the Planning and Zoning Commission. Such extension shall be for a maximum of one hundred eighty (180) days and no extension may be granted which would extend the validity of the permit more than eighteen (18) months beyond the date of approval of the permit.
4. Property Owner shall sign Consent to Conditions/Waiver for Diminution of Value form as a condition of issuance of the Conditional Use Permit by the City.
5. Development of the use shall not be carried out until the applicant has secured all other permits and approvals required by the Zoning Code, the City, or applicable regional, State, and federal agencies.

This document ___ does modify, or X does not modify the provisions of a previous Conditional Use Permit recorded in docket _____, Office of the Coconino County, Arizona, Recorder.

Planning Director, City of Flagstaff

By: _____
Applicant (if other than the property owner)

STATE OF ARIZONA)
) ss
County of _____)

Before me, the undersigned Notary Public, personally appeared _____ who executed the foregoing document for the purposes contained therein.

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2021.

Notary Public

My Commission expires: _____

By: _____
Property Owner

Permit No. PZ-19-00159

November 7, 2021

Page 3 of 3

STATE OF ARIZONA)
) ss
County of _____)

Before me, the undersigned Notary Public, personally appeared _____ who
executed the foregoing document for the purposes contained therein.

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2021.

Notary Public

My Commission expires: _____



City of Flagstaff

October 28, 2021

CJ Perry
City of Flagstaff
211 W Aspen Avenue
Flagstaff, AZ 86001

RE: **NOTICE OF DECISION** – Conditional Use Permit No. PZ-20-00159

Dear Mr. Perry:

The Planning Commission, in accordance with Section 10-20.40.050 of the Flagstaff Zoning Code, has considered the request of the City of Flagstaff for a Conditional Use Permit on the property at 3200 W Route 66/APN 112-01-001D in the Public Facility (PF) Zoning District for an Antenna-Supporting Structure as provided in Section 10-40.30.060.B of the City of Flagstaff Zoning Code.

The Planning Commission held a public hearing on October 27, 2021, in regard to this Conditional Use Permit. The Commission found and determined that, based on the information provided in the staff report dated October 6, 2021, and at the public hearing, the facts exist as required by Section 10-20.40.050.F of the Zoning Code to justify granting the Conditional Use Permit.

Based upon the aforementioned findings, the Commission approved a Conditional Use Permit by a vote of (VOTE) for the use and location described above subject to the following conditions:

- 1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application.**
- 2. The Antenna-Supporting Structure shall be a finished galvanized metal with grey antennas without logos. Any changes, additions, or modification to the structure or antenna shall be similar in design.**

The above conditions are deemed by the Commission to be required to assure that the requested use will be compatible with neighboring uses and the growth and development of the area.

This action becomes final and effective ten (10) calendar days after the posting of this Notice of Decision on November 7, 2021, unless during these ten (10) days a written appeal to the City Clerk is filed or the City Council elects to review the application. Either appeal or City Council review shall stay the Conditional Use Permit until the City Council holds the required public hearing to consider the request.

Should you have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely,

Tiffany Antol, Senior Planner
City of Flagstaff, Current Planning Section
P. 928-213-(extension) F. 928-213-2089
(EMAIL)@flagstaffaz.gov

cc: Planning Director, City Clerk, City Council

211 West Aspen Avenue, Flagstaff, Arizona 86001

When recorded, mail to:
City Clerk
City of Flagstaff
211 W. Aspen Avenue
Flagstaff, Arizona 86001

CONSENT TO CONDITIONS/WAIVER FOR DIMINUTION OF VALUE

The undersigned is the owner of certain real property legally described as Coconino County Assessor parcel number 112-01-001D in the City of Flagstaff, Arizona that is the subject of Conditional Use Permit Application No. PZ-20-00159. By signing this document, the undersigned agrees and consents to all of the conditions imposed by the City of Flagstaff in conjunction with the approval of Conditional Use Permit No. PZ-20-00159 and waives and fully releases any and all claims and causes of action that the owner may have, now or in the future, for any "diminution in value" and for any "just compensation" under the Private Property Rights Protection Act, Arizona Revised Statutes § 12-1131, et seq., that may now or in the future exist as a result of the approval of Conditional Use Permit No. PZ-20-00159. Within ten (10) days after the execution of this Consent to Conditions/Waiver for Diminution of Value by the undersigned, the City Clerk shall cause this document to be recorded in the official records of Coconino County, Arizona.

Dated this _____ day of _____, 2021

PROPERTY OWNER:

Print Name

Sign Name

State of Arizona)
) ss
County of _____)

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2021, by:

Notary Public

My commission expires: _____




City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618

Date Received	Application for Conditional Use		File Number
Property Owner(s) City of Flagstaff Contact: CJ Perry		Phone 928.213.2821	
Mailing Address 211 West Aspen Avenue	City, State, Zip Flagstaff, Arizona 86001	Email CPerry@flagstaffaz.gov	
Applicant(s) APMI, Inc. Contact: William Reilly, AIA		Phone 602.540.5508	
Mailing Address 323 N. Leroux Street, Suite 202	City, State, Zip Flagstaff, Arizona 86001	Email wreilly@apmi.com	
Project Representative APMI, Inc. Contact: William Reilly, AIA		Phone 602.540.5508	
Mailing Address 323 N. Leroux Street, Suite 202	City, State, Zip Flagstaff, Arizona 86001	Email wreilly@apmi.com	

Project Name CUP Core Services Microwave Tower				
Site Address 3200 West Route 66, Flagstaff AZ 86001		Parcel Number(s) APN 112-01-001D	Subdivision, Tract & Lot Number Parcel 1C, Book 112, Map 1	
Zoning District Public Facilities (PF) Zone		Regional Plan Land Use Category Public Facilities	Flood Zone Zone X	
Property Information:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing City of Flagstaff Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are pre-World War II housing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Subject property is undeveloped land?			
Surrounding Uses (Res, Com, Ind)	North Undeveloped Detention Basin	South Commercial - River Runners (City CG Zone)	East Residential - Mobile Home Park	West Public Works Yard (City PF Zone)
Note: (County G Zone) (County G Zone) Conditional Use Permits are reviewed by City's Planning and Zoning Commission (P&Z), which meets the second and fourth Wednesday of every month . Applications are due by the close of business no fewer than 30 days prior to the meeting. You must provide a complete application form, along with the required number of plans and information as indicated in the attached checklist. Incomplete submittals will not be scheduled.				
Property Owner Signature		Date 9/1/2020	Applicant Signature 	Date 9/1/2020

For City Use					
Date Filed		File Number:			
Hearing Date		Pub. / Posting Date(s):		Prop. Owner Notif. Date:	
Fee Receipt Number		Amount		Date	
Action by Planning and Zoning Commission:					
Hearing Date:			Type of Request:		
<input type="checkbox"/> Approved			<input type="checkbox"/> CUP		
<input type="checkbox"/> Denied			<input type="checkbox"/> Extension		
<input type="checkbox"/> Continued					
Staff Assignments	Planning	Engineering	Fire	Public Works/Water	Stormwater

Conditional Use Permits (CUP)

Conditional uses are those uses which are presumed to be compatible with other authorized or permitted land uses in a zoning district; but require additional discretionary review, and possibly the imposition of conditions, to ensure that their location, design, and character are appropriate at a particular location. Only those uses which are authorized as conditional uses in Chapters 10-40 (Specific to Zones), may be approved as conditional uses. Further information regarding conditional uses and the CUP process can be found in Section 10-20.40.050 (Conditional Uses) of the Zoning Code.

Review

Requests for CUP are reviewed by the City's Planning and Zoning Commission (P&Z), an advisory commission appointed by the City Council. A public hearing is held in conjunction with the request in conformance with Section 10-20.30.080 of the Zoning Code. Just before the public hearing is opened, Development Services staff presents its report to the P&Z, and the applicant is given an opportunity to make a presentation regarding the request. During the public hearing, any person may give testimony or submit written materials regarding the proposal. At the conclusion of the public hearing, the P&Z may approve the application as presented, approve the application with conditions, or deny the application. The P&Z may also continue the public hearing to a future meeting if additional information is needed before action can be taken. P&Z meetings are open to the public in compliance with the State's Open Meeting Law, and agendas are posted at City Hall no less than 24 hours prior to the meeting. Minutes are kept of all P&Z meetings.

Schedule

The Planning and Zoning Commission meets on the second and fourth Wednesday of every month at 4:00 p.m. in the afternoon. An application for a CUP must be made by the close of business at least 30 calendar days prior to a regularly scheduled P&Z meeting. Please be aware that a project must receive formal Site Plan Review approval from the Planning Director before a CUP application can be submitted.

Attendance by the applicant or a project representative at the Planning and Zoning Commission hearing is mandatory.

Submission Requirements

All applications for CUP must be accompanied by the following information:

- ☐ Application Fee
- ☐ 10 copies of proposed development plans
- ☐ Location/vicinity map
- ☐ Written response to the required findings for a Conditional Use Permit (Section 10-20.40.050 of the Zoning Code)
- ☐ List of property owners, parcel numbers, and assessor's maps, for properties within 300 feet

Application Fee

An application fee payable to the "City of Flagstaff", must be paid at the time an application for a CUP is submitted. The fee helps cover the cost of meeting noticing and advertising requirements.

Signatures

All applications must be signed and dated by both the applicant and the owner of the property.

Proposed Development Plans

Proposed development plans that must be submitted in conjunction with a CUP application are the same as those required for formal Site Plan Review (see list below). Refer to the Site Plan Review Application for a complete description of these plans and the information that must be depicted on them.

- ☐ Site plan
- ☐ Building elevations (one copy in color)
- ☐ Building floor plans
- ☐ Landscape plan
- ☐ Resource survey and protection plan (when applicable)
- ☐ Exterior lighting plan
- ☐ Preliminary signage plan

All plans submitted with the application must be folded to approximately 8.5 x 11 inches in size.

Location/Vicinity Map

The location/vicinity map shows adjacent streets and properties, as well as the land uses and zoning for those properties. Any contiguous property owned by the property owner or applicant must also be shown. The location/vicinity map must be drawn to scale and include dimensions. The location/vicinity map can be made a part of the site plan where space permits.

Findings for Granting a CUP

The CUP may be issued only when the P&Z finds that the applicant has considered and adequately addressed all of the following issues to ensure that the proposed use will be compatible with the surrounding area. Therefore, the CUP application must include a written response indicating how the request meets the findings identified in Section 10-20.40.050 of the Zoning Code. Attach substantiating documentation when necessary.

1. That the conditional use is consistent with the objectives of the Zoning Code and purpose of the zone in which the site is located.
2. That granting the conditional use will not be detrimental to the public health, safety or welfare. The factors to be considered in making this finding shall include, but not be limited to:
 - a. Property damage or nuisance arising from noise, smoke, odor, dust, vibration, or illumination;
 - b. Hazard to persons or property from possible explosion, contamination, fire, or flood; and,
 - c. Impact on surrounding areas arising from unusual volume or character of traffic.
3. That the characteristics of the conditional use as proposed and as it may be conditioned are reasonably compatible with the types of uses permitted in the surrounding area. The Conditional Use Permit shall be issued only when the Planning Commission finds that the applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area:
 - a. Access and traffic; pedestrian, bicycle, and vehicular circulation;
 - b. Adequacy of site and open space provisions, including site capacity and resource protection standards where applicable;
 - c. Noise, light, visual, and other pollutants;
 - d. Proposed style and siting of structure(s), and relationship to the surrounding neighborhood;
 - e. Landscaping and screening provisions;
 - f. Impact on public utilities;
 - g. Signage and outdoor lighting;
 - h. Dedication and development of streets adjoining the property; and
 - i. Impacts on historical, prehistoric, or natural resources.

Neighborhood Meeting

A neighborhood meeting in accordance with Section 10-20.30.060 of the Zoning Code may be required. The applicant shall work with the Planning Development Manager to determine if a meeting is required.

Applications will not be accepted or scheduled until all submission requirements are met. Neither the application nor accompanying development plans can be amended or modified once an application has been submitted.

Process to Schedule and Notify Affected Property Owners of a Public Hearing before the Planning and Zoning Commission

Step 1: Schedule Planning and Zoning Commission Hearing

Work with the Planning Development Manager handling the CUP case to schedule a hearing before the P&Z Commission.

Step 2: Notification to Affected Property Owners

The applicant for public hearings in the City of Flagstaff shall **post signs and notify affected property owners by mail** as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code to assist in providing adequate notice to interested parties and to meet Arizona State Statutes.

The applicant is also responsible for establishing a list of the names and addresses of persons who require notification of a public hearing as established in sections 10-20.30.60.(A).3, 10-20.30.60.(B), and 10-20.30.60.(C) of the Zoning Code. These persons include:

- ☐ Each real property owner (if different from the applicant) as shown on the last assessment of the property, of any land within the areas subject to the application for which the public hearing is required.
- ☐ Each real property owner (if different from the applicant) as shown on the last assessment of the property of any land which is located within 300 feet of the property subject to the application for which the public hearing is required. The Director may expand the notification area based on the location and context of the subject property if it is determined that the potential impact of the development extends beyond the required notification boundary.
- ☐ The situs or actual address of all tenants and residents living on the subject property.
- ☐ All local government agencies which have reviewed and commented on the proposed development or Zoning Map amendment or which about the subject property.

The applicant is required to mail a notice of required public hearing via first class mail to each of the persons on the list referenced above no later than 15 days prior to the public hearing date.

The applicant must also erect and maintain a sign on the subject property no later than 15 days prior to the public hearing, and to update the hearing information on the sign until final disposition of the case. It shall also be the responsibility of the applicant to remove the sign within seven (7) days after the final disposition of the case.

Step 3: Documentation of Notification to Affected Parties

The applicant must submit a notarized copy of the mailing list, *Affidavit of Notifications to Affected Property Owners*, and *Affidavit of Sign Posting* to the Director prior to the fifteenth day before the public hearing date.

The *Public Hearing Notice Sign Specification* and *Mailing Notification Instructions* documents provide detailed instructions on posting and notifications requirements.

Expiration

A CUP expires one year from the date of P&Z approval unless a grading or building permit is obtained or the use is established. The P&Z may grant a one-time extension of 180 days following a formal request for such an extension by the applicant. The extension must be approved before the CUP expiration date.

Appeals

Any person aggrieved by a decision of the P&Z to approve or deny a CUP (including the applicant) may file an appeal with the City Council. An appeal must be submitted in writing to the Planning Director or Community Development Director within 10 days of the P&Z's decision. The City Council will conduct a public hearing and at the conclusion of the hearing shall affirm, reverse, or modify the decision.

Public Record

All information submitted in conjunction with this application will become part of the public record and may be provided to members of the public. You must notify the City prior to submitting this application if you believe the information you are submitting may be proprietary or confidential.

For Further Information

For further information regarding the application and submission requirements for a CUP, please contact:

Planning and Development Services Section
 City of Flagstaff
 211 W Aspen Avenue
 Flagstaff AZ 86001
 928-213-2618
cdfontcounter@flagstaffaz.gov

Mailing Notification Instructions

Every mailed notice of a public hearing shall include:

- The date, time, location and purpose of the hearing;
- The name of the body conducting the hearing, and a telephone number to receive additional information;
- The location and times at which the complete application and development file may be viewed by the public;
- The address or location of the subject property;
- A general description of the proposed development or action and the property included in the application;
- A statement that any interested person or authorized agent may appear and be heard;
- A statement describing how and when to submit written comments;
- The existing zone classification; and
- The words “Zoning,” “Annexation,” or “Conditional Use Permit” as applicable.

Notices of required public hearings shall be sent by first class mail to the following persons:

- Each real property owner (if different from the applicant) as shown on the last assessment of the property, of any land within the areas subject to the application for which the public hearing is required.
- Each real property owner (if different from the applicant) as shown on the last assessment of the property of any land which is located within 300 feet of the property subject to the application for which the public hearing is required. The Director may expand the notification area based on the location and context of the subject property if it is determined that the potential impact of the development extends beyond the required notification boundary.
- The situs or actual address of all tenants and residents living on the subject property.
- All local government agencies which have reviewed and commented on the proposed development or Zoning Map amendment or which abut the subject property.

Additional noticing requirements:

In proceedings involving one or more of the following proposed changes or related series of changes in the standards governing land uses, notice shall be provided as described in subsections (2) and (3) below:

- A 10 percent or more increase or decrease in the number of square feet or units that may be developed.
- A 10 percent or more increase or reduction in the allowable height of buildings.
- An increase or reduction in the allowable number of stories of buildings.
- A 10 percent or more increase or decrease in setback or open space requirements.
- An increase or reduction in permitted uses.

2. Notice shall be sent to all persons or groups whose names are on the registry of persons and groups described in subsection (B) of this section who are interested in receiving such notice.

3. Notice shall be provided to real property owners in compliance with at least one of the following notification procedures:

- Notice shall be sent by first class mail to each real property owner, as shown on the last assessment, whose real property would be directly governed by the changes.
- Notice shall be included with water bills or other City mass mailings.
- Notice shall be published in a newspaper of general circulation published or circulated in the City in the form of a “display ad” covering not less than one-eighth of a full page.

Affidavit of Notifications to Affected Property Owners

Case Number: _____

Project Name: _____

Applicant Name: _____

Location: _____

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the **applicant** for public hearings in the City of Flagstaff shall notify affected property owners as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to establish a list of the names and addresses of persons who require notification of a public hearing as established in sections 10-20.30.60.(A).3, 10-20.30.60.(B), and 10-20.30.60.(C) of the Zoning Code, and mail a notice of required public hearing via first class mail to each of the persons on the list referenced above no later than 15 days prior to the public hearing date. It shall also be the responsibility of the applicant to submit a notarized copy of the mailing list to the Director prior to the fifteenth day before the public hearing date.**

I confirm that the public hearing notifications were mailed as detailed in Section 10-20.30.080 of the City of Flagstaff Zoning Code at least fifteen (15) days prior to the public hearing.

Applicant's/Representative's Signature: _____

SUBSCRIBED AND SWORN before me this _____ day of _____, 20__ by:

Notary Public

My Commission Expires:

Public Hearing Notice Sign Specification

- The sign shall be a minimum of 3 feet x 3 feet in size.
- The sign shall be constructed of laminated coroplast, laminated plywood, or other suitable construction material.
- The sign shall have a white background with black lettering. The least expensive process is laminated direct printing.
- The minimum lettering size shall be 1.2 inch for lowercase and 1 inch for upper case.
- The words “Public Hearing” shall be a minimum of 2 inches in size (Sign lettering should be formatted to match the example below).
- The content of the sign shall match the example below and include specific case details.
- The sign shall be securely fastened to wooden or metal stakes.
- The applicant is responsible for maintaining the integrity and accuracy of the sign.
- The height of the sign shall be at least 4 feet from finished grade to top of sign and shall not be obstructed from view.

City of Flagstaff
PUBLIC HEARING
Planning and Zoning Commission: (Date and Time)
LOCATION OF HEARING(S):
REQUEST:
PROPOSAL:
GENERAL LOCATION:
SIZE OF SITE:
CASE#
APPLICANT/CONTACT:
PHONE #:
Planning & Development Services Department: 928-213-2600
Posting Date:

Affidavit of Sign Posting

Case Number: _____

Project Name: _____

Applicant Name: _____

Location: _____

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the **applicant** for public hearings in the City of Flagstaff shall post signs as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to erect and to maintain the sign on the subject property 15 days prior to the hearing and to update the hearing information on the sign until final disposition of the case. It shall also be the responsibility of the applicant to remove the sign within seven (7) days after the final disposition of the case.**

I confirm that the site has been posted as detailed in Section 10-20.30.080 of the Zoning Code as well as the Public Hearing Notice Sign Specifications included in this application for the case above and the site was posted at least fifteen (15) days prior to the public hearing.

See attached date stamped photo exhibit of posted signs.

Applicant's/Representative's Signature: _____

SUBSCRIBED AND SWORN before me this _____ day of _____, 20__ by:

Notary Public

My Commission Expires:

PROJECT NARRATIVE

January 21, 2021

Re: Written Narrative for CUP Review COF Core Facility Microwave Tower
City of Flagstaff – Core Services Maintenance Facility
3200 West Route 66
Flagstaff, Arizona 86001
APN #: 112-01-001D
112-01-002

The following is a written narrative of the proposed CUP revision to the previously approved site plan for the City of Flagstaff Core Services Maintenance Facility project. This request is for CUP approval for Microwave Communications Tower to provide final dimensions for the tower height and materials. Through the design and permitting process, the final location of the communications tower has been moved from the original location approved in the drawings dated November 3, 2016. The new location is approximately 30' south of the previously approved location.

General Project Information:

The facility will include installation of a 110' free standing tower structure plus 8' lightning protection for a total height of 118' Above Finish Grade (AFG). It will be completely installed within the fenced area surrounding the public works yard, approximately 890' North of West Rt. 66, shielded from view by existing trees and foliage at the site between the site and the highway. The City of Flagstaff Microwave Radio Network is a Licensed network of point to point microwave radio systems. The reason for this CUP request is that the maximum permitted tower height of 100' will not achieve the required unobstructed line of site paths to City facilities due to surrounding pine trees and topography. However, with the requested addition of 10' tower height and the required 8' lightning protection, unobstructed line of site paths will be achieved, and the facility will help maintain critical communications pathways for City facilities and emergency services.

Findings #1 Narrative:

The conditional use is consistent with the objective of the Zoning Code and the purpose of the zone in which the site is located, as follows:

The site is located in the existing Public Facilities (PF) Zone and is a public Telecommunications Facility per 10.40.60.310. The type of use is a defined purpose within the zone in which the site is located. The conditional use request for 118 feet total height in lieu of 100 feet approved in base zoning is consistent with the objective of the Zoning Code. The additional height is required for City of Flagstaff emergency and City operations to function with efficiency and redundancy as outlined in the following paragraphs, and the intent of section 10-40.30.060.A.1 Public Facilities Zone is to allow Public Facilities to function for the good of the overall community and the intent of section 10-40.60.310 Telecommunications Facilities is to accommodate the communications needs in the City while protecting public health, safety and welfare by (per A.2) Minimizing adverse visual effects and (Per A.5) Locating telecommunications facilities away from residential neighborhoods and historical sites where feasible.

To this goal, this facility is located on the site to be as distant from historic Route 66 and historic McAllister Ranch within the overall site as was feasible. This facility is shielded from adjacent Residential by the existing flood control dam and existing tree and forest area for landscape screening. Photo exhibits are provided to demonstrate the proposed locations lack of adverse visual effect.

The site is well away from Rt. 66 corridor and is only visible from a few locations. The City of Flagstaff IT department believes this proposal to be in compliance with Flagstaff Zoning Code, Telecommunications Facilities 10-40.60.310, but with height as indicated in this narrative. The tower will be an engineered structure that meets EIA/TIA 222-G standards for the required application, in compliance with 10-40.60.310C-1 and is in full compliance with all FCC and FAA regulations. The tower has been reviewed by the FAA as project NILES-000432848-17 with an Aeronautical Study of 2017-AWP-9911-OE to evaluate any hazards to navigation and is has been cleared without any lighting or marking requirements. There is no new outdoor lighting, other than access / task lighting that is active during maintenance activity and is motion activated for security. All site lighting will be per previously approved site plan with no change. The site will have posted markings only as required by FCC Rules, specifically tower ownership identification and registration.

The tower height indicated above provides a minimum microwave path clearance to Flagstaff Law Enforcement Facility and Lake Mary Water Treatment Plant. Other paths may function correctly at lower heights and will be licensed and installed at the lower height, as long as such reduced height does not affect the function of the microwave path which requires an unobstructed line of site path with a 0.6F clearance of the first Fresnel zone (https://en.wikipedia.org/wiki/Fresnel_zone) along that path. Although the tower is located in a 'Preferred' location (10-40.60.310D-b & c) allowing a 100' height, the requested maximum height is consistent with a 'Preferred' site location (10-40.60.310C-10) with requested waiver. The tower heights were obtained by using a Crane equipped with a Personnel Basket to verify the calculated path clearances. The proposal is in compliance with 10-40-60-310D 3f located 890' from Rt. 66. The proposal is in compliance with 10-40.60.310E 1c as a Preferred location. All radio emissions are in compliance with 47 USC332 ©(B)(iv) for RF Emissions

Finding #2 Narrative:

The granting of the conditional use will not be detrimental to the public health, safety, or welfare for: Property damage or nuisance arising from noise, smoke, odor, dust, vibration, or illumination.

The proposed installation of additional height beyond the approved tower, will not create any noise, smoke, odor, dust, vibration, or illumination beyond the already approved current site uses.

Hazard to persons or property from possible explosion, contamination, fire or flood.

The proposed installation of additional height beyond the approved tower, will not create any additional hazard to persons or property beyond the already approved current site uses. The additional height requested is a total of 118 feet. The property line of the parcel is over 195 feet away from the tower.

Impact on surrounding areas arising from unusual volume or character of traffic.

The proposed installation of additional height beyond the approved tower will not create any additional traffic in volume or character.

Finding #3 Narrative:

The characteristics of the conditional use as proposed are reasonably compatible with the types of uses permitted in the surrounding area, in the following ways:

- a. Access, traffic, and pedestrian, bicycle and vehicular circulation; The tower facility is located within the City of Flagstaff Core Maintenance Facility (Public Works Yard) with full vehicular access to the location. It is sited so that it does not obstruct any adjacent traffic, pedestrian, bicycle and/or vehicular circulation
- b. Adequacy of site and open space provisions, including resource protection standards, where applicable; The tower facility is sited in a location that is allowed with the ordinance. This request is for a conditional use permit for a new Telecommunications Tower, including additional height of the tower. Within the Core Services site, we have located the tower facility to be as far from Route 66 as is possible

within the developed site, so that historic viewsheds are maintained, and site undeveloped open space is not additionally disturbed.

c. Noise, light, visual and other pollutants; This facility will add no additional noise or light pollutants to the site or surrounding area. Visual influence of this CUP request is limited to 18' at the top of the tower including the 8' lighting protection device. A description of this use is as described in the preceding paragraphs. The proposed tower, and its visual influence on the site is consistent with the existing cell tower on site and is located on a preferred site for the use. Both are visually recognizable as tower elements and are both visually screened by the surrounding landscape to a great extent as shown in the attached viewshed renderings.

d. Proposed style and siting of structure(s), and relationship to the surrounding neighborhood; The tower style and structure is a classic triangular lattice tower, galvanized steel finish. Visually, the requested tower height approval will blend with the sky and clouds to a great degree. Visual representations of the proposed location are included with this request, to demonstrate this relationship. The tower is sited on the existing public works yard, within a campus of similar utility type buildings and vehicles.

e. Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements; Native landscaping and existing tree buffer zones at the edges of the proposed site are proposed to remain, as screening for the tower. Visual representations of the proposed location, from multiple directions, have been provided to demonstrate the full extent of how the tower will be set back and screened from Route 66 and other adjacent properties.

f. Impact on public utilities; This CUP proposal will have no adverse impact on public utilities and will greatly increase the ability of the City of Flagstaff critical communications network to function properly for the citizens. The additional height requested is a vital component of maintaining critical communications pathways for City facilities and emergency services to function properly for the community benefit.

g. Signage and outdoor lighting; No additional signage or outdoor lighting is a part of this CUP request.

h. Dedication and development of streets adjoining the property; No additional street development is impacted or proposed as part of this CUP request.

i. Impacts on historical, prehistoric or natural resources. The proposed additional height will not impact visibility from Historic Route 66 or surrounding historic areas. No adverse impact is anticipated to prehistoric or natural resources. The tower will be sited on previously developed land within the Core Services Public Works yard site. The new location of the communications tower does not impact any of the trees in the previously approved resource protection plan – no changes are proposed to vegetation or natural resources. Previous building setbacks, building footprints and heights will remain unchanged within the developed site area of the Core Services facility.

Thank you for your time reviewing this submittal. Please contact us if you have any questions.

Sincerely,

APMI, Inc.



Will Reilly, AIA, LEED AP BD+C
Principal

Attachments: None
cc: File



To: Whom it may concern

From: CJ Perry

Date: 9/21/2021

Re: Public Outreach Report

On September 16th, 2021, we conducted a Public Outreach for the Conditional Use Permit Application for Project PZ-20-00159 for a Communication Tower. We had one attendee from the public; Nancy Helin. We had Tiffany Antol representing City Planning. Finally, we had CJ Perry, Paul Santana, and Tim Harrington representing City Staff applying for the Conditional Use Permit.

Nancy's concerns were primarily focused on the aesthetics of the tower. She expressed concerns on the height of the tower, the location of the tower, the color of the tower, and how many antennas would be on the tower.

We described that the actual location itself doesn't have a significant amount of flexibility due to the line of site needed for the Lake Mary Water Plant.

Regarding general aesthetics, we encouraged Nancy to look at the tower next to the USGS campus on McMillan Mesa as it's very similar to the one we plan to erect at the Public Works location. She expressed that she had driven by there many times and not noticed the tower, which was encouraging as it indicated it didn't appear to detract too greatly from the environment.

We discussed possible co-location on other towers in the area. The cell phone tower near the front of the Public Works property is not tall enough, nor in the ideal location for line of site to Lake Mary. We discussed the Kaff radio tower near Railroad Springs by Dunham street and Kaibab Lane. In that case, we would still need a tower to bounce the signal from the Kaff tower to the Public Works location.

We assured Nancy that there would not be any large lights on the tower as is currently on the Kaff tower.

We also agreed to look at putting conditions on the tower to ensure the tower didn't become over-populated with dozens of antennas. As this tower is specific to City use with a particular interest on our Water Infrastructure, we will explore conditions that restrict use of the tower to those purposes only, rather than co-location of cell towers or other private sector use. This will limit the total possible number of items attached to that tower.

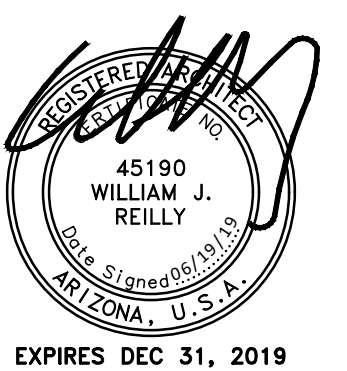
Thanks,
CJ Perry
Director of Information Technology
City of Flagstaff



CITY OF FLAGSTAFF
CORE SERVICES
3200 WEST ROUTE 66
FLAGSTAFF, ARIZONA 86001

APM
ARCHITECTURE PLANNING INTERIORS

T: 480.968.0709
WWW.APM.COM

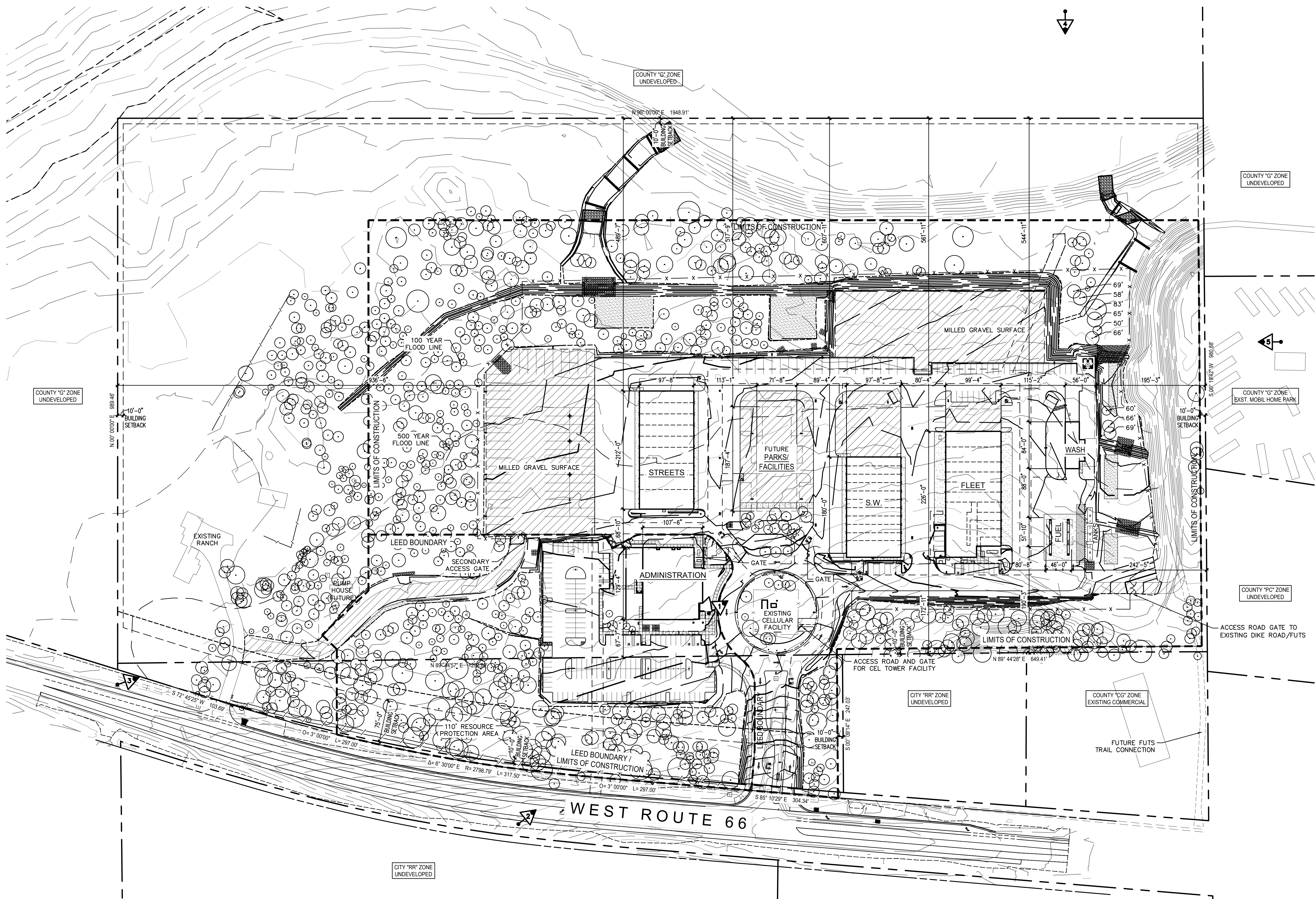


EXPIRES DEC 31, 2019

DRAWN JCG
DATE 19.JUNE.2019
PROJECT 16108.00

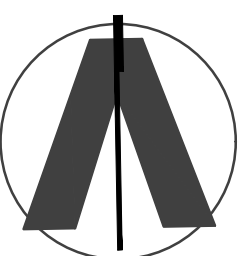
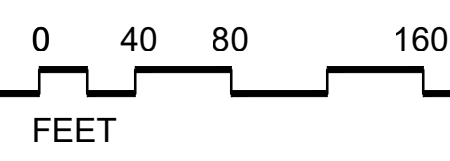
OVERALL
SITE PLAN

AS1.0



SITE PLAN

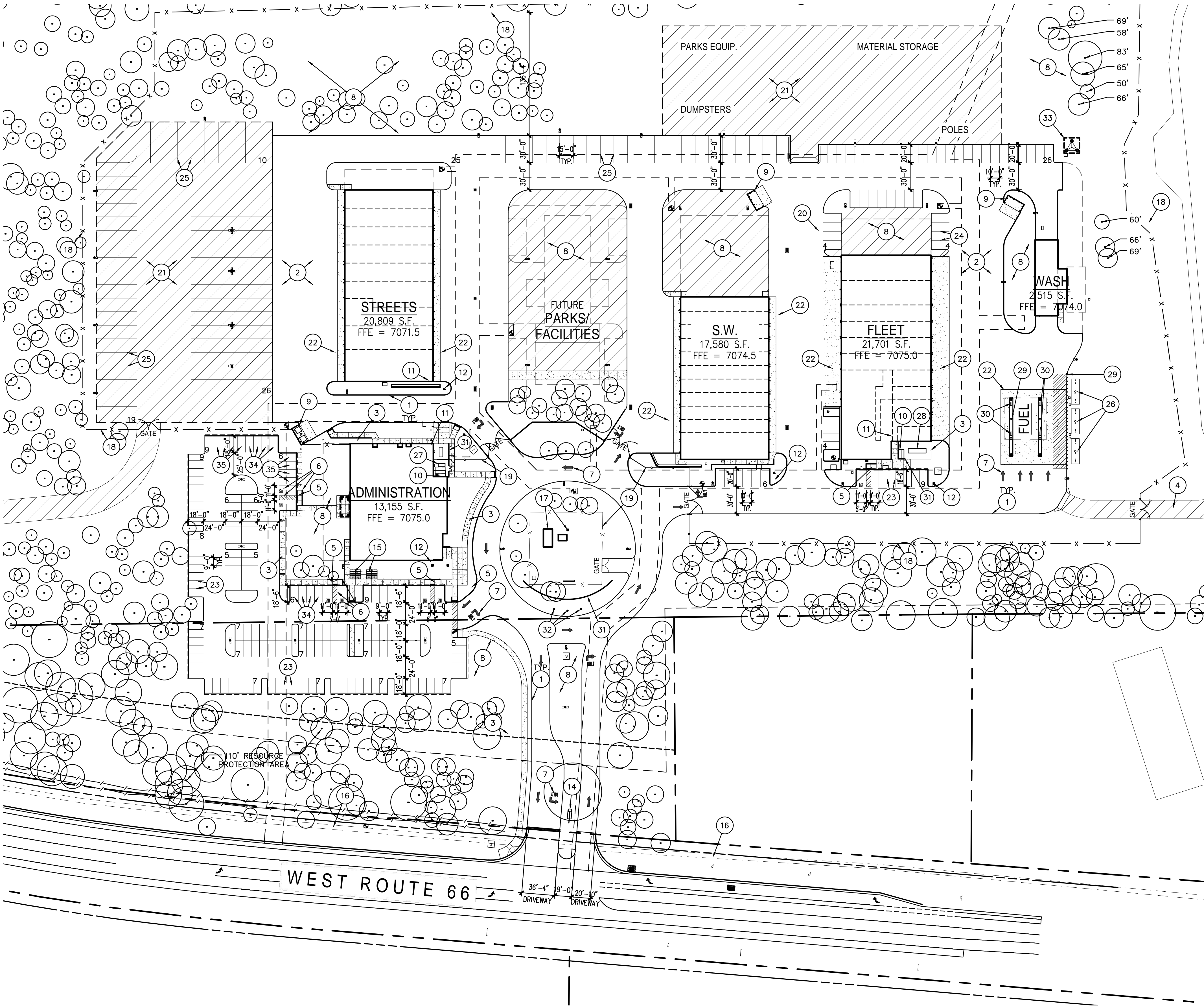
SCALE: 1" = 80'-0"



LEGEND

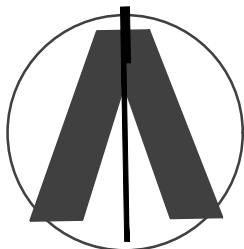
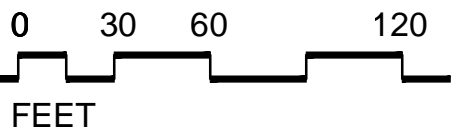
LOCATION OF PHOTO - SEE SHEET AS1.3

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SITE PLAN

SCALE: 1" = 60'-0"



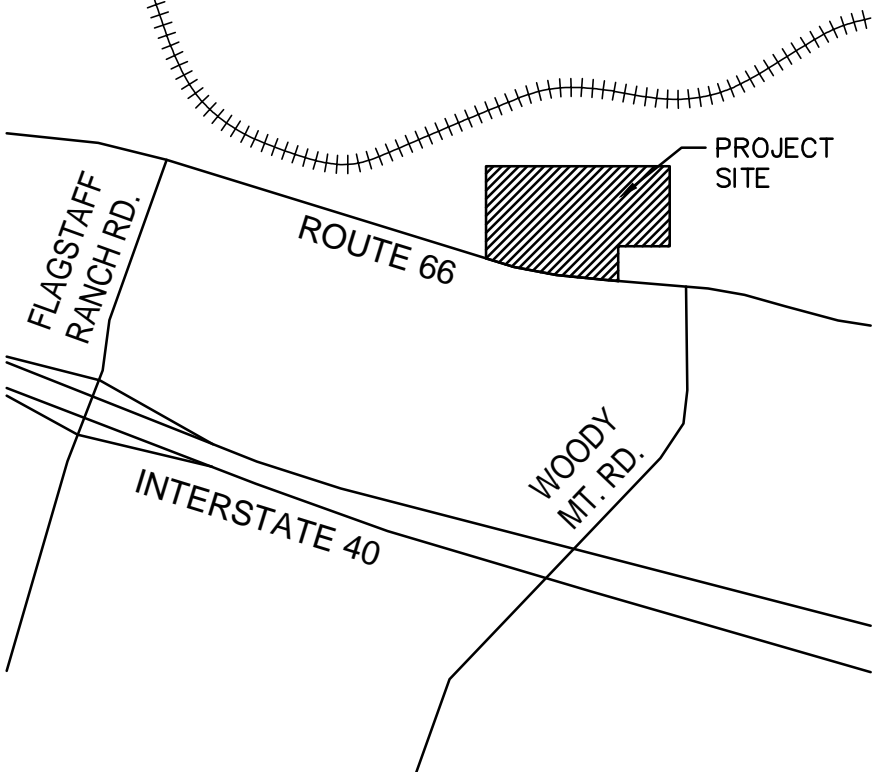
KEYNOTES

1. CAST-IN-PLACE CONCRETE CURB — SEE CIVIL DRAWINGS
2. ASPHALTIC/PCCP PAVING
3. 4" INTEGRALLY COLORED CONCRETE SIDEWALK ON GRADE, TO MATCH CITY OF FLAGSTAFF STANDARDS.
4. FUTS CONNECTION
5. ADA RAMP — 7/AS1.2
6. ADA PARKING AND SIGNAGE PER CITY OF FLAGSTAFF STANDARDS — SEE DETAIL 4/AS1.2
7. PAINTED DIRECTION ARROWS
8. LANDSCAPE AREA — SEE LANDSCAPE DRAWINGS
9. TRASH ENCLOSURE PER CITY OF FLAGSTAFF STANDARD DETAILS — SEE DETAIL 6/AS1.3
10. SES EQUIPMENT LOCATION
11. FIRE RISER LOCATION
12. FIRE DEPARTMENT CONNECTION (FDC) PER CITY OF FLAGSTAFF FIRE REQUIREMENTS.
13. FIRE TRUCK TURNING RADIUS.
14. MONUMENT SIGN — SEE DETAIL 10/AS1.3
15. BIKE RACK — 8/AS1.3
16. FUTURE SIDEWALK BY OTHERS.
17. EXISTING CELLULAR TOWER AND EQUIPMENT SHED.
18. 6' HIGH CHAIN LINK FENCE — SEE DETAIL 7/AS1.4
19. 6' HIGH WROUGHT IRON FENCE — SEE DETAIL 1/AS1.4
20. SAND OIL INTERCEPTOR
21. MILLED ASPAHALT GRAVEL SURFACE.
22. CONCRETE APRON
23. STANDARD PARKING 9'X19' TYP.
24. SMALL TRUCK PARKING 10'X20' TYP.
25. OVERSIZED VEHICLE PARKING — SEE CIVIL DRAWINGS
26. ABOVE GROUND FUEL TANKS TO BE RELOCATED FROM EXISTING FACILITY.
27. MECHANICAL EQUIPMENT
28. EMERGENCY GENERATOR
29. EMERGENCY FUEL SHUT OFF SWITCH.
30. FUEL ISLAND
31. 8'-4" HIGH CMU WALL — SEE DETAIL 1/AS1.3
32. FLAGPOLE LOCATIONS. 35'-0" FEDERAL POLE, 25'-0" STATE POLE AND 20'-0" LOCAL POLE — SEE DETAIL 12/AS1.3
33. NEW CITY COMMUNICATIONS TOWER BY OTHERS
34. CARPOOL/VANPOOL SPACE — SEE DETAIL 3/AS1.2
35. LOW EMISSION VEHICLE SPACE — SEE DETAIL 3/AS1.2

PROJECT DATA

OWNER: CITY OF FLAGSTAFF CORE SERVICES	
ARCHITECT: APMI, INC. 323 NORTH LEROUX STREET FLAGSTAFF, ARIZONA 86001	
WILL REILLY T 480.988.0709 E wreilly@apmi.com	
PROJECT LOCATION: 3200 WEST ROUTE 66 FLAGSTAFF, ARIZONA 86001	
PARCEL NUMBER: 112-01-001D 112-01-002	
PROJECT DESCRIPTION: CONSTRUCTION OF A NEW SERVICE YARD WITH SUPPORT FACILITIES AND ASSOCIATED SITE IMPROVEMENTS	
EXISTING ZONING: PUBLIC FACILITY (PF)	
PROPOSED USE: GOVERNMENT OFFICES	
AREA CALCULATIONS:	
SITE AREA:	2,096,298 S.F. (48.12 ACRES)
EXISTING IMPERVIOUS AREA:	0 S.F.
PLANNED IMPERVIOUS AREA:	289,829 S.F.
MILLED ASPHALT AREA:	121,321 S.F.
BUILDING AREAS:	
ADMINISTRATION:	13,155 S.F.
FLEET MAINTENANCE:	21,570 S.F.
SOLID WASTE:	17,580 S.F.
STREETS:	20,705 S.F.
WASH:	2,515 S.F.
TOTAL BUILDING AREA:	86,550 S.F.
FUEL CANOPY:	2,116 S.F.
ALLOWED GROSS FAR:	0.40
PLANNED GROSS FAR:	0.05
ALLOWED BUILDING HEIGHT:	60'-0"
PLANNED BUILDING HEIGHTS:	
ADMINISTRATION:	(1 FLOOR) 24'-6"
FLEET MAINTENANCE:	(1 FLOOR) 30'-0"
SOLID WASTE:	(1 FLOOR) 21'-3"
STREETS:	(1 FLOOR) 21'-3"
WASH:	(1 FLOOR) 20'-0"
FUEL CANOPY:	(1 FLOOR) 19'-0"
PARKING CALCULATIONS:	
REQUIRED PARKING: (PUBLIC SERVICE 1/EMPLOYEE)	146 SPACES
REQUIRED H.C. PARKING: (141-200 SPACES)	7 SPACES
PROVIDED PARKING:	
ADMINISTRATION:	144 SPACES
ADMINISTRATION H.C. PARKING:	6 SPACES
SERVICE YARD EMPLOYEE SPACES:	18 SPACES
SERVICE YARD EMPLOYEE H.C. SPACES:	1 SPACE
SERVICE YARD PARKING:	144 SPACES
TOTAL PARKING PROVIDED:	313 SPACES
LOW EMISSION PARKING:	(5% OF 150) 8 SPACES
CARPOOL PARKING:	(5% OF 150) 8 SPACES
REQUIRED BICYCLE PARKING:	(5% OF REQ. VEHICLE) 16 SPACES
PROVIDED BICYCLE PARKING:	20 SPACES
APPLICABLE CODES:	
2012 INTERNATIONAL BUILDING CODE	
2012 INTERNATIONAL MECHANICAL CODE	
2012 INTERNATIONAL PLUMBING CODE	
2011 NATIONAL ELECTRIC CODE	
2009 INTERNATIONAL ENERGY CONSERVATION CODE	
2012 INTERNATIONAL FUEL GAS CODE	
2012 INTERNATIONAL FIRE CODE	
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN	
CONSTRUCTION TYPE: TYPE II-B CONSTRUCTION	
OCCUPANCY AND AREA LIMITATIONS:	
OCCUPANCY TYPE	ALLOWABLE AREA
B	23,000 S.F.
S-1	17,500 S.F.
H-3	14,000 S.F.
ALLOWABLE BUILDING HEIGHT	
3 STORIES	
2 STORIES	
2 STORIES	

VICINITY MAP N.T.S.



CITY OF FLAGSTAFF
CORE SERVICES

APMI
ARCHITECTURE PLANNING INTERIORS

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FLAGSTAFF, ARIZONA 86001



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SITE
PLAN

AS1.1



GENERAL NOTES

- A. RENDERINGS REPRESENT APPROXIMATE COLOR OF TOWER
- B. RED SECTIONS IN PHOTO RENDERINGS REPRESENT SECTIONS OF THE TOWER SCREENED BY NATURAL VEGETATION.
- C. EXISTING NATURAL VEGETATION PROVIDES MOST OF THE SCREENING FROM ADJACENT PROPERTIES



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5 PHOTO/RENDERING FROM HIDDEN HOLLOW
SCALE: N.T.S.



3 PHOTO/RENDERING FROM ROUTE 66
SCALE: N.T.S.



1 PHOTO/RENDERING FROM ADMIN. BUILDING
SCALE: N.T.S.



5 PHOTO OF FINISH SAMPLE
SCALE: N.T.S.

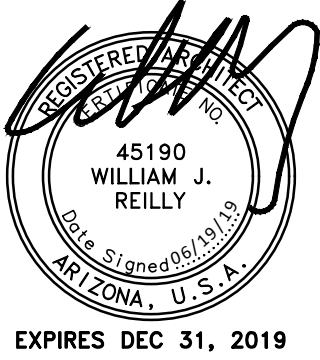


4 PHOTO/RENDERING FROM McALISTER BASIN
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2 PHOTO/RENDERING FROM TIMBER SKY
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RENDERINGS

AS1.3

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Product Specifications



DB224-B
1-port omni exposed dipole antenna, 155–165 MHz, 360° HPBW, fixed electrical tilt

- Broad response
- Two-piece mast for ease of shipping

Electrical Specifications

Frequency Band, MHz	155–165
Gain, dBi	8.1
Beamwidth, Horizontal, degrees	360
Beamwidth, Vertical, degrees	16.0
Beam Tilt, degrees	0
VSWR Return Loss, dB	1.5 14.0
Input Power per Port, maximum, watts	500
Polarization	Vertical
Impedance	50 ohm

General Specifications

Operating Frequency Band	155 – 165 MHz
Antenna Type	Omni
Band	Single band
Performance Note	Outdoor usage

Mechanical Specifications

RF Connector Quantity, total	1
RF Connector Quantity, low band	1
RF Connector Interface	N Male
Color	Silver
Grounding Type	RF connector inner conductor and body grounded to reflector and mounting bracket
Radiator Material	Aluminum
RF Connector Location	Bottom
Wind Loading, maximum	560.5 N @ 100 mph 126.0 lbf @ 100 mph
Wind Speed, maximum	130 km/h 81 mph

Dimensions

Length	6477.0 mm 255.0 in
Net Weight, without mounting kit	15.9 kg 35.1 lb

Regulatory Compliance/Certifications

Agency	Classification
RohS 2011/65/EU	Compliant by Exemption

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ANTENNA #3

SCALE: N.T.S.

Product Specifications



VHLPX3-23/A
1.0 m | 3 ft ValuLine® High Performance Low Profile Antenna, dual-polarized, 21.200–23.600 GHz

Product Classification

Brand	ValuLine®
Product Type	Microwave antenna

General Specifications

Antenna Type	VHLPX - ValuLine® High Performance Low Profile Antenna, dual-polarized
Diameter, nominal	1.0 m 3 ft
Polarization	Dual

Electrical Specifications

Beamwidth, Horizontal	1.0 °
Beamwidth, Vertical	1.0 °
Cross Polarization Discrimination (XPD)	30 dB
Electrical Compliance	Brazil Anatel Class 2 Canada SRSP 321.8 Part A ETSI 302 217 Class 3 US FCC Part 101A
Front-to-Back Ratio	71 dB
Gain, Low Band	44.5 dBi
Gain, Mid Band	44.8 dBi
Gain, Top Band	45.0 dBi
Operating Frequency Band	21.200 – 23.600 GHz
Radiation Pattern Envelope Reference (RPE)	7172A
Return Loss	17.7 dB
VSWR	1.30

Mechanical Specifications

Fine Azimuth Adjustment	±15°
Fine Elevation Adjustment	±15°
Mounting Pipe Diameter	90 mm–120 mm 3.5 in–4.7 in
Net Weight	17 kg 37 lb
Side Struts, Included	0
Side Struts, Optional	1 inboard
Wind Velocity Operational	180 km/h 112 mph
Wind Velocity Survival Rating	250 km/h 155 mph

Wind Forces At Wind Velocity Survival Rating

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ANTENNA #4

SCALE: N.T.S.

Product Specifications



HP6-107-D2A/H
1.8 m | 6 ft High Performance Parabolic Shielded Antenna, single-polarized, 10.700–11.700 GHz, PDR100, gray antenna, standard white radome without flash, standard pack—one-piece reflector

Product Classification

Product Type	Microwave antenna
--------------	-------------------

General Specifications

Antenna Type	HP - High Performance Parabolic Shielded Antenna, single-polarized
Diameter, nominal	1.8 m 6 ft
Packing	Standard pack
Radome Color	White
Radome Material	Standard
Reflector Construction	One-piece reflector
Antenna Input	PDR100
Antenna Color	Gray
Antenna Type	HP - High Performance Parabolic Shielded Antenna, single-polarized
Diameter, nominal	1.8 m 6 ft
Flash Included	No
Polarization	Single

Electrical Specifications

Operating Frequency Band	10.700 – 11.700 GHz
Beamwidth, Horizontal	1.0 °
Beamwidth, Vertical	1.0 °
Cross Polarization Discrimination (XPD)	30 dB
Electrical Compliance	ETSI Class 3 US FCC Part 101A
Front-to-Back Ratio	70 dB
Gain, Low Band	43.6 dBi
Gain, Mid Band	44.0 dBi
Gain, Top Band	44.4 dBi
Operating Frequency Band	10.700 – 11.700 GHz
Radiation Pattern Envelope Reference (RPE)	3222H
Return Loss	30.7 dB
VSWR	1.06

Mechanical Specifications

Fine Azimuth Adjustment	±15°
Fine Elevation Adjustment	±20°

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ANTENNA #1

SCALE: N.T.S.

Product Specifications



VHLPX2-26/C
0.6 m | 2 ft ValuLine® High Performance Low Profile Antenna, dual-polarized, 24.250–26.500 GHz

Product Classification

Brand	ValuLine®
Product Type	Microwave antenna

General Specifications

Antenna Type	VHLPX - ValuLine® High Performance Low Profile Antenna, dual-polarized
Diameter, nominal	0.6 m 2 ft
Polarization	Dual

Electrical Specifications

Beamwidth, Horizontal	1.5 °
Beamwidth, Vertical	1.5 °
Cross Polarization Discrimination (XPD)	30 dB
Electrical Compliance	Brazil Anatel Class 2 ETSI 302 217 Class 3 US FCC Part 101A
Front-to-Back Ratio	68 dB
Gain, Low Band	41.5 dBi
Gain, Mid Band	42.0 dBi
Gain, Top Band	42.5 dBi
Operating Frequency Band	24.250 – 26.500 GHz
Radiation Pattern Envelope Reference (RPE)	7218C
Return Loss	17.7 dB
VSWR	1.30

Mechanical Specifications

Fine Azimuth Adjustment	±15°
Fine Elevation Adjustment	±15°
Mounting Pipe Diameter	50 mm–120 mm 2.0 in–4.7 in
Net Weight	8 kg 17 lb
Side Struts, Included	0
Side Struts, Optional	0
Wind Velocity Operational	180 km/h 112 mph
Wind Velocity Survival Rating	250 km/h 155 mph

Wind Forces At Wind Velocity Survival Rating

Axial Force (FA)	1290 N 290 lbf
Side Force (FS)	639 N 144 lbf

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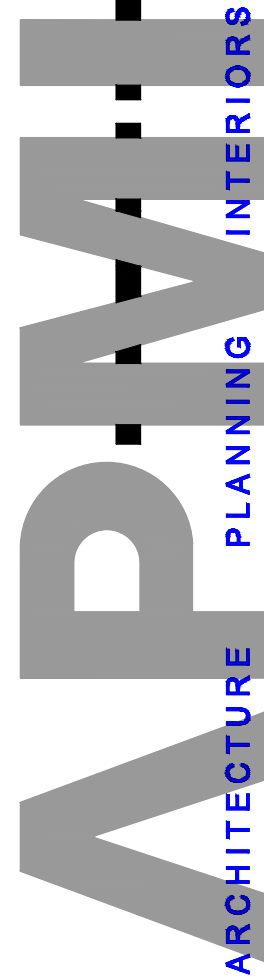
ANTENNA #2

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TOWER
EQUIPMENT

AS1.4