

# **NOTICE AND AGENDA**

## **ATTENTION**

**IN-PERSON AUDIENCES AT PLANNING & ZONING COMMISSION MEETINGS HAVE BEEN  
SUSPENDED UNTIL FURTHER NOTICE**

The meetings will continue to be live streamed on the city's website  
(<https://www.flagstaff.az.gov/1461/Streaming-City-Council-Meetings>)

To participate in the meeting click the following link:  
[Join Microsoft Team Meeting](#)

The public can submit comments that will be read at the dais by a staff member to  
[CDPandZCommission@flagstaffaz.gov](mailto:CDPandZCommission@flagstaffaz.gov).

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### **NOTICE AND AGENDA**

**PLANNING & ZONING COMMISSION  
WEDNESDAY  
SEPTEMBER 8, 2021**

**COUNCIL CHAMBERS  
211 WEST ASPEN AVENUE  
4:00 P.M.**

**1. Call to Order**

**NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION**

*Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the City Council and to the general public that, at this regular meeting, the City Council may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the City's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).*

**2. Roll Call**

*NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.*

DAVID ZIMMERMAN, CHAIR  
MARIE JONES, VICE CHAIR  
RICARDO GUTHRIE  
CAROLE MANDINO

DR. ALEX MARTINEZ  
DR. ERIC NOLAN  
LLOYD PAUL

**3. Public Comment**

*At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for*

*the Chair to call for Public Comment at the time the item is heard.*

4. **APPROVAL OF MINUTES**

Approval of the minutes from the meeting on August 25, 2021.

5. **PUBLIC HEARING**

A. **PZ-21-00184 Burch HOHD.**

A Conditional Use Permit request from applicant Brandon Gowen on behalf of property owners Brian and Beverly Burch to establish a Single Family High Occupancy Housing Development (HOHD). The HOHD will consist of a 9,403 sq. ft. single family residential unit containing 7 bedrooms and 5 sanitation facilities (bathrooms) on approximately 3.76 acres at 4840 East Gandalf Lane in the Rural Residential (RR) Zoning District.

**STAFF RECOMMENDED ACTION:**

In accordance with the findings presented in the attached report, staff recommends approval of PZ-21-00184 with conditions.

B. **PZ-19-00022-05 Cedar Medical**

A Conditional Use Permit request from Apricus Health to use approximately 17,000 square feet of a forthcoming 44,702 square foot office building located at 1895 N Jasper Drive for a Hospital use. The parcel, APN 101-46-012B, is zoned Research and Development (RD) and is located within the McMillan Mesa Village Specific Plan development area "F".

**STAFF RECOMMENDED ACTION:**

In accordance with the findings presented in this report, staff recommends approval of PZ-19-00022-05 with conditions.

6. **MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS**

7. **ADJOURNMENT**

**CERTIFICATE OF POSTING OF NOTICE**

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on \_\_\_\_\_, at \_\_\_\_\_ a.m./p.m. This notice has been posted on the City's website and can be downloaded at [www.flagstaff.az.gov](http://www.flagstaff.az.gov).

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Tammy Bishop, Administrative Specialist





## Planning & Zoning Commission

5. A.

**Meeting Date:** 09/08/2021

**Co-Submitter:** Chris Robinson, Associate Planner

**From:** Genevieve Pearthree, Planning Development Manager

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### Information

#### **TITLE:**

#### **PZ-21-00184 Burch HOHD.**

A Conditional Use Permit request from applicant Brandon Gowen on behalf of property owners Brian and Beverly Burch to establish a Single Family High Occupancy Housing Development (HOHD). The HOHD will consist of a 9,403 sq. ft. single family residential unit containing 7 bedrooms and 5 sanitation facilities (bathrooms) on approximately 3.76 acres at 4840 East Gandalf Lane in the Rural Residential (RR) Zoning District.

#### **STAFF RECOMMENDED ACTION:**

In accordance with the findings presented in the attached report, staff recommends approval of PZ-21-00184 with conditions.

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### Attachments

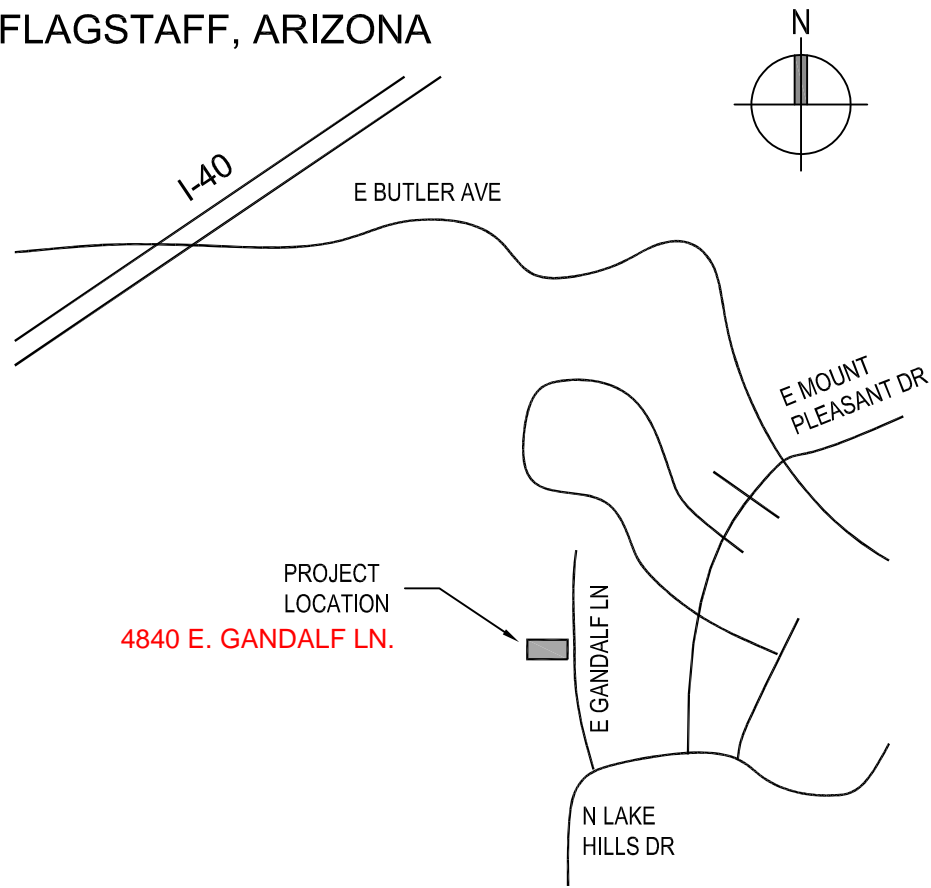
Vicinity Map  
Staff Report  
DRAFT Conditional Use Permit  
DRAFT Notice of Decision  
Prop 207 Waiver  
Application and Narrative  
Neighborhood Mailer in lieu of Meeting  
Public Participation Report  
Site Plan - Floor Plans - Elevations

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# VICINITY MAP

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FLAGSTAFF, ARIZONA



PLANNING AND DEVELOPMENT SERVICES REPORT  
CONDITIONAL USE PERMIT

PUBLIC HEARING  
PZ-21-00184

DATE: August 20, 2021  
MEETING DATE: September 8, 2021  
REPORT BY: Chris Robinson

REQUEST:

A Conditional Use Permit request from Brandon Gowen of LGE Design Group on behalf of Brian and Beverly Burch to allow a High Occupancy Housing Development, Single-Family in the Rural Residential (RR) Zone at 4840 E. Gandalf Lane in the Forest Ridge subdivision. The proposal is to build a 9,403 square foot, 7-bedroom, 5bathroom single family dwelling on approximately 3.76 acres.

STAFF RECOMMENDATION:

In accordance with the findings presented in this report, staff recommends approval of PZ-21-00184 with conditions.

PRESENT LAND USE:

This location is currently an undeveloped parcel within a platted subdivision intended for single family dwellings.

PROPOSED LAND USE:

The applicant proposes to develop a single-family dwelling on the parcel.

NEIGHBORHOOD DEVELOPMENT:

North: Undeveloped Parcel, Rural Residential (RR) Zone  
East: Undeveloped Parcel, Rural Residential (RR) Zone  
South: Undeveloped Parcel, Rural Residential (RR) Zone  
West: Undeveloped Parcel, Rural Residential (RR) Zone

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**I. Project Introduction**

**A. Background/Introduction**

Section 10-40.30.030.B of the Flagstaff Zoning Code, Residential Zones - Allowed Uses, identifies High Occupancy Housing Development, Single Family as an allowed land use in the Rural Residential (RR) Zone subject to the approval of a Conditional Use Permit (CUP) by the Planning Commission. Adopted on November 17, 2020 and effective on March 21, 2021, the High Occupancy Housing Development (HOHD) Zoning Code standards require that a Single-Family Dwelling with 7 or more bedrooms, and/or 5 or more sanitation facilities, obtain a Conditional Use Permit before a building permit can be issued.

The applicant is proposing to build a 9,403 square foot, 7-bedroom, 5-bathroom single family dwelling on lot 10 of the Forest Ridge Subdivision. The approximately 85.59-acre residential subdivision contains 14 lots and has a density of 0.16 units per acre. It is located southeast of Fourth St. and west of Continental Country Club. Six of the lots in the subdivision are developed and the rest are undeveloped (the lots adjacent to the subject property are currently vacant). The lots that have been developed contain large, estate-style homes, some of which would trigger HOHD standards if they were built today. Several of the developed lots also contain Accessory Dwelling Units. The entire subdivision is subject to Resource Protection standards, but it is not located in a Pedestrian Shed of an Activity Center as depicted in the Regional Plan.

Section 10-40.60.175 of the Flagstaff Zoning Code contains additional standards for HOH developments. This includes the requirement that the property owner shall maintain compliance with the Flagstaff Police Department's Crime Free Multi-Housing Program, unless exempted by the Police Department's representative. The structure is also required to be at least 10 feet or one third of the height of the building from any other structures on the parcel or on adjacent parcels. This results in a minimum separation of 11.2 feet, based on the proposed height of the building being 33.6 feet. There are also additional parking requirements of a High Occupancy Housing Development, Single Family as discussed in Finding #3.

A building permit for the single-family dwelling has been submitted and is currently under review. It is ready to be approved once the Conditional Use Permit is granted.

## **II. Required Findings**

The Planning Commission may approve the Conditional Use Permit only after making the following five findings:

### **A. Finding #1:**

The conditional use is consistent with the objectives of the Zoning Code and the purpose of the Zone in which the site is located.

"The Rural Residential (RR) zone applies to areas of the City appropriate for both housing and limited agricultural uses that preserve the area's rural character. This zone is predominantly large lot single-family development. However, it does allow for cluster and planned residential developments, which provide opportunities for higher densities. The RR zone applies to those non-urban areas of the City that cannot be economically and efficiently provided with City services associated with urban living. As such, it is designed for the utilization and enjoyment of the City's unique mountain environment with a minimum amount of municipal services and improvements. This zone is also intended to be used to protect against premature development in areas on the fringe of the urban service area."

The Rural Residential (RR) Zone allows High Occupancy Housing Development uses with the granting of a Conditional Use Permit. The primary reason for the Conditional Use Permit is to protect the uses that are allowed by right in the Rural Residential Zone which may be incompatible with High Occupancy Housing Development or increased bedroom density.

## **B. Finding #2**

That granting the conditional use will not be detrimental to the public health, safety, or welfare.

As long as the proposed project is developed in accordance with City codes, standards and requirements, the project should not be detrimental to the public health, safety, or welfare.

## **C. Finding #3**

The characteristics of the conditional use as proposed, and as it may be conditioned, are reasonably compatible with the types of uses permitted in the surrounding area. The Conditional Use Permit shall be issued only when the Planning Commission finds that the Applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area (Flagstaff Zoning Code Section 10-20.40.050.E.3):

- Access, traffic, and pedestrian, bicycle and vehicular circulation;
- Adequacy of site and open space provisions, including resource protection standards, where applicable;
- Noise, light, visual and other pollutants;
- Proposed style and siting of structure(s), and relationship to the surrounding neighborhood;
- Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements;
- Impact on public utilities;
- Signage and outdoor lighting;
- Dedication and development of streets adjoining the property; and
- Impacts on historical, prehistoric or natural resources.

### **1. Access and Traffic; Pedestrian, Bicycle and Vehicular Circulation**

Access to the site is provided from E. Gandalf Lane. The proposed use will have minimal impact on traffic circulation. A Traffic Impact Analysis is not required of a single private residence which would only see traffic from the home's occupants. Single family HOH developments are required to provide 1 off-street parking space per bedroom. This development is proposing 7 bedrooms; thus 7 parking spaces are required and provided.

### **2. Adequacy of Site/Open Space/Resource Provisions**

A Resource Protection Plan was provided when the subdivision was platted. The Forest Ridge Subdivision plat identifies a unique building envelope (disturbable area) for each lot so that the minimum protection standards are met throughout the subdivision as a whole. The subject property has a 16,379 sq. ft. building envelope; all development and construction activities will be located inside the building envelope with the exception of the driveway, which is a typical condition of these plats.

### **3. Noise, Light, Visual and Other Pollutants**

It is not anticipated that the proposed uses for the site will create any noise, visual or other pollutants into the area. The site is well maintained.

### **4. Style and Siting of Structure(s), and Relationship to Surrounding Neighborhood**

The development is required to be located within the building envelope, which has the following

minimum setbacks: front 25 feet, sides 20 feet, and rear 50 feet. The proposed setbacks are as follows: front 75 feet, sides 20 feet, and rear 274.5 feet. The adjacent lots are currently vacant, so the proposed residence will be isolated for the time being. The proposed setbacks exceed the minimum separation requirement of the HOHD standards of 11.2 feet. The lots that are already developed have large estate style homes similar to the home proposed in this Conditional Use Permit application.

#### **5. Landscaping and Screening**

No additional landscaping is required for this use.

#### **6. Impact on Public Utilities**

The site proposes to connect to existing city sewer and water services. No new off-site improvements are required to support this use.

#### **7. Signage and Outdoor Lighting**

All exterior lighting will be required to comply with the City of Flagstaff's strict outdoor lighting requirements which supports and maintains our designation as an International Dark Sky City. Section 10-50.70: Outdoor Lighting Standards of the Zoning Code allows single family residences to have up to 10,000 lumens of outdoor lighting (if using non-LED bulbs) or 6,993 lumens of outdoor lighting if all lighting is using LED bulbs. All outdoor lighting fixtures must be fully or partially shielded; no unshielded fixtures are allowed. Single family residential building permits do not require a separate Outdoor Lighting Permit.

#### **8. Dedication and Development of Streets**

No dedication or development of public streets is required. All public right of way was dedicated when the subdivision was platted.

#### **9. Impacts on Resources**

This site is not currently listed on any state or federal historic registry, nor does the site have any other historical significance. The site is located within the Resource Protection Overlay Zone; the proposed development fits within the development envelope formed with the Forest Ridge subdivision plat, which adequately address resource protection requirements.

#### ***D. Finding #4***

For the properties subject to Division 10-30.30, Heritage Preservation, the City's Historic Preservation Officer or the Heritage Preservation Commission has made a determination that the proposed HOHD or MHOHD has no adverse effect or has appropriately mitigated its effects on the historic cultural resource.

This property is not subject to Division 10-30.30; therefore, this criterion is not applicable.

#### ***E. Finding #5***

Adequate transit service is available to the Development Site containing four dwelling units or more. Adequate transit service from a Development Site to a permanent transit stop is:

- a. Less than or equal to 1,320 feet; or

- b. A distance greater than 1,320 feet when the Planning and Zoning Commission finds that the route to the permanent transit stop has adequate nighttime lighting and does not have a significant grade change, and the distance does not impede reasonable access to transit.

The distance between the permanent transit stop to the Development Site shall be measured following a continuously improved sidewalk and/or public paved trail.

This proposed Conditional Use Permit is for a HOHD, Single Family; as such, this criterion is not applicable.

### **III. Citizen Participation**

The applicant notified the nearby property owners of this application on July 28<sup>th</sup>, 2021 via mailer in lieu of holding a virtual or in-person neighborhood meeting. Public notification of the application was made on August 23<sup>rd</sup>, 2021. As of the date of this report, staff has not received any comments from the public.

### **IV. Recommendation**

In accordance with the findings presented in this report, Staff recommends that the request for the CUP be granted by the Planning and Zoning Commission with the requirements included in Conditional Use Permit No. PZ-21-00184 and as follows:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application.
2. The property owner shall maintain compliance with the Flagstaff Police Department's Crime Free Multi-Housing Program, unless exempted by the Police Department's representative.

### **V. Attachments**

The draft documents have been prepared in accordance with the staff recommendation and do not indicate the Commission's final decision. These documents will be updated after the public hearing on this case to reflect the Commission's decision.

- Draft Conditional Use Permit No. PZ-21-00184
- Draft Notice of Decision
- Prop 207 Waiver
- Conditional Use Permit Application
  - Response to CUP findings
- Mailer in lieu of Neighborhood Meeting
- Public Participation Report
- Site Plan – Floor Plans - Elevations
  - Cover Sheet
  - Overall & Enlarged Site Plan
  - First Level Floor Plan
  - Second Level Floor Plan
  - Building Elevations

**COCONINO COUNTY, ARIZONA RECORDER  
CONDITIONAL USE PERMIT  
FROM GRANTOR: CITY OF FLAGSTAFF  
COCONINO COUNTY, ARIZONA  
OFFICE OF PLANNING AND ZONING  
TO GRANTEE: BRIAN AND BEVERLY BURCH**

Permit No. PZ-21-00184  
September 18, 2021

Permission is hereby granted to Brandon Gowen on behalf of Brian and Beverly Burch to allow the establishment of a 9,403 sq. ft. Single Family High Occupancy Housing Development and associated site work, pursuant to Section 10-40.30.050.B. of the *Flagstaff Zoning Code* at a site located at 4840 E. Gandalf Ln. in the RR (Rural Residential) zone, and legally described as Coconino County Assessor parcel number 106-08-015 in the city of Flagstaff, Arizona.

After a public hearing held on September 8, 2021, the Planning and Zoning Commission voted to grant this Conditional Use Permit subject to the following conditions.

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application.

Furthermore, this permit is issued on the express condition that the use permitted herein shall conform in all relevant respects to the ordinances of the City of Flagstaff and the laws of the State of Arizona.

Any and all conditions endorsed on this permit are subject to periodic review by the City of Flagstaff's Planning Director. Following review, the Planning and Zoning Commission shall be notified when the conditions of operation imposed in the approval and issuance of this permit have not been or are not being complied with.

The Planning and Zoning Commission shall consider the matter of revocation and set the permit for public hearing. If the Planning and Zoning Commission finds, following the public hearing, that the conditions imposed in the issuance of this permit are not being complied with, this permit may be revoked and further operation of the use for which this permit was approved shall constitute a violation of the Zoning Code.

This Conditional Use Permit shall become null and void one (1) year from the effective date of September 18, 2021, unless the following shall have occurred:

1. A building permit has been issued and construction begun and diligently pursued; or
2. The approved use has been established; or
3. An extension has been granted by the Planning and Zoning Commission. Such extension shall be for a maximum of one hundred eighty (180) days and no extension may be granted



which would extend the validity of the permit more than eighteen (18) months beyond the date of approval of the permit.

4. Property Owner shall sign Consent to Conditions/Waiver for Diminution of Value form as a condition of issuance of the Conditional Use Permit by the City.
5. Development of the use shall not be carried out until the applicant has secured all other permits and approvals required by the Zoning Code, the City, or applicable regional, State and federal agencies.

This document \_\_\_ does modify, or X does not modify the provisions of a previous Conditional Use Permit recorded in docket \_\_\_\_\_, Office of the Coconino County, Arizona, Recorder.

\_\_\_\_\_  
Planning Director, City of Flagstaff

By: \_\_\_\_\_  
Applicant (if other than the property owner)

STATE OF ARIZONA                    )  
  ) ss  
County of \_\_\_\_\_                )

Before me, the undersigned Notary Public, personally appeared \_\_\_\_\_ who executed the foregoing document for the purposes contained therein.

SUBSCRIBED AND SWORN to before me this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public

My Commission expires: \_\_\_\_\_

By: \_\_\_\_\_  
Property Owner

STATE OF ARIZONA                    )  
  ) ss

Permit No. PZ-20-00019-05

January 14, 2021

Page 3 of 3

County of \_\_\_\_\_ )

Before me, the undersigned Notary Public, personally appeared \_\_\_\_\_ who  
executed the foregoing document for the purposes contained therein..

SUBSCRIBED AND SWORN to before me this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public

My Commission expires: \_\_\_\_\_



# City of Flagstaff

September 9, 2021

Mr. Brandon Gowen  
1200 N. 52<sup>nd</sup> St.  
Phoenix, AZ 85008

RE: **NOTICE OF DECISION** – Conditional Use Permit No. PZ-21-00184

Dear Mr. Gowen:

The Planning Commission, in accordance with Section 10-20.40.050 of the Flagstaff Zoning Code, has considered the request of Mr. Brandon Gowen on behalf of Brian and Beverly Burch for a Conditional Use Permit on the property at 4840 E. Gandalf Ln. (APN 106-08-015) in the RR, Rural Residential Zoning District, to allow the establishment of a 9,403 sq. ft. Single Family High Occupancy Housing Development and associated site work, pursuant to Section 10-40.30.050.B. of the Flagstaff Zoning Code.

The Planning Commission held a public hearing on September 8, 2021 regarding this Conditional Use Permit. The Commission found and determined that, based on the information provided in the staff report dated August 20, 2021 and at the public hearing, the facts exist as required by Section 10-20.40.050.F of the Zoning Code to justify *granting/denying* the Conditional Use Permit.

Based upon the aforementioned findings, the Commission *approved/denied* a Conditional Use Permit by a vote of ( ) for the use and location described above subject to the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application.

The above conditions are deemed by the Commission to be required to assure that the requested use will be compatible with neighboring uses and the growth and development of the area.

This action becomes final and effective ten (10) calendar days after the posting of this Notice of Decision on September 8, 2021 unless during these ten (10) days a written appeal to the City Clerk is filed or the City Council elects to review the application. Either appeal or City Council review shall stay the Conditional Use Permit until the City Council holds the required public hearing to consider the request.

Should you have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely,

Chris Robinson, Associate Planner  
Planning & Development Services  
928-213-2608  
Chris.robinson@flagstaffaz.gov

cc: Current Planning Manager, City Clerk, City Council, Brandon Gowen

When recorded, mail to:  
City Clerk  
City of Flagstaff  
211 W. Aspen Avenue  
Flagstaff, Arizona 86001

**CONSENT TO CONDITIONS/WAIVER FOR DIMINUTION OF VALUE**

The undersigned is the owner of certain real property legally described as Coconino County Assessor parcel number 106-08-015 in the city of Flagstaff, Arizona, that is the subject of Conditional Use Permit Application No. PZ-21-00184. By signing this document, the undersigned agrees and consents to all of the conditions imposed by the City of Flagstaff in conjunction with the approval of Conditional Use Permit No. PZ-21-00184 and waives and fully releases any and all claims and causes of action that the owner may have, now or in the future, for any "diminution in value" and for any "just compensation" under the Private Property Rights Protection Act, Arizona Revised Statutes § 12-1131, et seq., that may now or in the future exist as a result of the approval of Conditional Use Permit No. PZ-21-00184. Within ten (10) days after the execution of this Consent to Conditions/Waiver for Diminution of Value by the undersigned, the City Clerk shall cause this document to be recorded in the official records of Coconino County, Arizona.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2021

PROPERTY OWNER:

Print Name

Sign Name

State of Arizona )  
 ) ss  
County of \_\_\_\_\_ )

SUBSCRIBED AND SWORN to before me this \_\_\_\_\_ day of \_\_\_\_\_, 2021, by:

Notary Public

My commission expires: \_\_\_\_\_



# City of Flagstaff

## Community Development Division

211 W. Aspen Ave  
Flagstaff, AZ 86001  
www.flagstaff.az.gov

P: (928) 213-2618

Date Received	Application for Conditional Use		File Number
Property Owner(s) Brian and Beverly Burch		Phone 602-684-5897	
Mailing Address 5245 N. 21st St.	City, State, Zip Phoenix, AZ 85016	Email BBurch@metlandco.com	
Applicant(s) Brandon Gowen, LGE Design Group		Phone 480-966-4001	
Mailing Address 1200 N. 52nd St.	City, State, Zip Phoenix, AZ 85008	Email brandong@lgedesigngroup.com	
Project Representative Brandon Gowen, LGE Design Group		Phone 480-966-4001	
Mailing Address 1200 N. 52nd St.	City, State, Zip Phoenix, AZ 85008	Email brandong@lgedesigngroup.com	

Project Name Burch Residence				
Site Address 4840 E. Gandalf Ln.		Parcel Number(s) 106-08-015	Subdivision, Tract & Lot Number Forest Ridge, Lot 10	
Zoning District RR - Rural Residential		Regional Plan Land Use Category Very Low-Density Residential	Flood Zone X	
Property Information: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing City of Flagstaff Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are pre-World War II housing? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Subject property is undeveloped land?				
Surrounding Uses (Res, Com, Ind)	North Res.	South Res.	East Res.	West City of Flagstaff

### Note:

Conditional Use Permits are reviewed by City's Planning and Zoning Commission (P&Z), which meets **the second and fourth Wednesday of every month**. Applications are due by the close of business no fewer than 30 days prior to the meeting. You must provide a complete application form, along with the required number of plans and information as indicated in the attached checklist. **Incomplete submittals will not be scheduled.**

Property Owner Signature <i>Brian Burch</i>		Date 7/12/21	Applicant Signature <i>Brandon Gowen</i>		Date 06/25/2021
For City Use					
Date Filed		File Number:			
Hearing Date		Pub. / Posting Date(s):		Prop. Owner Notif. Date:	
Fee Receipt Number		Amount		Date	
Action by Planning and Zoning Commission:					
Hearing Date:			Type of Request:		
<input type="checkbox"/> Approved			<input type="checkbox"/> CUP		
<input type="checkbox"/> Denied			<input type="checkbox"/> Extension		
<input type="checkbox"/> Continued					
Staff Assignments	Planning	Engineering	Fire	Public Works/Water	Stormwater

## City of Flagstaff Conditional Use Permit Submittal Response to Required Findings

Date: July 15, 2021

Dear Planning and Zoning Committee Members,

E.1 - Due to the newly adopted High Occupancy Zoning Code Text Amendment, on March 1, 2021, the residence must apply for and receive a Conditional Use Permit. We feel that the new custom residence located in the Forest Ridge subdivision is consistent with all objectives / requirements of the zoning code in classification RR (Rural Residential), and the purpose of the zone in which the site is located.

E.2 - The residence has been designed with 7 bedrooms and 5 sanitation facilities, due to the large size of the family that owns and will be living in the home. Granting the conditional use should not be detrimental to the public health, safety or welfare in any of the following areas...

- a. Property damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination;
- b. Hazard to persons or property from possible explosion, contamination, fire or flood; and
- c. Impact on surrounding areas arising from unusual volume or character of traffic. – Although a large number of bedrooms and bathrooms are being designed for in this custom home, it is not out of context with homes of this size and in the surrounding area, or other similar communities in the City of Flagstaff.

E.3 - The proposed characteristics of the residence are reasonably compatible with the types of homes permitted in the surrounding area. The following has been adequately considered and addressed...

- a. Access, traffic, and pedestrian, bicycle and vehicular circulation;
- b. Adequacy of site and open space provisions, including resource protection standards, where applicable;
- c. Noise, light, visual and other pollutants;
- d. Proposed style and siting of structure(s), and relationship to the surrounding neighborhood;
- e. Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements;

- f. Impact on public utilities;
- g. Signage and outdoor lighting;
- h. Dedication and development of streets adjoining the property; and
- i. Impacts on historical, prehistoric or natural resources.

Our hope is that you consider our application, agree with and approve a conditional use permit to move forward. Thank you all for your time with our request.

On behalf of Owners, Brian and Beverly Burch,  
Sincerely,

A handwritten signature in black ink, appearing to read 'B. Gowen', with a horizontal line extending to the right.

**Brandon Gowen**  
Project Manager, LGE Design Group  
O: 480.966.4001

## Notification in lieu of Neighborhood Meeting for proposed custom residence to be built at 4840 E. Gandalf Ln.

Date: July 28, 2021

Dear Neighbor,

Recent updates to the Flagstaff Zoning Code requires single-family homes with seven or more bedroom or five or more bathrooms to obtain approval from the Planning and Zoning Commission of a Conditional Use Permit. Applicants for a Conditional Use Permit are usually required to hold a neighborhood meeting to alert adjacent and nearby property owners of the application. In this case, the Planning Director has allowed a direct mailing with information about the application in lieu of the neighborhood meeting. The purpose of the mailing is to inform citizens and property owners of the application and allow communication between the applicant and the affected citizens

The custom residence is proposed to be built at 4840 E. Gandalf Ln., in the Forest Ridge Community. See attached plans for detailed information about the residence being proposed. The 7-bedroom, 5-bath home that has met the design guidelines and received approval from the Forest Ridge DRC and is now under review for permit with Building Safety. The owners of the property will be using it as a second home.

Please contact me (by phone at 480.966.4001, email at [brandong@lgedesigngroup.com](mailto:brandong@lgedesigngroup.com), or regular mail at 1200 N. 52<sup>nd</sup> St, Phoenix, AZ 85008) with any concerns or comments you may have. I must receive your comment(s) on or before August 9, 2021 for it to be valid.

You will be contacted again once the project is scheduled to go before the P&Z Commission.

On behalf of Owners, Brian and Beverly Burch,

Sincerely,



**Brandon Gowen**  
Project Manager, LGE Design Group  
O: 480.966.4001



## RE: PZ-21-00184 - neighborhood meeting

Alaxandra Pucciarelli <APucciarelli@flagstaffaz.gov>

Tue 8/10/2021 3:15 PM

To: Brandon Gowen <brandong@lgedesigngroup.com>

Cc: Chris Robinson <Chris.Robinson@flagstaffaz.gov>

Hi Brandon-

I waive the requirement for a second neighborhood meeting for this project. It is my understanding that to date you have received no comments or questions from those notified.

Please let us know if you do hear back from anyone. Chris will work with you to schedule a Planning & Zoning Commission hearing.

Thanks,

**Alaxandra Pucciarelli**

Current Planning Manager

Acting Planning Director

Community Development

211 W. Aspen Avenue

Flagstaff, AZ 86001

Phone: (928) 213-2640

Email: [apucciarelli@flagstaffaz.gov](mailto:apucciarelli@flagstaffaz.gov)

---

**From:** Brandon Gowen <brandong@lgedesigngroup.com>

**Sent:** Tuesday, August 10, 2021 3:11 PM

**To:** Alaxandra Pucciarelli <APucciarelli@flagstaffaz.gov>

**Cc:** Chris Robinson <Chris.Robinson@flagstaffaz.gov>

**Subject:** PZ-21-00184 - neighborhood meeting

Hi Alaxandra,

I wanted to see if you could possibly waive our 2<sup>nd</sup> neighborhood meeting requirement due to the lack of response from the first mailer. We had no response over the last week and half.

Thank you very much!

Designing your vision. Building your future.

**Brandon Gowen**

Project Manager

O: 480.966.4001

1200 N. 52nd St., Phoenix, AZ 85008



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## RE: Burch Res. Conditional Use Permit application

Brandon Gowen <brandong@lgedesigngroup.com>

Tue 8/10/2021 9:30 AM

To: Chris Robinson <Chris.Robinson@flagstaffaz.gov>

Chris,

Just following up after close of business yesterday. I've received no calls, emails, or mail response from any of the neighbors.

Thanks!



Designing your vision. Building your future.

**Brandon Gowen**

Project Manager

O: 480.966.4001

1200 N. 52nd St., Phoenix, AZ 85008



SIGN UP FOR OUR NEWSLETTER

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---

**From:** Chris Robinson <Chris.Robinson@flagstaffaz.gov>

**Sent:** Monday, August 9, 2021 2:29 PM

**To:** Brandon Gowen <brandong@lgedesigngroup.com>

**Subject:** Re: Burch Res. Conditional Use Permit application

Hi Brandon,

Just checking in on the CUP mailer notification, and a reminder to email a short report of the response to it. Also, I looked at application materials you sent along for the CUP, and it looks like the mini plan set (containing the cover sheet, site plan, floor plans and elevations) was not submitted. Could you please put that together and email it to [bcardiff@flagstaffaz.gov](mailto:bcardiff@flagstaffaz.gov), letting her know it goes with PZ-21-00184?

**Chris Robinson**

Affidavit of Sign Posting

Case Number: PZ-21-00184

Project Name: \_\_\_\_\_

Applicant Name: \_\_\_\_\_

Location: 4840 E. GANDOLF LN, FLAGSTAFF AZ 86004

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the **applicant** for public hearings in the City of Flagstaff shall post signs as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to erect and to maintain the sign on the subject property 15 days prior to the hearing and to update the hearing information on the sign until final disposition of the case. It shall also be the responsibility of the applicant to remove the sign within seven (7) days after the final disposition of the case.**

I confirm that the site has been posted as detailed in Section 10-20.30.080 of the Zoning Code as well as the Public Hearing Notice Sign Specifications included in this application for the case above and the site was posted at least fifteen (15) days prior to the public hearing.

See attached date stamped photo exhibit of posted signs.

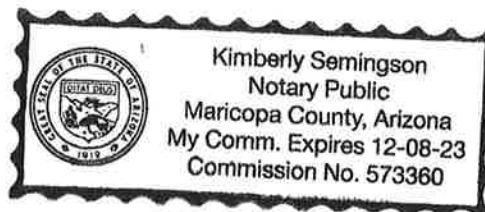
Applicant's/Representative's Signature: Brian Buich

SUBSCRIBED AND SWORN before me this 19<sup>th</sup> day of August, 2021 by:

Kimberly Semington  
Notary Public

My Commission Expires:

December 8, 2023



**City of Flagstaff**

**PUBLIC HEARING**

**Planning and Zoning Commission:** September 8<sup>th</sup>, 2021, at 4pm

**LOCATION OF HEARING:**

City Hall, 211 W Aspen Ave., Flagstaff, AZ 86001

**REQUEST:** For a Conditional Use Permit to allow for a new single-family residence to include 7 bedrooms and 5 bathrooms. The zoning code classification for the residence is RR or Residential Rural.

**LOCATION:** Lot 10, Forest Ridge Subdivision, 4840 E Gandalf Lane, Flagstaff, AZ 86004

**SIZE OF SITE:** 3.88 Acres

**CASE#:** PZ-21-00184

**APPLICANT/CONTACT:** LGE Design Group, Brandon Gowen,  
project manager

**PHONE:** 480-966-4001

Planning and Development Services Department: 928-213-2600

Posting Date: 08/20/2021

Affidavit of Notifications to Affected Property Owners

Case Number: PZ-21-00184

Project Name: \_\_\_\_\_

Applicant Name: \_\_\_\_\_

Location: 4840 E. GANDALF LN. FLAGSTAFF, AZ 86004

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the applicant for public hearings in the City of Flagstaff shall notify affected property owners as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. It shall be the responsibility of the applicant to establish a list of the names and addresses of persons who require notification of a public hearing as established in sections 10-20.30.60.(A).3, 10-20.30.60.(B), and 10-20.30.60.(C) of the Zoning Code, and mail a notice of required public hearing via first class mail to each of the persons on the list referenced above no later than 15 days prior to the public hearing date. It shall also be the responsibility of the applicant to submit a notarized copy of the mailing list to the Director prior to the fifteenth day before the public hearing date.

I confirm that the public hearing notifications were mailed as detailed in Section 10-20.30.080 of the City of Flagstaff Zoning Code at least fifteen (15) days prior to the public hearing.

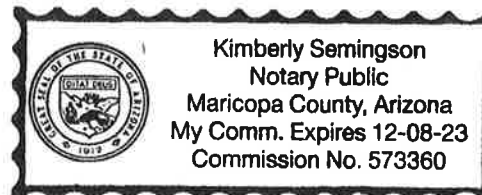
Applicant's/Representative's Signature: Brian Buech

SUBSCRIBED AND SWORN before me this 19th day of August, 2021 by:

Kimberly Semington  
Notary Public

My Commission Expires:

December 8, 2023



## City of Flagstaff Conditional Use Permit Submittal List of Property Owners within 300'

**SITE A**

**APN:** 10608013

**Owner Name:** VORA DHARMESH

**Owner Address:** 1660 W UNIVERSITY HEIGHTS DR N FLAGSTAFF, AZ 86005

**SITE B**

**APN:** 10608014

**Owner Name:** ROSE FAMILY TRUST

**Owner Address:** 5429 E MORRISON LN PARADISE VALLEY, AZ 85253

**SITE C – N/A**

**SITE D**

**APN:** 10608016

**Owner Name:** NILSEN FAMILY TRUST DTD 11-19-92

**Owner Address:** 7140 E BRONCO DR PARADISE VALLEY, AZ 85253

**SITE E**

**APN:** 10608017

**Owner Name:** NILSEN FAMILY TRUST DTD 11-19-92

**Owner Address:** 7140 E BRONCO DR PARADISE VALLEY, AZ 85253

**SITE F**

**APN:** 10608008

**Owner Name:** GOODWIN JOHN M & KATHLEEN A

**Owner Address:** 3441 E CLAREMONT AVE PARADISE VALLEY, AZ 85253

**SITE G**

**APN:** 10608007

**Owner Name:** STROINSKI FAMILY TRUST AGREEMENT DTD 12-12-05

**Owner Address:** 7314 N 12TH AVE PHOENIX, AZ 85021

**SITE H**

**APN:** 10608023

**Owner Name:** FOREST RIDGE HOMEOWNERS ASSOCIATION

**Owner Address:** 323 S RIVER RUN RD NO 1 FLAGSTAFF, AZ 86001

**SITE I**

**APN:** 10608006

**Owner Name:** MAROSTICA FAMILY TRUST DTD 03-13-15

**Owner Address:** 2810 N CAREFREE CIR FLAGSTAFF, AZ 86004

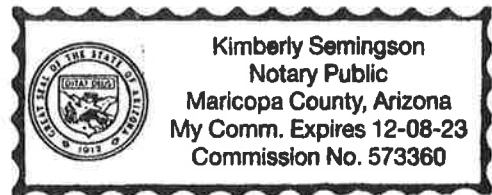
**SITE J**

**APN:** 10608020

**Owner Name:** FLAGSTAFF CITY OF

**Owner Address:** 211 W ASPEN AVE FLAGSTAFF, AZ 86001

*Brian Buell*



*Kimberly Semington*  
*My Commission Expires:*  
*December 8, 2023*



## City of Flagstaff Planning & Zoning Hearing Notice

Date: August 18, 2021

Dear Neighbor,

The purpose of this letter is to notify you that on **September 8, 2021**, at **4pm**, being held virtually via Microsoft Teams, the Planning & Zoning Commission will hold a public hearing regarding a proposed single-family residence for property located at 4840 E. Gandalf Ln., lot 10, in the Forest Ridge Community. Please contact Chris Robinson with Planning and Development Services for more information. Email: [Chris.Robinson@flagstaffaz.gov](mailto:Chris.Robinson@flagstaffaz.gov), phone: 928-213-2608.

The provisions of the City ordinance covering the review of this application require that all property owners within 300 feet of the subject site receive a certified notice of the public hearing. The property's designated City of Flagstaff Tax Area is 0150 - SD#1, located in the RR-Rural Residential zoning district. The property is owned by Brian and Beverly Burch.

The application involves obtaining approval of a Conditional Use Permit from the Planning & Zoning Commission. On March 1, 2021 the High Occupancy Housing Zoning Code Text Amendment went into effect, which requires a conditional use permit for any single-family dwelling unit with seven or more bedrooms, or five or more sanitation facilities (bathrooms). We are proposing to construct a 6,956 SF single family residence containing 7 bedrooms and 6 sanitation facilities. For additional information, please visit the City's website at: [www.flagstaff.az.gov/HOHZoningCode](http://www.flagstaff.az.gov/HOHZoningCode).

See below for additional information regarding the case:

- Please contact Chris Robinson, with the City of Flagstaff, at 928-213-2608, for locations and times to view the complete application and development file.

- Any interested person or authorized agent may appear and be heard through the City's website: <https://www.flagstaff.az.gov/1461/Streaming-City-Council-Meetings>. You may also attend and participate through Microsoft Teams link on the City's website: <https://www.flagstaff.az.gov/2845/Planning-Zoning-Commission>.
- You can submit written comments via email to: [CDFrontCounter@flagstaffaz.gov](mailto:CDFrontCounter@flagstaffaz.gov) "prior" to the hearing and they will be read at the dais by a staff member.
- The existing zone classification is RR (Residential Rural).
- This Case is for a Conditional Use Permit

If you have any further questions about the details of this application, feel free to email me at [brandong@lgedesigngroup.com](mailto:brandong@lgedesigngroup.com) or contact me through phone below.

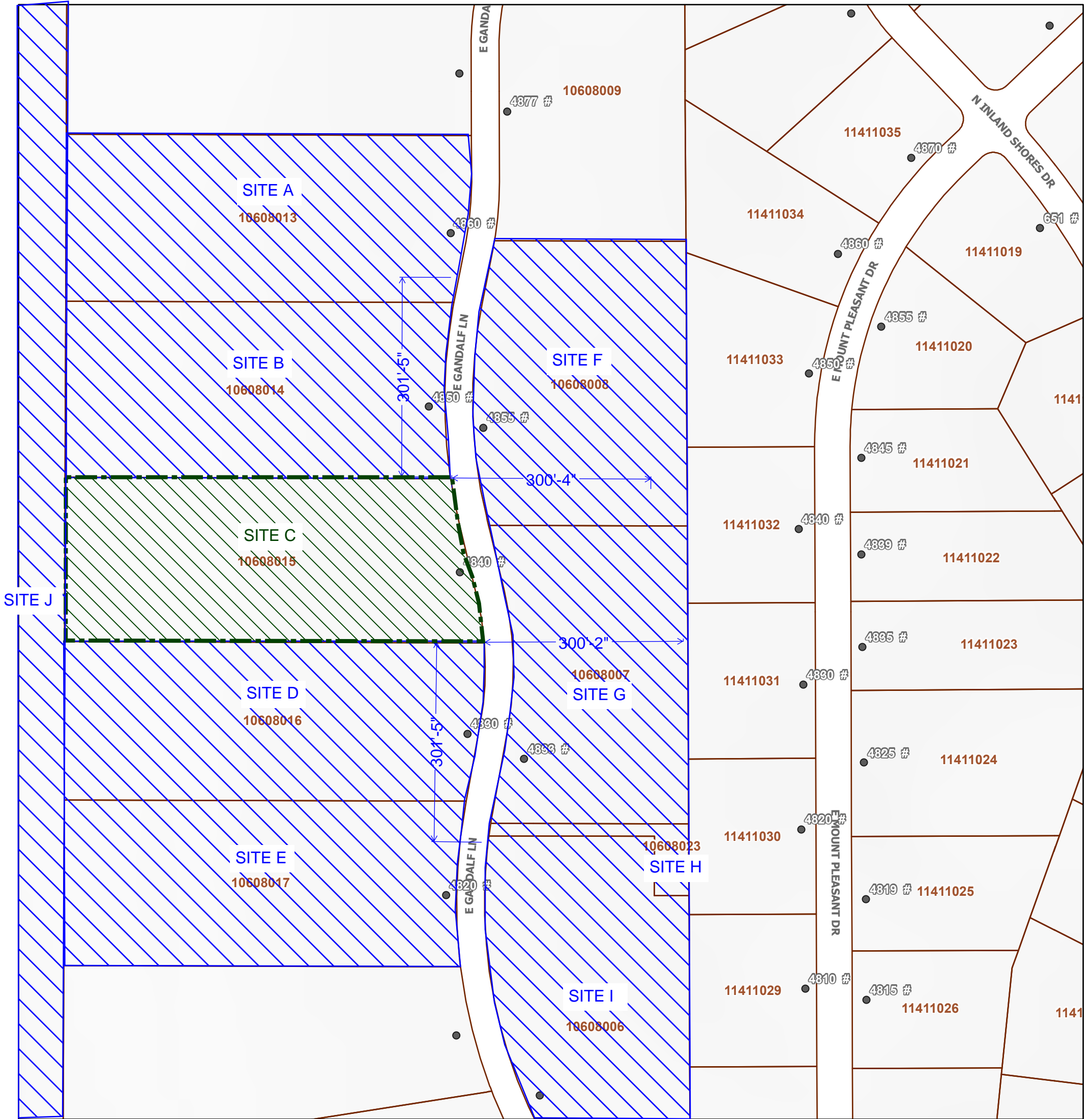
On behalf of Owners, Brian and Beverly Burch,

Sincerely,



**Brandon Gowen**  
Project Manager, LGE Design Group  
O: 480.966.4001

# Parcel Viewer Map



6/25/2021, 10:43:19 AM

 County Boundary

 Municipal Boundaries

 Coconino County Parcels

## Addresses

- Primary

## Land Ownership

Private

☐ Private

PROPERTY WITHIN 300' OF 4840 E.  
GANDALF LN., SUBJECT PROPERTY

4840 E. GANDALF LN., SUBJECT PROPERTY

1:2,257

A number line with two scales. The top scale is labeled in miles (mi) with major tick marks at 0, 0.02, 0.04, and 0.08. The bottom scale is labeled in kilometers (km) with major tick marks at 0, 0.03, 0.07, and 0.13. There are 4 small tick marks between each major tick mark on both scales, dividing each interval into 5 equal parts. The scales are aligned such that 0.02 mi corresponds to 0.03 km, 0.04 mi to 0.07 km, and 0.08 mi to 0.13 km.

**ISOLATION SECTION**

1. ISOLATION SECTION  
2. WALL SECTION  
3. EXTENSION ELEVATION

**WALL SECTION**

4. WALL SECTION  
5. DETAIL REFERENCE

**EXTENSION ELEVATION**

6. EXTENSION ELEVATION  
7. DETAIL REFERENCE

**DETAIL REFERENCE**

8. DETAIL REFERENCE  
9. DETAIL REFERENCE

**SECTION/DETAIL REFERENCE**

10. SECTION/DETAIL REFERENCE  
11. DETAIL REFERENCE

**INDEX/ELEVATION REFERENCE**

12. INDEX/ELEVATION REFERENCE  
13. DETAIL REFERENCE

**ROOM NAME AND NUMBER**

14. ROOM NAME AND NUMBER  
15. DETAIL REFERENCE

**WINDOW AND GLASS TYPE MARK**

16. WINDOW AND GLASS TYPE MARK  
17. DETAIL REFERENCE

**LEVEL LINE**

18. LEVEL LINE  
19. DETAIL REFERENCE

**HATCH/NUMBER AND EXTENSION**

20. HATCH/NUMBER AND EXTENSION  
21. DETAIL REFERENCE

**SHEET REWRITE MARK**

22. SHEET REWRITE MARK  
23. DETAIL REFERENCE

**WALL TAG**

24. WALL TAG  
25. DETAIL REFERENCE

**MATERIAL/POSS TAG**

26. MATERIAL/POSS TAG  
27. DETAIL REFERENCE

**WATCH LINE REFERENCES**

28. WATCH LINE REFERENCES  
29. DETAIL REFERENCE

**DRAWING TITLE SYMBOLS**

30. DRAWING TITLE SYMBOLS  
31. DETAIL REFERENCE

**LAYOUT GRID LINES**

32. LAYOUT GRID LINES  
33. DETAIL REFERENCE

**NORTH ARROW REFERENCES**

34. NORTH ARROW REFERENCES  
35. DETAIL REFERENCE

[illegible]

- THE PURPOSE OF THIS SHEET IS TO ILLUSTRATE AND DEFINE TYPICAL GRAPHIC SYMBOLS WHICH MATHEMATICALLY OCCUR ON THE ARCHITECTURAL DRAWINGS.
- ADDITIONAL SYMBOLS NOT SHOWN OR DEFINED ON THIS SHEET MAY BE USED ON THE ARCHITECTURAL DRAWINGS AND ARE TYPICALLY DEFINED ON OTHER SHEETS.
- SYMBOLS ARE NOT DRAWN TO SCALE. TO DETERMINE THE ACTUAL SIZES OF ELEMENTS REPRESENTED BY SYMBOLS, REFER TO THE SPECIFICATIONS AND OTHER SHEETS, AS MAY APPLY.

4840 E. GANDALF LANE  
FLAGSTAFF, ARIZONA 86004

THE FOLLOWING PROJECT GENERAL NOTES APPLY TO THE ENTIRE DRAWING SET AND ARE NOT SPECIFIC TO ANY ONE DRAWING, UNLESS OTHERWISE NOTED.

A. THE CONTRACTOR/OWNER'S DRAWING SET AND SPECIFICATIONS ARE COMPLEMENTARY AND ESTABLISH DETAIL/NUMBER REQUIREMENTS FOR THE DESIGNER'S CONTRACTOR'S SET.

B. THE PROJECT SET, WHEN COMPLETED, CONSISTS OF ALL SHEETS LISTED IN THE SHEET INDEX. THE WORK DESCRIBED IN THE DRAWING SET OF ONE DRAWING MAY BE APPLICABLE BY THE SAME DESCRIBED CONDITIONS OF ANOTHER DRAWING AND MAY REQUIRE REFERENCE TO DRAWINGS OF ANOTHER DRAWING.

C. PARTIAL DRAWING SETS ARE INCORPORATE, DO NOT DESTROY OR UTEILE PARTIAL DRAWING SETS.

D. COLUMNS ARE IDENTIFIED BY A LETTER DESIGNATION AND PARALLEL, UNLESS OTHERWISE NOTED. COLUMNS ARE IDENTIFIED BY A NUMBER DESIGNATION AND PARALLEL AND ARE PROVIDED WITH THE LETTER DESIGNATION AND PARALLEL UNLESS OTHERWISE NOTED.

E. DESIGNER GENERAL NOTES, SURVEY AND CALCULATIONS APPLICABLE TO EACH DESCRIBED DRAWING MAY BE FOUND AT THE FRONT OF EACH DRAWING'S PORTFOLIO. THE DRAWING SETS ARE ARRANGED AS PART OF THE ORIGINAL PROJECT SHEET INDEX.

F. THE ILLUSTRATED SERIES DRAWINGS TAKE PRECEDENCE FOR THE FOLLOWING ADOPTION AND ACTION FOR ALL DESCRIBED DRAWINGS. THE WORK OF ALL DRAWINGS THAT SHOW WHICH IS ADAPTED, PARTIAL, OR CHANGES OF OTHER DESIGNS.

**OWNER:**  
BRAND BROTHERS BURNCH  
100 W. 113TH ST. ST. LOUIS, MO 63104

**GENERAL CONTRACTOR:**  
EMALZ  
EMALZ  
EMALZ

**ARCHITECT:**  
L20 | Modern Studio, Inc. #5058  
100 W. 113TH ST. ST. LOUIS, MO 63104

**CONTRACT MANAGER, PRINCIPAL ARCHITECT**  
EMALZ | [barnes@l20group.com](mailto:barnes@l20group.com)

**CONTRACT MANAGER, PROJECT MANAGER**  
EMALZ | [bonsang@l20group.com](mailto:bonsang@l20group.com)

**STRUCTURAL ENGINEER:**  
BARKER | BARKER  
1501 S. KENNEDY BLVD. WILMOTHE, OR 97146-2440  
ST. LOUIS, MO 63108

**GEOLOGICAL ENGINEER**  
EMALZ | [gs200020@gmail.com](mailto:gs200020@gmail.com)

**LANDSCAPE DESIGNER:**  
WARRIERS | LANDSCAPE COMPANY  
1101 E. BURLINGAME BL. FARGO, ND 58101

**LANDSCAPE ARCHITECT**  
EMALZ | [dan@warr.com](mailto:dan@warr.com)  
EMALZ | [dan@warr.com](mailto:dan@warr.com)

**CEILING DESIGNER:**  
DANON | DANON  
12409 N. MISSOURI AVE., ST. LOUIS, MO 63026

**INTERIOR DESIGNER**  
EMALZ | [steven@danonstudio.com](mailto:steven@danonstudio.com)

**ELECTRICAL ENGINEER:**  
DANON | DANON  
12409 N. MISSOURI AVE., ST. LOUIS, MO 63026

**ADAM BISHOP**  
EMALZ | [adam.bishop@danonstudio.com](mailto:adam.bishop@danonstudio.com)

**ELECTRICAL ENGINEER:**  
DANON | DANON  
12409 N. MISSOURI AVE., ST. LOUIS, MO 63026

**MECHANICAL ENGINEER**  
EMALZ | [mech@danonstudio.com](mailto:mech@danonstudio.com)

PROJECT SCOPE: NEW CONSTRUCTION OF A TWO-STORY RESIDE LOCATED IN THE  
FINGER LAKES SUBURB

ASSESSOR PARCEL ID: 156-0415

CURRENT ZONE: RR-RURAL RESIDENTIAL

SITE AREA: 109.104 SF (0.88 ACRES) TOTAL SITE

1.674 SF	TOTAL PATIODECK	
3.415 SF	TOTAL GARAGE	
4.172 SF	TOTAL BUILDING	0.000 ACRES (FOOTPRINT ONLY)
2.014 SF	TOTAL BUILDING	0.000 ACRES (FOOTPRINT ONLY)
373 SF	TOTAL PATIO	
2,188 SF	TOTAL PATIO	0.016 ACRES (FOOTPRINT ONLY)
333 SF	TOTAL PATIO	0.003 ACRES (FOOTPRINT ONLY)
50.0 SF	OTHER - SPORT COURT	
14,275 SF	TOTAL RESIDE	0.320 ACRES (FOOTPRINT ONLY)
		0.33 ACRES OR 0.4% OF TOTAL SITE

154,830 SF (1.05 ACRES) NET SITE AREA

STORIES: TWO STORY

BUILDING AREA:

LIVABLE	
MAIN-1ST FLOOR	3,034 SF
2ND FLOOR	2,237 SF
CEILING (2ND) 1ST FLOOR	786 SF
CEILING (2ND) 2ND FLOOR	772 SF
LIVABLE TOTAL	6,895 SF

GARAGE

2ND FLOOR	7,109 SF
1ST & 2ND FLOORS & CONC.	2,243 SF
GARAGE TOTAL	9,352 SF

UNDER ROOF TOTAL: 9,403 SF

DRAWINGS		REVISED			
SHEET	DESCRIPTION	DATE	BY	CHKD	DATE
<b>GENERAL</b>					
001	COVER SHEET				
001	SCHEDULES & LEGENDS				
<b>SITE</b>					
001	OVERALL SITE PLAN (GENERAL NOTES)				
002	PAVING SITE PLAN				
<b>CIVIL</b>					
C101	COVER SHEET				
C102	SPACING AND DRAINAGE PLAN				
C103	SECTIONS & DETAILS				
C104	UTILITY PLAN				
C105	STORMWATER MANAGEMENT PLAN				
C106	STORMWATER MANAGEMENT PLAN				
<b>ARCHITECTURAL</b>					
A1.1	FLOOR PLAN - FIRST LEVEL				
A1.2	FLOOR PLAN - SECOND LEVEL				
A1.3	REFLECTED CEILING PLAN - FIRST LEVEL				
A1.4	REFLECTED CEILING PLAN - SECOND LEVEL				
A1.5	ROOF PLAN				
A1.6	INTERIOR ELEVATIONS				
A1.7	EXTERIOR ELEVATIONS				
A1.8	BUILDING SECTIONS				
A1.9	BUILDING SECTIONS				
<b>STRUCTURAL</b>					
S1.1	GENERAL STRUCTURAL NOTES				
S1.2	SPECIAL INSPECTION TABLES				
S1.3	TYPICAL DETAILS				
S1.4	TYPICAL DETAILS				
S2.1	FOUNDATION PLAN				
S2.1A	FOUNDATION PLAN - FIRST LEVEL				
S2.2	FOUNDATION PLAN - SECOND LEVEL				
S2.2A	FOUNDATION PLAN - SECOND LEVEL				
S3.1	ROOF FRAMING PLAN				
S4.1	FOUNDATION DETAILS				
S4.2	FOUNDATION DETAILS				
S5.1	FRAMING DETAILS				
S5.2	FRAMING DETAILS				
S5.3	FRAMING DETAILS				
S5.4	FRAMING DETAILS				
S6.1	ROOF FRAMING DETAILS				
S6.2	ROOF FRAMING DETAILS				
S6.3	ROOF FRAMING DETAILS				

M000	MECHANICAL SHEET INDEX & SYMBOLS	•		
M001	MECHANICAL SPECIFICATIONS			
M010	MECHANICAL PLAN- FIRST LEVEL	•		
M011	MECHANICAL PLAN- SECOND LEVEL	•		
M020	MECHANICAL DETAILS			
M400	MECHANICAL SCHEDULES			
M401	LOAD CALC.			
<b>PUMPER</b>				
P000	PUMPING SHEET INDEX & SYMBOLS	•		
P001	PUMPING SPECIFICATIONS			
P010	PUMPING PLAN			
P020	PUMPING DETAILS			
P031	PUMPING DIAGRAMS	•		
P400	PUMPING SCHEDULES			
<b>ELECTRICAL</b>				
E000	ELECTRICAL SHEET INDEX & SYMBOLS	•		
E001	ELECTRICAL SPECIFICATIONS			
E100	ELECTRICAL INTL PLAN			
E200	ELECTRICAL PLAN- FIRST LEVEL	•		
E201	ELECTRICAL PLAN- SECOND LEVEL	•		
E300	LIGHTING PLAN- FIRST LEVEL			
E301	LIGHTING PLAN- SECOND LEVEL			
E400	ONE LINE DIAGRAM, FEEDER SCHEDULE			

**2008 INTEREST**  
2010 INTERNATIONAL RESIDENTIAL CODE  
2010 INTERNATIONAL BUILDING CODE  
2010 INTERNATIONAL MECHANICAL CODE  
2010 INTERNATIONAL PLUMBING CODE  
2010 INTERNATIONAL FUEL GAS CODE

2010 INTERNATIONAL FIRE CODE  
2010 INTERNATIONAL ELECTRIC CODE  
2010 INTERNATIONAL ENERGY CONSERVATION CODE

**2018 INTERNATIONAL RESIDENTIAL CODE PART 13.01.2.3.1.1.1 AS AMENDED:**  
GROUND OPENING CODE NO. 110  
VINI: DESIG = SPECIAL WIND RESIST  
VINI: DESIG = POPCORN EFFECTS NO  
VINI: DESIG = SPECIAL WIND RESIST  
VINI: DESIG = INSULATED WEATHER ZONE NO  
SUSTAIN DAMAGE CATEGORY  
SUBJECT TO DAMAGE FROM WEATHERING MODERATE  
SUBJECT TO DAMAGE FROM FAST MOVING WINDS  
SUBJECT TO DAMAGE FROM TYPICAL MODERATE TO HEAVY  
WIND DESIGN TEMPERATURES CATEGORY D  
ICE BARRIER UNDESIRABLE REQUIRED YES  
FLOOR HAZARDOUS AREAS 601-819, 819-1018, CDD40-207  
AFF. FREQUENCY: 10/10  
MEAN ANNUAL TEMPERATURE 45 DEGREES F

Street ■ Phoenix, AZ ■ 85008  
P: 480.966.4001

LOT 10, FOREST RIDGE SUBDIVISION  
4940 E. CANADALEIN

NUMBER	REVISION	DATE
	PERMIT REVISIONS	07/09/02



SHEET TITLE:  
 COVER SHEET / GENERAL NOTES  
 ISSUE DATE:  
 DRAWN BY:  
 CHECKED BY:  
 PROJECT No.:  
 SUBJECT:

## GO.0

07/09/2021 - BLACKLINES





### CONSTRUCTION

- ## WINDOWS AND GLAZING

## FINISHES

- ## FIRE PROTECTION

- POWER/COMM**

- OCCUPATIONAL STRESS AND BURNOUT

- THERE WILL BE DIRECT EXPOSED

### NEEDS-BASED CONSTRUCTION

- EQUIPMENT NOTES

- Figure 1**

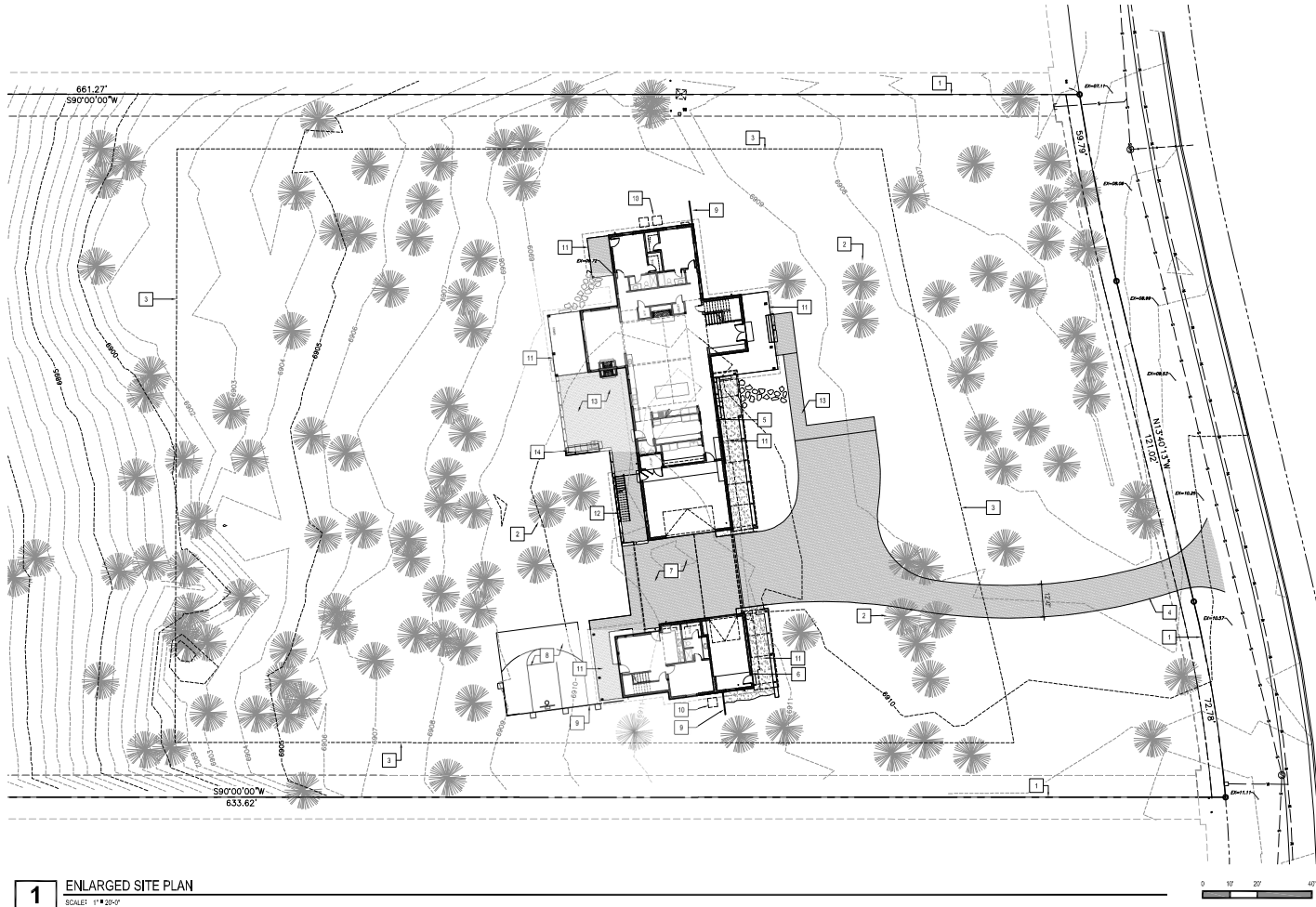
- 2407

PROJECT SCOPE:

- 1994



A0 1

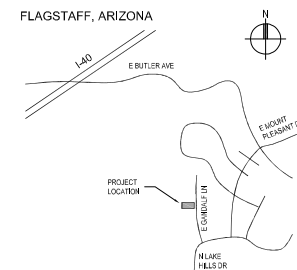


**1** ENLARGED SITE PLAN  
SCALE: 1" = 20'-0"

#### KEYNOTES

1. PROPERTY LINE
2. TREE TO REMAIN TYP. (PROTECT WHERE REQUIRED DURING CONSTRUCTION)
3. SETBACK CASEMENT ESTABLISHED FROM PLAT
4. NEW ENTRY DRIVE LOCATION
5. MAIN RESIDENCE
6. ATTACHED ACCESSORY DWELLING UNIT
7. CARPORT
8. SPORT COURT (SCREENED BY FENCING)
9. 6'4" TALL SITE FENCE
10. HVAC UNIT, REFERENCE MECHANICAL
11. OUTDOOR COVERED PORCH
12. EXTERIOR STAIR TO SECOND LEVEL DECK
13. UNCOVERED HARDSCAPE AREA
14. OUTDOOR CABINETRY & BBQ

#### VICINITY MAP

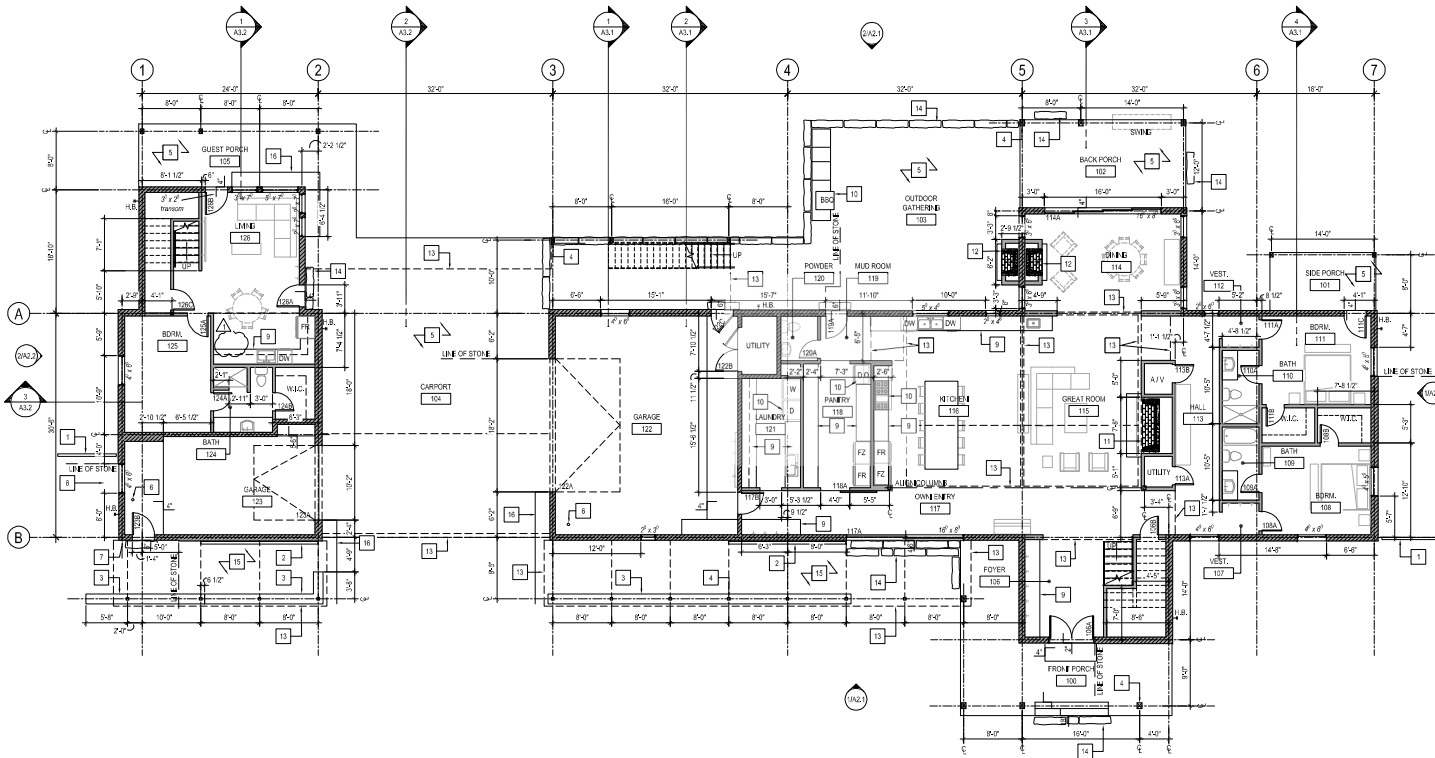


NAME	REVISION	DATE



SHEET TITLE:	ENLARGED SITE PLAN
DATE:	05/18/2021
DRAWN BY:	BCC
CHECKED BY:	BLM
PROJECT NO.:	
SHEET:	

**A0.2**



## GENERAL PLAN NOTES

1. ALL OPERABLE GLAZING UNITS IN BEDROOMS TO MEET IRC-2015.1 (3.5.8.1. PORTION OF WINDOW MUST OPEN TO FULL 90 DEGREES.
2. ALL EXTERIOR DIMENSIONS ARE FROM CENTERLINE OF FRAMING L.U.O.
3. ALL INTERIOR DIMENSIONS ARE FROM FACE OF FRAMING L.U.O.
4. ALL WINDOW / DOOR SIZE CALL OUTS ON PLAN ARE ROUGH OPENING DIMENSIONS.
5. VERIFY PLACEMENT OF ALL PLUMBING FIXTURES, DEVICES, SWITCHES AND OUTLETS WITH ARCHITECT / OWNER PRIOR TO ROUGH-IN.
6. COORDINATE LANDSCAPE LIGHTING WITH OWNER PRIOR TO INSTALL.
7. ALL SHOWER COMPARTMENT GLAZING TO BE TEMPERED.
8. ALL GLAZING PANELS GREATER THAN 54" L, BOTTOM EDGE LESS THAN 18" ABOVE FLOOR, OR TOP EDGE LESS THAN 30" ABOVE THE FLOOR TO BE TEMPERED.
9. COMPLIANCE WITH CHAPTER 11 OF THE 2018 IRC. CHAPTER 4 OF THE IRC IS REQUIRED, ZONE 2A. A PERMANENT ENERGY CERTIFICATE WILL BE REQUIRED AT TIME OF FINAL TO BE POSTED IN ELECTRICAL CONTROL ROOM.
10. PRESCRIPTIVE REQUIREMENTS INCLUDE:
  - A. CEILING ATTIC R-VALUE OF R-48 (MIN.) PER 2018 IRC - ZONE 5B
  - B. WALL INSULATION R-VALUE OF R-20 OR 12-1/2 (MIN.) PER 2018 IRC - ZONE 5B
  - C. WINDOW U-FACTOR OF .20 (MAX.) PER 2018 IRC - ZONE 5B
  - D. SOLAR HEAT GAIN COEFFICIENT (SHGC) PER 2018 IRC - ZONE 5B
  - E. SUPPLY & RETURN DUCT INSULATION VALUE OF R-8 (MIN.)
11. ALL FLOOR REGISTERS/GRILLES TO BE LOCATED BY ARCHITECT PRIOR TO INSTALL.
12. PROVIDE DOUBLE, SHELF AND ROD AT ALL CLOSETS AS SHOWN IN PLAN.
13. PROVIDE CONTINUOUS WATERPROOFING AT ALL SHOWERS UP WALL AND OVER ANY CURBS.
14. PROVIDE ACOUSTICAL INSULATION AT ALL BEDROOM INTERIOR WALLS / FLOORS.
15. INSTALL 5/8" TYPE 'X' OR EQUIVALENT SHEETROCK AT GARAGE CEILINGS, RC, R302A.
16. INSTALL MIN. R-30 INSULATION AT GARAGE CEILINGS, R103.1

## FLOOR PLAN KEYNOTES

1. 8'-0" TALL SITE SCREEN FENCING
2. 8'-0" X 10'-0" SLIDING BARN DOOR
3. LUNSTONE GARDEN WALL, REF. ELEVATIONS / SECTIONS FOR HEIGHTS
4. STRUCTURAL COLUMN, REF. STRUCT. TYP.
5. CONCRETE PAVERS, TYP. REFERENCE LANDSCAPE
6. APPROXIMATE LOCATION OF FIRE RISER, REF. PLUMBING
7. APPROXIMATE LOCATION OF WATER SERVICE, REF. PLUMBING Riser DIAGRAM FOR SHUT OFF VALVES TO EACH STRUCTURE.
8. APPROXIMATE LOCATION OF GAS METER AND SERVICE, REF. PLUMBING
9. BUILT-IN MILLWORK / CABINETS / ISLANDS, TYP., REF. INTERIOR ELEVATIONS
10. GAS APPLIANCE, REF. PLUMBING
11. 72" MAGNUM SERIES, BOKERY, WOOD BURNING FIRE PLACE, INSTALL GAS VALVE, REF. PLUMB. REF. MANUFACTURERS INSTALLATION INSTRUCTIONS FOR SEPARATION OF COMBUSTIBLE MATERIALS AND OTHER REQUIREMENTS.
12. 30" STANDARD SERIES, ISOTHERM, WOOD BURNING FIRE PLACE, INSTALL GAS VALVE, REF. PLUMB. REF. MANUFACTURERS INSTALLATION INSTRUCTIONS FOR SEPARATION OF COMBUSTIBLE MATERIALS AND OTHER REQUIREMENTS.
13. LINE OF ROOF / DECK / FLOOR / BEAM / SOFFIT ABOVE
14. CUT LUNSTONE, LANDSCAPE EDGER STEPPING STONE, TYP., REF. LANDSCAPE
15. PEA GRAVEL BED, TYP., REF. LANDSCAPE
16. LANDSCAPE PLANTER BED, REF. LANDSCAPE
17. EDGE OF FLOOR / DECK, INSTALL 4" GUARDRAIL AT ALL LOCATIONS AS SHOWN.
18. FULL-HEIGHT GLAZING UNIT UP TO SOFFIT, CUSTOM STEEL TRUE DIVIDED LITE UNIT.
19. BUILT-IN TILE, SHOWER SEAT BENCH
20. PARTIAL HEIGHT WALL, REF. SECTIONS
21. UNCONDITIONED, PLENUM / FRAMING SPACE
22. STANDING BEAM, METAL ROOF

## SYMBOLS

- EXTERIOR FRAMED WALL
- INTERIOR FRAMED WALL
- NEW INTERIOR LOW WALL

## 1 FLOOR PLAN - FIRST LEVEL

SCALE: 1/8" = 1'-0"





SHEET TITLE:  
SECOND LEVEL FLOOR PLAN  
ISSUE DATE: 07/09/2021  
DRAWN BY: BCO  
CHECKED BY: JLM  
PROJECT NO: 17862  
SHEET:

**A1.2**

## GENERAL PLAN NOTES

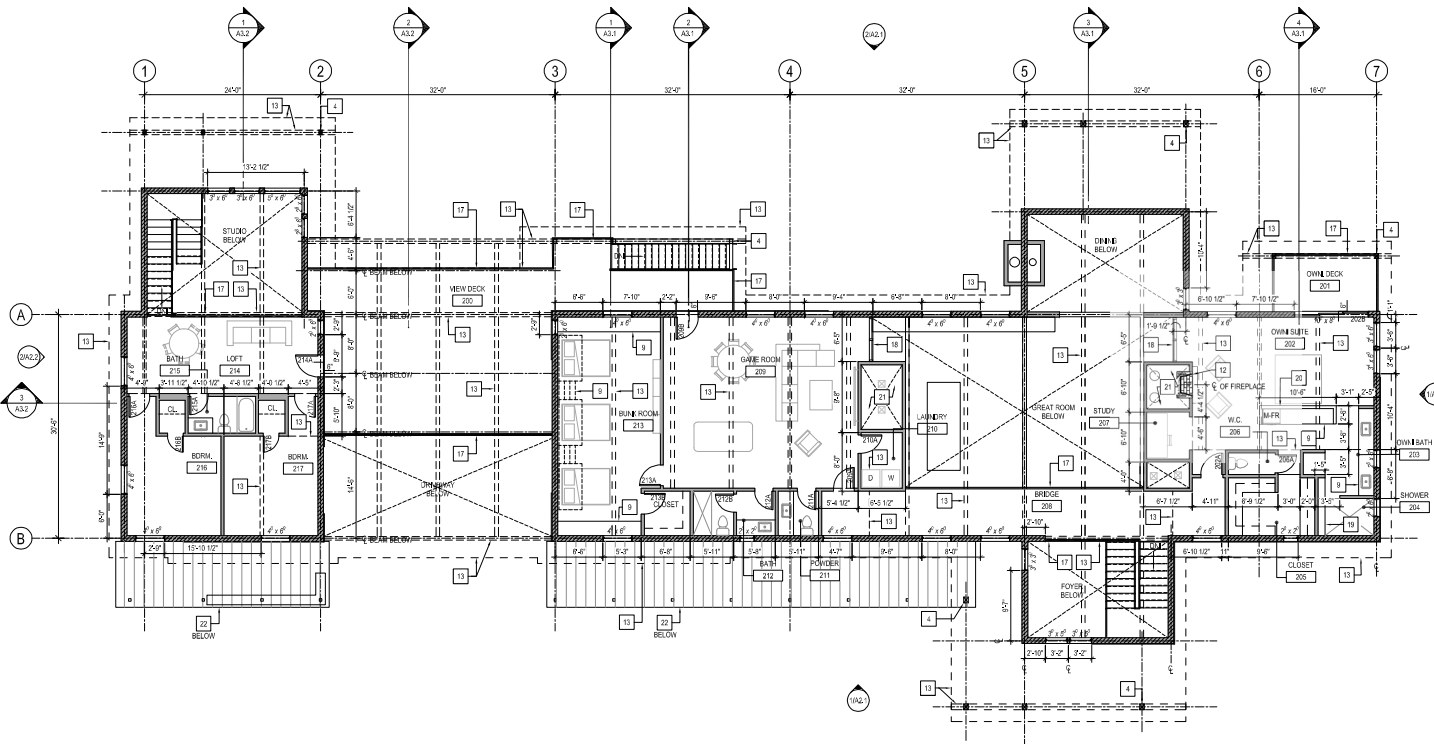
1. ALL OPERABLE GLAZING UNITS IN BEDROOMS TO MEET IRC-401.1.1 (3-S-F, PORTION OF WINDOW MUST OPEN TO FULL 90 DEGREES.
2. ALL EXTERIOR DIMENSIONS ARE FROM CENTERLINE OF FRAMING, UNLESS NOTED.
3. ALL INTERIOR DIMENSIONS ARE FROM FACE OF FRAMING, UNLESS NOTED.
4. ALL WINDOW / DOOR SIZE CALL OUTS ON PLAN ARE ROUGH OPENING DIMENSIONS.
5. VERIFY PLACEMENT OF ALL PLUMBING FIXTURES, DEVICES, SWITCHES AND OUTLETS WITH ARCHITECT / OWNER PRIOR TO ROUGH-IN.
6. COORDINATE LANDSCAPE LIGHTING WITH OWNER PRIOR TO INSTALL.
7. ALL SHOWER COMPARTMENT GLAZING TO BE TEMPERED.
8. ALL GLAZING PANELS GREATER THAN 5'-0" WIDE, BOTTOM EDGE LESS THAN 18" ABOVE FLOOR, OR TOP EDGE LESS THAN 30" ABOVE THE FLOOR TO BE TEMPERED.
9. COMPLIANCE WITH CHAPTER 11 OF THE 2018 IRC AND CHAPTER 4 OF THE IECC IS REQUIRED. (ZONE 2). A PERMANENT ENERGY CERTIFICATE WILL BE REQUIRED AT TIME OF FINAL TO BE POSTED IN ELECTRICAL CONTROL ROOM.
10. PRESCRIPTIVE REQUIREMENTS INCLUDE:
  - A. CEILING ATTIC R-VALUE OF R-48 (MIN), PER 2018 IRC - ZONE 5B
  - B. WALL INSULATION R-VALUE OF R-20 OR R-15 (MIN), PER 2018 IRC - ZONE 5B
  - C. WINDOW U-FACTOR OF .20 (MAX), PER 2018 IRC - ZONE 5B
  - D. SOLAR HEAT GAIN COEFFICIENT (SHGC) PER 2018 IRC - ZONE 5B
  - E. SUPPORT & INSULATED OUT INSULATION VALUE OF R-10 (MIN)
11. ALL FLOOR REGISTERS/GRILLES TO BE LOCATED BY ARCHITECT PRIOR TO INSTALL.
12. PROVIDE DOUBLE, SHELVE AND ROD AT ALL CLOSETS AS SHOWN IN PLAN.
13. PROVIDE CONTINUOUS WATERPROOFING AT ALL SHOWERS UP WALL AND OVER ANY CURBS.
14. PROVIDE ACOUSTICAL INSULATION AT ALL BEDROOM INTERIOR WALLS / FLOORS.
15. INSTALL 5/8" TYPE "M" OR EQUIVALENT 5/8" ECTROCK AT GARAGE CEILING, RC, R302A.
16. INSTALL MIN. R-30 INSULATION AT GARAGE CEILING, R102.1

## FLOOR PLAN KEYNOTES

1. 8'-0" TALL SITE SCREEN FENCING
2. 8'-0" X 12'-0" SLIDING BARN DOOR
3. LUNESTONE GARDEN WALL, REF. ELEVATIONS / SECTIONS FOR HEIGHTS
4. STRUCTURAL COLUMN, REF. STRUCT. TYP.
5. CONCRETE PAVERS, TYP. REFERENCE LANDSCAPE
6. APPROXIMATE LOCATION OF FIRE RISER, REF. PLUMBING
7. APPROXIMATE LOCATION OF WATER SERVICE, REF. PLUMBING RISER DIAGRAM FOR 5/8" SHUT OFF VALVES TO EACH STRUCTURE.
8. APPROXIMATE LOCATION OF GAS METER AND SERVICE, REF. PLUMBING
9. BUILT-IN MILLWORK / CABBINETS / SHELVING, TYP., REF. INTERIOR ELEVATIONS
10. GAS APPLIANCE, REF. PLUMBING
11. 72" VANGUARD SERIES, BUCKNER, WOOD BURNING FIRE PLACE, INSTALL GAS VALVE, REF. PLUMBING, MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR SEPARATION OF COMBUSTIBLE MATERIALS AND OTHER REQUIREMENTS.
12. 36" STANDARD SERIES, BUCKNER, WOOD BURNING FIRE PLACE, INSTALL GAS VALVE, REF. PLUMBING, MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR SEPARATION OF COMBUSTIBLE MATERIALS AND OTHER REQUIREMENTS.
13. LINE OF ROOF / DECK / FLOOR / BEAM / SLOTTED ABOVE
14. CUT LUNESTONE, LANDSCAPE EDGER STEPPING STONE, TYP., REF. LANDSCAPE
15. PEA GRAVEL BED, TYP., REF. LANDSCAPE
16. LANDSCAPE PLANTER BED, REF. LANDSCAPE
17. EDGE OF FLOOR / DECK, INSTALL 4" GUARDRAIL, AT ALL LOCATIONS AS SHOWN
18. FULL-HEIGHT GLAZING UNIT UP TO SOFFIT, CUSTOM STEEL, TRIPLE DIVIDED LITE UNIT.
19. BUILT-IN T.B.E. SHOWER SEAT BENCH
20. PARTIAL HEIGHT WALL, REF. SECTIONS
21. UNCONDITIONED, PLUMBING / FRAMING SPACE
22. STAINLESS STEEL, METAL ROOF

## SYMBOLS

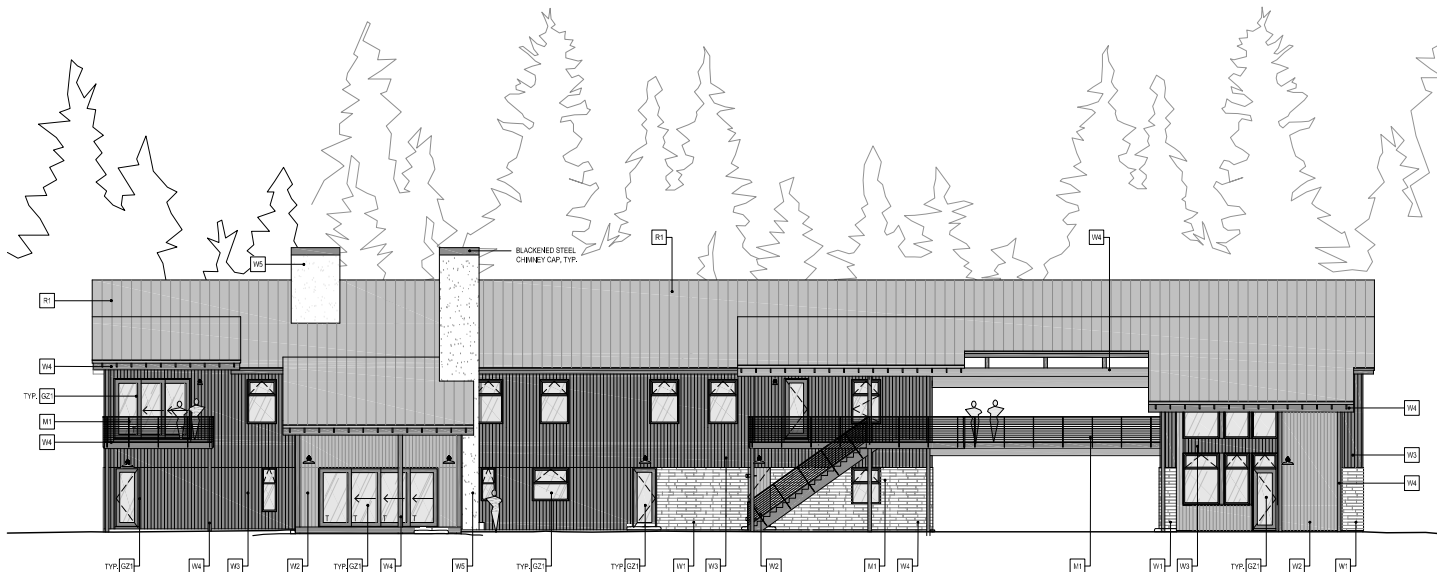
- EXTERIOR FRAMED WALL
- INTERIOR FRAMED WALL
- NEW INTERIOR LOW WALL



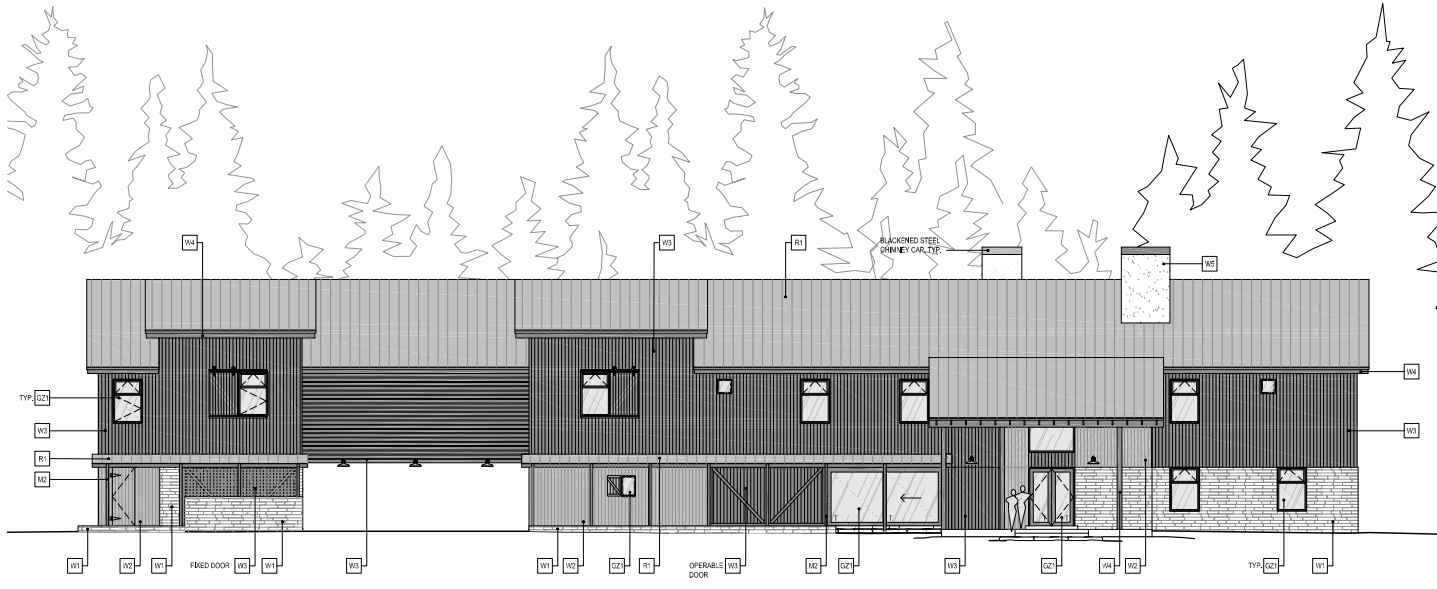
**1 FLOOR PLAN - SECOND LEVEL**  
SCALE: 1/8" = 1'-0"







**2 WEST ELEVATION**  
SCALE: 18' = 1"



**1 EAST ELEVATION**  
SCALE: 18' = 1"

### MATERIALS

**KEY: DESCRIPTION:**

**EXTERIOR FINISH KEY:**

- W1** 3/4" WHITE, NATURAL LIMESTONE VENEER, FROM TELLUDE, NATURAL STONE, PHOENIX, AZ. ROUGH FACE, CUT TOP/BOTTOM.
- W2** 1/8" VERTICAL, RECLAIMED WOOD SIDING, LARABEE FINISH, FROM CENTENNIAL WOODS, LARABEE, WYOMING.
- W3** 1/8" VERTICAL, WOOD SIDING, DARK FINISH, T.B.D.
- W4** EXPOSED, DOUG-FIR, GLU-LAM / POST / BEAM, W/ CLEAR COAT
- W5** WHITE, INTEGRAL, STUCCO, SMOOTH FINISH
- R1** STANDING BEAM METAL ROOF, WESTERN LOCK, 18" WIDE, 5/8" HBL, COLOR: MUSKET GRAY, MATTE FINISH, LRVC 1231
- M1** BLACKENED STEEL BAR-FRAMED GUARDRAIL, 8" CABLE RAILS, W/ MATTE SEALER.
- M2** BLACKENED STEEL POST & BEAM PORCH SYSTEM, W/ MATTE SEALER

**GLAZING KEY:**

- GZ1** DOOR / WINDOW FRAMES: PELLA LIFESTYLE SERIES - BLACK ALUMINUM CLAD, WOOD INTERIOR.
- GZ2** GLAZING: 1" CLEAR, ADVANCED LOW-E INSULATED GLASS - TEMPERED PER CODE WINDOW JOIST/VALUE OR (3/4" MAX)

**PAINT KEY:**

- P1**
- P2**
- P3**

**PAINTING NOTES:**

1. PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE COLORS TO BE SELECTED.
2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLORS.
3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAVED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.



2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

## MATERIALS

### KEY: DESCRIPTION:

#### EXTERIOR FINISH KEY:

- W1 5/8" WHITE, NATURAL LIMESTONE VENEER, FROM TELLURIDE NATURAL STONE, PHOENIX, AZ. ROUGH FACE, CUT TOP/BOTTOM.
- W2 1/8" VERTICAL, RECLAIMED WOOD SIDING, LARABEE FINISH, FROM CENTENNIAL WOODS, LARABEE, WYOMING.
- W3 1/8" VERTICAL, WOOD SIDING, DARK FINISH, T.B.D.
- W4 EXPOSED, DOUG-FIR, GLU-LAM / POST / BEAM, W/ CLEAR COAT
- W5 WHITE, INTEGRAL STUCCO, SMOOTH FINISH
- R1 STANDING SEAM METAL ROOF, WESTERN LOCK, 18" WIDE, 5/8" HIG, COLOR MUSKET GRAY, MATTE FINISH, LRV: 12.1
- R2 BLACKENED STEEL BAR-FRAMED GUARDRAIL & CABLE RAILS, W/ MATTE SEALER.
- R3 BLACKENED STEEL POST & BEAM PORCH SYSTEM, W/ MATTE SEALER

#### GLAZING KEY:

- G1 DOOR / WINDOW FRAMES: PELLA LIFESTYLE SERIES - BLACK ALUMINUM CLAD, WOOD INTERIOR.
- G2 GLAZING: 1" CLEAR, ADVANCED LOW-E INSULATED GLASS - TEMPERED PER CODE. WINDOW U-VALUE OF 0.30 U/FT<sup>2</sup>.

#### PAINT KEY:

- P1
- P2
- P3

#### PAINTER NOTES:

1. PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE COLORS TO BE SELECTED.
2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLORS.
3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK PRECAST CONCRETE. UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.



R1



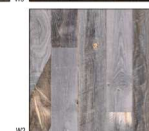
W1



M1/M2



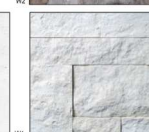
W3



W2



W5



R1



## **Planning & Zoning Commission**

**5. B.**

**Meeting Date:** 09/08/2021

**From:** Patrick St. Clair, Planning Development Manager

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### **Information**

**TITLE:**

**PZ-19-00022-05 Cedar Medical**

A Conditional Use Permit request from Apricus Health to use approximately 17,000 square feet of a forthcoming 44,702 square foot office building located at 1895 N Jasper Drive for a Hospital use. The parcel, APN 101-46-012B, is zoned Research and Development (RD) and is located within the McMillan Mesa Village Specific Plan development area "F".

**STAFF RECOMMENDED ACTION:**

In accordance with the findings presented in this report, staff recommends approval of PZ-19-00022-05 with conditions.

---

### **Attachments**

PZ-19-00022-05 CUP Staff Report

Vicinity Map

Surrounding Uses Map

Draft Conditional Use Permit PZ-19-00022-05

Draft Notice of Decision

Proposition 207 Waiver

Site Plan Approval Letter

Site Plan Conditions of Approval

Approved Minor Modification to Development Approvals application

Site Plan Drawings

CUP application

CUP Narrative

Public Participation Plan

Public Participation Report

Public Hearing Newspaper Ad

Public Comments

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**PLANNING AND DEVELOPMENT SERVICES REPORT**  
**CONDITIONAL USE PERMIT**

**PUBLIC HEARING**  
**PZ-19-00022-05**

**DATE:** **August 5, 2021**  
**MEETING DATE:** **August 25, 2021**  
**REPORT BY:** **Patrick St. Clair**

**REQUEST:**

A Conditional Use Permit request from Apricus Health to use approximately 17,000 square feet of a forthcoming 44,702 square foot medical office building located at 1895 N Jasper Drive for a Hospital use. The parcel, APN 101-46-012B, is zoned Research and Development (RD) and is located within the McMillan Mesa Village Specific Plan development area "F".

**STAFF RECOMMENDATION:**

In accordance with the findings presented in this report, staff recommends approval of PZ-19-00022-05 with conditions.

**PRESENT LAND USE:**

Currently the parcel is being developed for the construction of a medical office building approved by right through Site Plan approval PZ-19-00022-02 on April 16, 2021. The development has approved civil drawings and building permit drawings.

**PROPOSED LAND USE:**

The applicant proposes to occupy approximately 17,000 square feet of a medical office building to accommodate a Hospital use. The hospital will include 6-8 emergency rooms and provide 8-10 recovery rooms.

**NEIGHBORHOOD DEVELOPMENT:**

North: Undeveloped (RD zone) parcel; Forest Avenue  
East: 1840 Jasper Dr – Cedar Medical Collaborative medical offices (RD zone), 1851 N Gemini – Rehabilitation Hospital of Northern Arizona (RD zone)  
South: Highgate Senior Living facility (CC zone)  
West: Open space reserved for resource protection within the McMillan Mesa Village Specific Plan (RD zone)

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**I. Project Introduction**

**A. Background/Introduction**

City Staff approved a Site Plan Application for a 44,702 square foot, single-story, medical office building on April 16, 2021. Table 10-40.30.050.B of the Flagstaff Zoning Code, *Industrial Zones - Allowed Uses*, identifies "Office" as a permitted land use in the Research and Development (RD) Zone. On August 4, 2021, staff approved a Minor Modification to Development Approval which revised the approved Site Plan to include minor changes necessary for the proposed Hospital use. The Hospital use requires the addition of an ambulance drop-off area and a service drive on the north façade of the building. Hospital is a permitted land use in the RD Zone subject to the approval of a Conditional Use Permit (CUP). The approved Site Plan application, drawings, and conditions of approval are attached to this report.

The proposed medical office building is oriented to face N Jasper Drive providing views to Mt. Elden and the San

Francisco Peaks to the west and north. The building entrances are oriented on the east, north and south of the building, including the proposed hospital entry, with the parking areas located behind or to the side of the building. Associated site improvements, such as landscaping, pedestrian and bicycle circulation routes, parking, outdoor lighting, and infrastructure are provided for the hospital as part of the development of the medical office building.

## **II. Required Findings**

The Planning Commission may approve the Conditional Use Permit only after making the following three findings:

### **A. Finding #1:**

*The conditional use is consistent with the objectives of the Zoning Code and the purpose of the Zone in which the site is located.*

Per the Flagstaff Zoning Code: “The Research and Development (RD) zone applies to areas of the City appropriate for the development of a mix of professional and administrative facilities, research and testing institutions, light manufacturing uses, green technology facilities, and offices. The uses are grouped in a campus or park-like setting in keeping with the natural scenic beauty of the City. This zone is intended to promote the provision of ample off-street parking, loading areas, and landscape buffers to protect residential and commercial zones from incompatible land uses. In addition, this zone accommodates residential uses as a secondary use to allow for more housing options.”

The Property is located within Planning Area F of the McMillan Mesa Specific Plan, which provides for similar goals and objectives for this Property as the RD zoning district. According to the McMillan Mesa Specific Plan, Planning Area F is intended to include “high technology research and development, corporate office and light manufacturing businesses located in a landscaped campus or park-like setting.”

The RD Zone allows Medical Offices and allows Hospital uses with the granting of a CUP. The purpose of a CUP is to provide a process for reviewing uses and activities that are permitted in an applicable zone, but that require more discretionary review and the possible imposition of conditions to mitigate the effects of the proposed use. Staff believes the greatest impact the Hospital use would have on the surrounding neighborhood is the proposed ambulance traffic. The applicant has stated that virtually all ambulance traffic associated with the Facility will be ambulance discharges from the Facility to another hospital. Of these discharges, most will be ordinary medical transports (with no ambulance lights or sirens), rather than trauma-level transports. Emergency transports are anticipated to occur infrequently—likely once or twice a month. Staff recommends the condition that, unless warranted by traffic or other safety issues, ambulance sirens for the Hospital use will not be activated until the intersections of Gemini Road and Forest Avenue.

### **B. Finding #2**

*That granting the conditional use will not be detrimental to the public health, safety, or welfare.*

If the proposed project is developed in accordance with City codes, standards, and requirements, the project should not be detrimental to the public health, safety, or welfare.

### **C. Finding #3**

*The characteristics of the conditional use as proposed, and as it may be conditioned, are reasonably compatible with the types of uses permitted in the surrounding area. The Conditional Use Permit shall be issued only when the Planning Commission finds that the Applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area (Flagstaff Zoning Code Section 10-*

20.40.050.E.3):

- *Access, traffic, and pedestrian, bicycle, and vehicular circulation;*
- *Adequacy of site and open space provisions, including resource protection standards, where applicable;*
- *Noise, light, visual, and other pollutants;*
- *Proposed style and siting of structure(s), and relationship to the surrounding neighborhood;*
- *Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements;*
- *Impact on public utilities;*
- *Signage and outdoor lighting;*
- *Dedication and development of streets adjoining the property; and*
- *Impacts on historical, prehistoric, or natural resources.*

**1. Access and Traffic; Pedestrian, Bicycle, and Vehicular Circulation**

A Traffic Impact Analysis (TIA) was not required for the medical office building or the proposed Hospital use. These uses are not anticipated to generate more traffic than was anticipated by the original TIA prepared for the McMillan Mesa Village rezoning and Specific Plan. Access to the Facility will be provided via two new ingress/egress driveways that will be constructed along N Jasper Drive and separated by approximately 265 feet for appropriate spacing. Both entries will be connected by an internal driveway that circulates around the building to provide a convenient and continuous circulation route to/from the Facility. The Project's access and drive locations also have well defined ingress and egress locations and a clear and safe on-site vehicular circulation pattern.

The Project provides connections to the existing pedestrian and bicycle network within McMillan Mesa. Specifically, along the Property's Forest Avenue frontage to the north/northwest is the existing Cedar Trail, part of the City's Flagstaff Urban Trails System (FUTS). The Project has been designed in recognition of its unique location next to the FUTS. The Project includes new concrete sidewalks that will provide a direct pedestrian linkage and bicycle connectivity between the Property, Cedar Trail, and N Jasper Drive. In addition, a significant portion of the Project's civic space is located in the northwest portion of the Property next to Forest Avenue to further link and establish pedestrian and bicycle connections to Cedar Trail. The Project development also includes new sidewalk and parkway along N Jasper Dr. The proposed ambulance circulation does not conflict with the on-site pedestrian and bicycle access.

The required parking for the proposed facility has been calculated using the medical office parking standards which requires 1 parking space per employee plus 5 parking spaces per doctor. Based on these requirements a total of 175 spaces are required. For each 25 vehicular spaces required, the Zoning Code allows for the substitution of one standard space with a motorcycle space. No additional parking reductions are utilized. The approved site plan shows 169 vehicle spaces and 6 motorcycle parking spaces. Of the 169 vehicle parking spaces, 7 accessible parking spaces are provided, complying with parking requirements. A minimum of three EV-ready parking spaces are required as part of the total vehicle spaces and those final locations will be reviewed and approved as part of the building permit review for tenant improvements within the building. The project is providing 12 bicycle parking spaces, which at 7% of the required off-street parking spaces is greater than the 5% required by the Zoning Code.

**2. Adequacy of Site/Open Space/Resource Provisions**

The site plan shows the proposed building complying with all the required development standards of the RD Zone and the McMillan Mesa Village Specific Plan including setbacks, building height, lot coverage, and

Floor Area Ratio (FAR). The lot coverage is 22%, less than the maximum 25% permitted in the zone. The FAR is 0.22, less than the maximum 0.50 allowed.

The approved Site Plan for the development shows that the proposal exceeds the minimum requirements for Civic Space. For developments with over 20,000 square feet, civic space is required to be provided at a rate of 5% of the gross development site. A total of 10,150 square feet is required and the Site Plan shows 19,067 square feet of civic space dispersed in three areas. These spaces include pathways and seating areas to link pedestrian and bicycle movement between N Jasper Drive and Forest Avenue through the site.

The subject property is in the Resource Protection Overlay and resource protection for the parcel was achieved with compliance to the resource protection standards included in the McMillan Mesa Village Specific Plan.

### **3. Noise, Light, Visual, and Other Pollutants**

The proposed hospital use will not have a detrimental impact in terms of noise, light, visual or other pollutants in the area. It is anticipated that almost all ambulance traffic associated with the facility will be as discharges to other hospital facilities as medical, not trauma-level discharges. Regardless, no ambulance lights or sirens will be associated with these discharges, day, or night. Occasional emergency transports may occur, but with less frequency than other uses surrounding the site. Staff recommends a condition that, unless warranted by traffic or other safety issues, ambulance sirens for the Hospital use will not be activated until the intersections of Gemini Road and Forest Avenue.

The hospital use will require an on-site generator for emergency situations. Staff is working with the applicant to determine final generator location for the hospital.

All exterior lighting will be required to comply with the City of Flagstaff's strict outdoor lighting requirements which supports and maintains our designation as an International Dark Sky City. In accordance with Section 10-50.70.040.B of the Zoning Code (Page 50.70-4), this development is located within Lighting Zone 2. In accordance with Table 10-50.70.050.A of the Zoning Code (Page 50.70-6), the maximum total lumens within Zone 2 is 50,000 lumens per acre. Lighting compliance has been ensured during the building permit review process. The medical office building project has an approved Outdoor Lighting Plan and any modifications or additions to the outdoor lighting will be reviewed by staff.

### **4. Style and Siting of Structure(s) and Relationship to Surrounding Neighborhood**

The project has been designed in accordance with the Site Planning Design Standards as identified in the Zoning Code. The building mass is oriented along N Jasper Drive and sets parking to the side or behind the structure. Sited to maximize views of the mountains to the north and northwest of the building, the site plan establishes clear on-site pedestrian, bicycle, and vehicular circulation routes across the site and around the building. The pedestrian and bicycle routes connect on-site civic spaces with FUTS and off-site sidewalks. Parking areas beside the building along N Jasper Dr will be screened from the ROW with compliant vegetation.

Architecturally, the project complies with the architectural design standards of the zoning code. The design uses primarily masonry and metal in earth tone finishes and incorporates various parapet heights and sloped roofs common to Flagstaff design traditions.

The surrounding neighborhood consists of Guardian Medical Transport and the Rehabilitation Hospital of



Northern Arizona to the east, both of which are two-stories. Highgate, a Congregate Care Facility located to the south, is a three-story structure. Currently under construction to the southeast, is a one-story medical office building.

**5. Landscaping and Screening**

The site will be landscaped in accordance with the requirements of the Zoning Code, per the design shown in the attached landscaping plan. The development utilizes a 5% reduction in landscaping which is permitted when public space is provided on-site.

**6. Impact on Public Utilities**

The proposed development has no additional impacts to City utilities that were not previously accounted for in the master planning and development of McMillan Mesa. The proposed Hospital use has similar demands on existing public utilities than the medical office development. No off-site improvements are required of the development.

**7. Signage and Outdoor Lighting**

The attached building elevations show areas for proposed building mounted signage. The project will require an approved permanent sign permit or approved comprehensive sign plan for the property.

As noted in section #3 above, the shell building project has already obtained an approved Outdoor Lighting Plan and any modifications or additions to outdoor lighting that may result from the hospital use will be reviewed as a resubmittal of the current existing outdoor lighting permit.

**8. Dedication and Development of Streets**

No dedication or development of public streets is required.

**9. Impacts on Resources**

This site is not currently listed on any state or federal historic registry, nor does the site have any other historical significance. As previously mentioned, the site is located within the Resource Protection Overlay zone.

This subject property is located within the Resource Protection Overlay. A natural resource protection plan for the McMillan Mesa Village Specific Plan clarified quantity and locations for resource protection for the entire specific plan area. A Cultural Resource Study for the site has been reviewed and approved by the Heritage Preservation Officer.

Conditions of approval will only be imposed if they are necessary to ensure the intent and purpose of the Zoning Code are met; to ensure compatible and complementary development of the property; and to ensure the provision of appropriate off-site improvements will be fulfilled.

**III. Citizen Participation**

The applicant held the required neighborhood meeting to discuss the proposed Conditional Use Permit application on June 28, 2021, using the Zoom platform. The applicant posted a sign on the property regarding the meeting and sent letters to 29 neighboring property owners and one Homeowners Association in addition to the City Registry of Interested Persons. Two members of the public attended the meeting. A summary of the meeting is attached to this report. The applicant requested to have the second meeting waived, which was approved by the Planning Director. To staff's knowledge, since that meeting neither the applicant nor staff have had contact from property owners in the area voicing any concerns over the proposal.

**IV. Recommendation:**

The Inter-Division Staff (IDS) team approved the Site Plan for this project on April 16, 2021 (conditions attached). Staff recommends that the request for the CUP be granted by the Planning and Zoning Commission with the requirements included in Conditional Use Permit No. PZ-21-00022-05 and as follows:

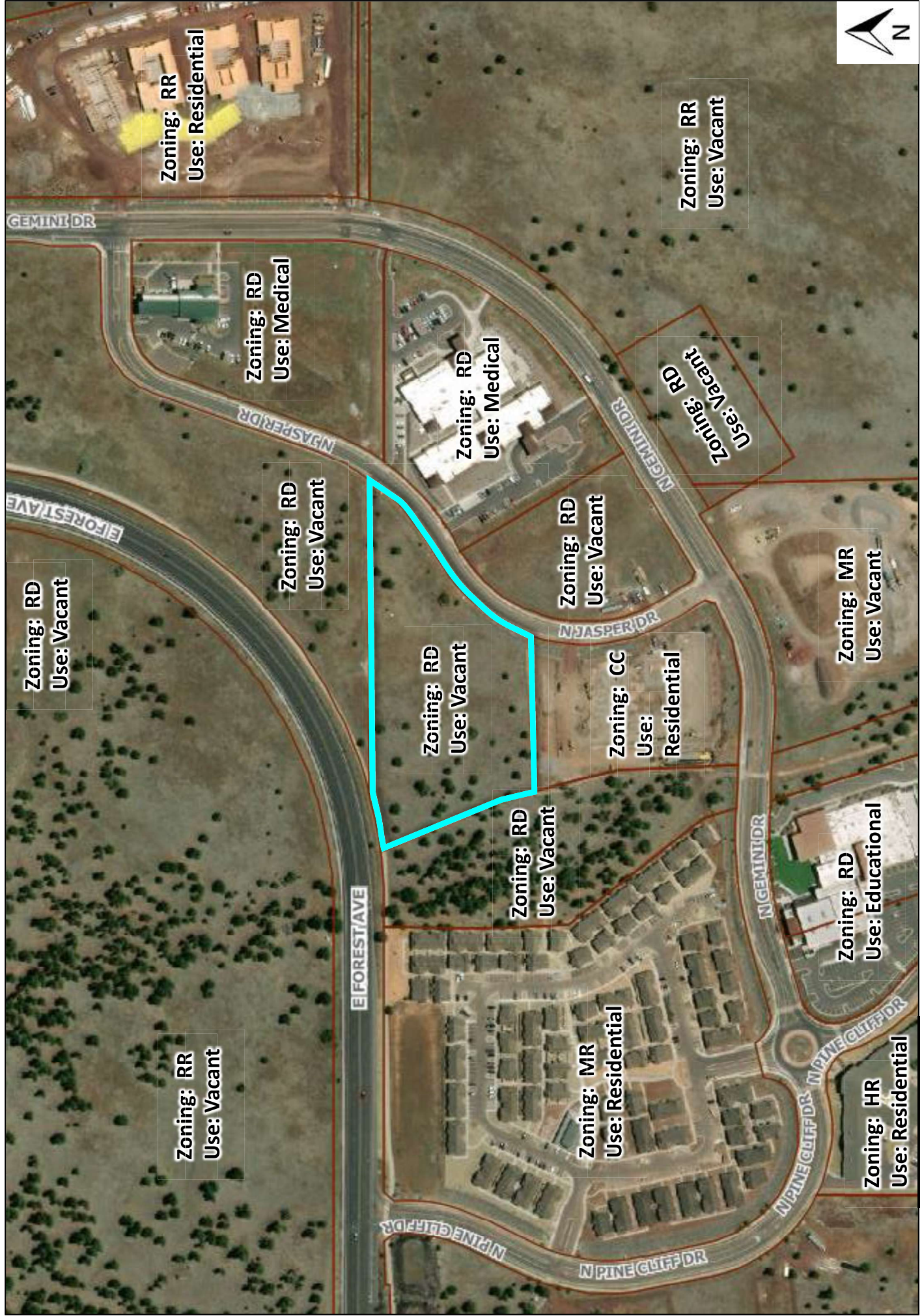
1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application, with the Site Plan (PZ-19-00022-02) as approved by the Inter-Division Staff on April 16, 2021, and with the Minor Modification to Development Approval as approved on August 4, 2021. Any additional modifications to the approved site plan shall require additional review by the IDS team.
2. Unless warranted by traffic or other safety issues, ambulance sirens for the Hospital use will not be activated until the intersections of Gemini Road and Forest Avenue.

**V. Attachments:**

The draft documents have been prepared in accordance with the staff recommendation and do not indicate the Commission's final decision. These documents will be updated after the public hearing on this case to reflect the Commission's decision.

- Vicinity Map
- Surrounding Uses Map
- Draft Conditional Use Permit No. PZ-19-00022-05
- Draft Notice of Decision
- Proposition 207 waiver
- Site Plan Approval letter
- Site Plan Conditions of Approval
- Approved Minor Modification to Development Approvals Application
- Site Plan Drawings
- CUP Application
- CUP Narrative
- Public Participation Plan
- Public Participation Report
- Public Hearing Newspaper Ad

# Aerial Vicinity Map



Subject Property

1 in. = 300 ft.



# Surrounding Uses Map



 Subject Property



**COCONINO COUNTY, ARIZONA RECORDER  
CONDITIONAL USE PERMIT  
FROM GRANTOR: CITY OF FLAGSTAFF  
COCONINO COUNTY, ARIZONA  
OFFICE OF PLANNING AND ZONING  
TO GRANTEE: APRICUS HEALTH**

Permit No. PZ-19-00022-05  
August 25, 2021

Permission is hereby granted to Apricus Health to allow the establishment of an approximately 17,000 square foot Hospital use within a 44,702 square foot medical office building as part of a "Hospital" use pursuant to Section 10-40.30.030.B. of the *Flagstaff Zoning Code* at a site located at 1895 N Jasper Drive in the Research and Development (RD) Zone and part of Development Area "F" of McMillan Mesa Village Specific Plan, and legally described as Coconino County Assessor parcel number 101-46-012B in the city of Flagstaff, Arizona.

After a public hearing held on August 25, 2021, the Planning and Zoning Commission voted to grant this Conditional Use Permit subject to the following conditions.

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application - the Minor Modification to Site Plan (PZ-19-00022-04) as approved by the Inter-Division Staff on August 4, 2021. Modifications to the approved site plan shall require additional review by the IDS team.
2. Unless warranted by traffic or other safety issues, ambulance sirens for the Hospital use will not be activated until the intersections of Gemini Road and Forest Avenue.

Furthermore, this permit is issued on the express condition that the use permitted herein shall conform in all relevant respects to the ordinances of the City of Flagstaff and the laws of the State of Arizona.

Any and all conditions endorsed on this permit are subject to periodic review by the City of Flagstaff's Planning Director. Following review, the Planning and Zoning Commission shall be notified when the conditions of operation imposed in the approval and issuance of this permit have not been or are not being complied with.

The Planning and Zoning Commission shall consider the matter of revocation and set the permit for public hearing. If the Planning and Zoning Commission finds, following the public hearing, that the conditions imposed in the issuance of this permit are not being complied with, this permit may be revoked and further operation of the use for which this permit was approved shall constitute a violation of the Zoning Code.

This Conditional Use Permit shall become null and void one (1) year from the effective date of August 25, 2021, unless the following shall have occurred:

1. A building permit has been issued and construction begun and diligently pursued; or
2. The approved use has been established; or
3. An extension has been granted by the Planning and Zoning Commission. Such extension shall be for a maximum of one hundred eighty (180) days and no extension may be granted which would extend the validity of the permit more than eighteen (18) months beyond the date of approval of the permit.
4. Property Owner shall sign Consent to Conditions/Waiver for Diminution of Value form as a condition of issuance of the Conditional Use Permit by the City.
5. Development of the use shall not be carried out until the applicant has secured all other permits and approvals required by the Zoning Code, the City, or applicable regional, State, and federal agencies.

This document \_\_\_ does modify, or X does not modify the provisions of a previous Conditional Use Permit recorded in docket \_\_\_\_\_, Office of the Coconino County, Arizona, Recorder.

\_\_\_\_\_  
Planning Director, City of Flagstaff

By: \_\_\_\_\_  
Applicant (if other than the property owner)

STATE OF ARIZONA                    )  
  ) ss  
County of \_\_\_\_\_                )

Before me, the undersigned Notary Public, personally appeared \_\_\_\_\_ who executed the foregoing document for the purposes contained therein.

SUBSCRIBED AND SWORN to before me this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public

My Commission expires: \_\_\_\_\_

By: \_\_\_\_\_

Permit No. PZ-19-00233-03

July 3, 2021

Page 3 of 3

Property Owner

STATE OF ARIZONA                    )  
  ) ss  
County of \_\_\_\_\_ )

Before me, the undersigned Notary Public, personally appeared \_\_\_\_\_ who  
executed the foregoing document for the purposes contained therein.

SUBSCRIBED AND SWORN to before me this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public

My Commission expires: \_\_\_\_\_



# City of Flagstaff

August 26, 2021

Apricus Health  
c/o Gammage & Burnham, PLC / Lindsay C. Schube  
40 North Central Avenue, 20<sup>th</sup> Floor  
Phoenix, AZ 85004

RE: **NOTICE OF DECISION** – Conditional Use Permit No. PZ-00022-05

Dear Lindsay:

The Planning Commission, in accordance with Section 10-20.40.050 of the Flagstaff Zoning Code, has considered the request of Apricus Health for a Conditional Use Permit on the property at 1895 N Jasper Drive APN 101-46-012B in the Research and Development (RD) Zoning District for a Hospital use as provided in Section (ZONING CODE SECTION) of the City of Flagstaff Zoning Code.

The Planning Commission held a public hearing on August 25, 2021 in regards to this Conditional Use Permit. The Commission found and determined that, based on the information provided in the staff report dated August 5, 2021 and at the public hearing, the facts exist as required by Section 10-20.40.050.F of the Zoning Code to justify granting the Conditional Use Permit.

Based upon the aforementioned findings, the Commission approved a Conditional Use Permit by a vote of (VOTE) for the use and location described above subject to the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application - the Minor Modification to Site Plan (PZ-19-00022-04) as approved by the Inter-Division Staff on August 4, 2021. Modifications to the approved site plan shall require additional review by the IDS team.
2. Unless warranted by traffic or other safety issues, ambulance sirens will not be activated until the intersections of Gemini Road and Forest Avenue.

The above condition(s) is deemed by the Commission to be required to assure that the requested use will be compatible with neighboring uses and the growth and development of the area.

This action becomes final and effective ten (10) calendar days after the posting of this Notice of Decision on (September 5, 2021 – 11<sup>th</sup> day after hearing) unless during these ten (10) days a written appeal to the City Clerk is filed or the City Council elects to review the application. Either appeal or City Council review shall stay the Conditional Use Permit until the City Council holds the required public hearing to consider the request.

Should you have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely;

Patrick St. Clair, Planning Development Manager

211 West Aspen Avenue, Flagstaff, Arizona 86001



# City of Flagstaff

City of Flagstaff, Current Planning Section  
P. 928-213-2612 F. 928-213-2089  
[pstclair@flagstaffaz.gov](mailto:pstclair@flagstaffaz.gov)

cc: Planning Director, City Clerk, City Council

When recorded, mail to:  
City Clerk  
City of Flagstaff  
211 W. Aspen Avenue  
Flagstaff, Arizona 86001

**CONSENT TO CONDITIONS/WAIVER FOR DIMINUTION OF VALUE**

The undersigned is the owner of certain real property legally described as Coconino County Assessor parcel number 101-46-012B in the City of Flagstaff, Arizona that is the subject of Conditional Use Permit Application No. PZ-19-00022-05. By signing this document, the undersigned agrees and consents to all of the conditions imposed by the City of Flagstaff in conjunction with the approval of Conditional Use Permit No. PZ-19-00022-05 and waives and fully releases any and all claims and causes of action that the owner may have, now or in the future, for any "diminution in value" and for any "just compensation" under the Private Property Rights Protection Act, Arizona Revised Statutes § 12-1131, et seq., that may now or in the future exist as a result of the approval of Conditional Use Permit No. PZ-19-00022-05. Within ten (10) days after the execution of this Consent to Conditions/Waiver for Diminution of Value by the undersigned, the City Clerk shall cause this document to be recorded in the official records of Coconino County, Arizona.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2018

PROPERTY OWNER:

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Sign Name

State of Arizona                    )  
  ) ss  
County of \_\_\_\_\_)

SUBSCRIBED AND SWORN to before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018, by:

\_\_\_\_\_

\_\_\_\_\_  
Notary Public

My commission expires: \_\_\_\_\_



# City of Flagstaff

## Community Development

April 16, 2021

Mr. G Burton  
MMV Devco LLC  
1530 N 90th St, Ste 200  
Scottsdale, AZ 85260

RE: Cedar Medical Phase 2 Approval (PZ-19-00022-02)

Dear Mr. Burton:

As of the date of this correspondence, the City of Flagstaff Inter-Division Staff (IDS) has approved Project No. PZ-19-00022-02 for the proposed development of a 44,702 square foot Medical Office building located at 1895 N Jasper Drive. The Coconino County Assessor Parcel Number for the subject property is 101-46-012B. The approval is subject to the attached Conditions of Approval.

Unless modified to comply with the Conditions of Approval, development shall substantially conform to the Site Plan Review Submittal and the approved drawings as follows:

- Site Plan (sheet A0.1) prepared by Dalke Design Group dated 3/31/21, and revised on 4/14/21,
- Landscape & Irrigation Plan (sheets L1, L2, L3) prepared by WLB Group dated April 2021,
- Floor Plan (Sheet A1.1) prepared by Dalke Design Group dated 3/31/21,
- Building Elevations (Sheets A3.1, A3.2, G0.2) prepared by Dalke Design Group dated 3/31/21.

This approval shall be valid for a period of one year following the above date, April 16, 2021. If, at the expiration of this period, the property has not been improved for the approved development; or a certificate of occupancy has not been issued; or the site has not been occupied per Zoning Code section 10-20.40.140, the site plan approval shall expire. A request for extension may be made at least 30 days prior to the date of expiration.

Any future alterations of the approved development will require approval from the Current Planning staff. This may include a Minor Modification to Development Approval, a Minor Improvement Permit, or a new Concept Plan Review; as well as any additional permits required.

The next step in the development process is Civil Improvement Plan ("Civil") review. Prior to Civil submittal, please contact the Development Engineering Project Manager assigned to the project,

David Millis, to schedule a meeting to discuss the application submittal requirements, the review process, and timing of reviews. David can be reached at (928) 213-2618 or via e-mail at [david.millis@flagstaffaz.gov](mailto:david.millis@flagstaffaz.gov).

We look forward to working with you and your development team through the civil review and building permit review process, and construction/completion of the approved project. Should you have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely;

A handwritten signature in black ink, appearing to read 'Patrick St. Clair', followed by a horizontal line.

Patrick St. Clair  
Planning Development Manager  
City of Flagstaff Current Planning  
928.213.2612  
[pstclair@flagstaffaz.gov](mailto:pstclair@flagstaffaz.gov)

Attachment: Conditions of Approval



City of Flagstaff  
Community Development  
Site Plan Review Comments

**Project Name:** Cedar Medical  
**Project No.:** PZ-19-00101-02  
**Project Address:** 1831 N Jasper Dr

**Date:** April 14, 2021

**Application Type:** Site Plan Review  
**Review Type:** Substantive Review – 3rd Submittal

**Project Manager:** Patrick St. Clair  
**E-mail:** pstclair@flagstaffaz.gov  
**Phone:** 928 213-2612

**Status of Review:** *Approved with Conditions*

In accordance with ARS 9-835(J), the Substantive Review of the application is complete and the application has been approved subject to the following conditions and comments. This correspondence is being transmitted on Day 21 of the 22-day Substantive Review Timeframe.

**CONDITIONS/COMMENTS OF SITE PLAN RESUBMITTAL:** Please include a copy of this letter with any responses to comments as part of the Civil Drawing and Building Permit submittals.

Substantive Current Planning: Current Planning, Patrick St. Clair *Approved with Conditions* 04/16/2021

**Conditions of approval:**

1. The approved Site Plan drawing A0.1 includes additional civic space along the southern entry drive to the project added to this approved version of the Site Plan. This civic space shall be included into the Civil, Grading Landscape and Architectural drawings at the time of Civil Drawing and Building Permit submittal.
2. The final Landscape, Hardscape and amenity plans will be reviewed and approved as part of the Civil Drawing set. Any of these drawings included in the building permit set shall be for reference only.

**General Comments:**

1. The proposed new single-story medical office is permitted in the Research and Development (RD) zone and within the McMillan Mesa Village Specific Plan Development Area F. The proposed FAR of 0.215 is compliant with the zone and the development area of the MMVSP.
2. Any outdoor lighting associated with the project shall require separate Outdoor Lighting Permit submittal and review. Provide drawings and specifications as indicated in the OLP application. The OLP should be submitted concurrently with the Building Permit submittal.
3. Any permanent signage associated with the project will require a separate Permanent Signage Permit application for review and approval.
4. The Outdoor Lighting Permit and Permanent Signage Permit applications can be found at the following link:  
<https://www.flagstaff.az.gov/618/Code-Administration-Permitting>

**Process:**

1. The Site Plan has been approved with conditions. The project may move forward to Civil Drawing and Building Permit applications. Please see the Site Plan approval letter for your engineering contact for these phases of review.

Substantive Building & Safety: Building Safety, Elias Slover *Approved* 03/12/2021

**General Comments:**



## City of Flagstaff Community Development Site Plan Review Comments

1. Currently the City of Flagstaff is no longer accepting hard copy plan submittals. All plan submittal packages are to be submitted digitally and via email to the Community Development front counter (bcardiff@flagstaffaz.gov). Please visit the Building Safety website and review the "Electronic Permitting" process document to ensure that reviews are scheduled appropriately: <https://www.flagstaff.az.gov/DocumentCenter/View/63379/Electronic-Permitting-Process-2020-04-01?bidId=>
2. A Commercial Building Permit is required for this application. The services of an Arizona Registered Design Professional is required.
3. Standard building permit submittal requirements can be obtained from the Community Development front counter or on the City of Flagstaff Building Safety Program web site: <http://www.flagstaff.az.gov/494/Building-Safety>
4. The Building Safety Program reserves the right to make additional comments during actual plan submittal and review of building permit applications.
5. Site retaining walls having any imposed surcharges from adjacent structural elements or unbalanced loading that exceed four (4) feet, shall be designed by an Arizona certified or registered Design Professional and requires a separate Commercial Building Permit.
6. Civil and Grading plans are to be submitted separately to the Development Engineering Program. Do not include in plans submitted for building permit.
7. The Building Safety Program reserves the right to make additional comments during actual plan submittal and review of building permit applications.

Substantive Engineering: Engineering, David Millis **Approved with Conditions** 04/07/2021

Conditions of Site Plan Approval:

1. Street trees remain a requirement along Forest as well as Jasper. Per Engineering Standards as well as Developer's response to comments on Concept Plan dated 5/15/19 "Unevenly-spaced native trees with an understory of native grasses and wildflowers". Given the limited frontage of this phase of the project to Forest this can be worked out during Civil Plan review.

Substantive Fire Prevention: Fire Prevention, Christopher Jack **Approved with Conditions** 03/09/2021

Move riser room to South East corner of building or provide sidewalk to access riser room in current location.

Substantive Public Works: Public Works, Scott Overton **Approved** 03/04/2021

No Comments

Substantive Water Services: Water Services, Jim Davis **Approved** 03/03/2021

No Comments

Substantive Traffic: Traffic, Reid Miller **Approved** 03/08/2021

No Comments

Substantive Stormwater: Stormwater, Douglas Slover **Approved** 03/10/2021

Douglas Slover, 2021-03-10, Site Plan Review

Approved

General Comments

1. none.

Future Submittal Requirements

1. Provide drainage report with civil plan submittal.



City of Flagstaff  
Community Development  
Site Plan Review Comments

2. Provide erosion control plan with civil plan submittal.

Substantive Housing: Housing, Jennifer Mikelson *Approved* 03/04/2021

No Comments

Substantive HPC/Comm Design: Heritage Preservation, Mark Reavis *Approved* 03/04/2021

No Comments

Substantive Parks: Parks, Amy Hagin *Approved* 03/10/2021

No Comments

Substantive Sustainability: Sustainability, Jenny Niemann *Approved* 03/10/2021

The applicant is encouraged to consider the installation of solar panels (also known as photovoltaic, or PV panels), on available roof space. Large buildings such as this building are the Flagstaff community's best opportunity for the installation of solar infrastructure within city limits. This building's unobstructed southern viewshed means it has significant solar potential.

Solar is now the least expensive energy source in history, and so the applicant is encouraged to invest in this energy source at the time of construction when it is particularly cost-effective. Solar can benefit businesses in several ways, including additional revenue and a return on investment, and federal or state tax incentives may be available.

APS has programming that may be available to the applicant to support solar installation, and provide financial benefits. COF sustainability staff is happy to support the applicant in this process if desired -- feel free to contact us.

Substantive Multimodal: Traffic, Martin Ince *Approved with Conditions* 03/12/2021

Provide a 5-foot radius between the sidewalk connection and the existing FUTS trail, per Engineering Standards.

The trail connection will be the maintenance responsibility of property owner.

Recommend relocating the bike racks on the north side of the building to the east to better serve the units on the east wing of the building.



# City of Flagstaff

## Community Development Division

211 W. Aspen Ave  
Flagstaff, AZ 86001  
www.flagstaff.az.gov

P: (928) 213-2618  
F: (928) 779-7684

**MINORMOD**

<b>Date Received</b>		<b>Application for a Minor Modification to Development Approvals</b>		<b>Case Number</b>	
<b>Property Owner(s)</b> MMV Devco, LLC		<b>Title</b>	<b>Phone</b>	<b>Email</b>	
<b>Mailing Address</b> 15300 North 90th Street, #200		<b>City, State, Zip</b> Scottsdale, Arizona 85260			
<b>Applicant(s)</b> Gammage & Burnham, PLC / Lindsay C. Schube		<b>Title</b>	<b>Phone</b> (602) 256-4471	<b>Email</b> lschube@gblaw.com	
<b>Mailing Address</b> 40 North Central Avenue, 20th Floor		<b>City, State, Zip</b> Phoenix, AZ 85004			
<b>Site Address</b> 1895 North Jasper Drive		<b>Parcel number(s)</b> 101-46-012B	<b>Subdivision, Tract &amp; Lot Number</b> McMillan Mesa Village Tracts E and F		
<b>State reason(s) for request (if necessary attach additional sheets)</b> Modification of approved Site Plan Review (PZ-19-00022-02) to incorporate a micro-hospital use. A separate Conditional Use Permit application is being processed for the micro-hospital use.					
<b>Notes:</b> <ul style="list-style-type: none"><li>Eight site plans are required to be submitted.</li><li>Refer to Section 10-20.40.090 of the Zoning Code for additional information.</li></ul>					
<b>Property Owner Signature</b> See enclosed owner authorization letter.		<b>Date</b> May 25, 2021	<b>Applicant Signature</b> <i>LCSchube</i>		<b>Date</b> May 25, 2021
<b>For City Use</b>					
<b>Date Filed</b>		<b>File Number (s)</b>			
<b>Fee Receipt Number</b>		<b>Amount</b>		<b>Date</b>	

### Router Slip

Department/Division	Project Manager	Date Approved	Initials
Planning	<i>Patrick St. Clair</i>	<i>8/4/2021</i>	<i>[Signature]</i>
Fire			
Public Works			
Utilities			
Building			
Engineering			
Traffic			
Stormwater			
Urban Design			

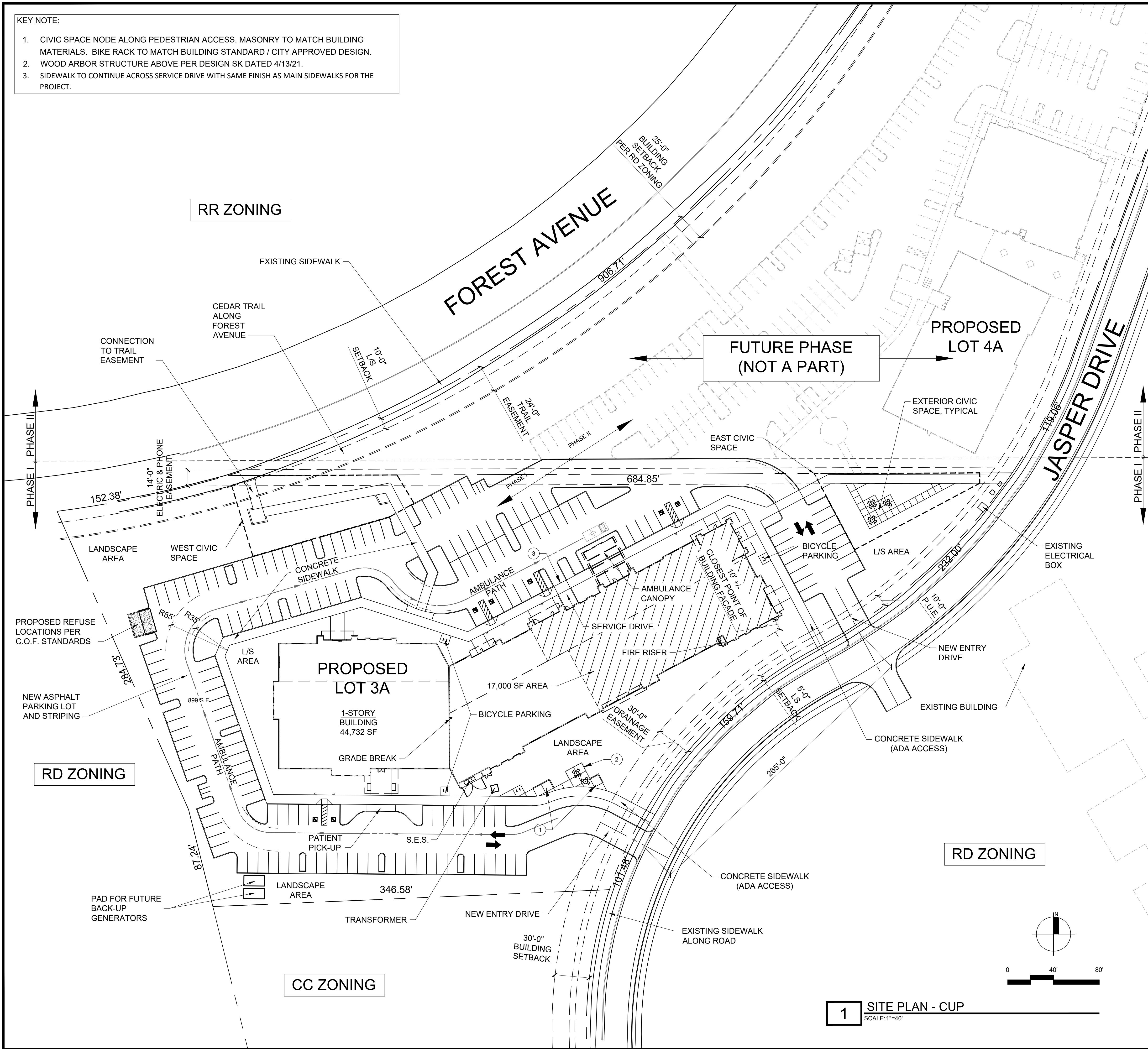
*See comments  
Section p.2*



Comments:		Please see all reviews, results and any comments in Innoprise under project # P2-19-00022-04	
Signature of Planning Director:		Date	
Action by Planning Director:		Action by Planning and Zoning Commission (if required):	
		Hearing Date:	
<input type="checkbox"/> Approved <input type="checkbox"/> Denied		<input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Continued	



- KEY NOTE:
1. CIVIC SPACE NODE ALONG PEDESTRIAN ACCESS. MASONRY TO MATCH BUILDING MATERIALS. BIKE RACK TO MATCH BUILDING STANDARD / CITY APPROVED DESIGN.
  2. WOOD ARBOR STRUCTURE ABOVE PER DESIGN SK DATED 4/13/21.
  3. SIDEWALK TO CONTINUE ACROSS SERVICE DRIVE WITH SAME FINISH AS MAIN SIDEWALKS FOR THE PROJECT.



## PROJECT INFORMATION

PROJECT NAME: CEDAR MEDICAL COLLABORATIVE PHASE 2

PROJECT ADDRESS: 1895 N JASPER DRIVE FLAGSTAFF, AZ

PROPERTY OWNER: MMV DEVCO LLC  
15300 N 90TH ST #200  
SCOTTSDALE, AZ 85260

DEVELOPER: CYPRESS WEST PARTNERS, LLC  
JASON ANZALONE  
30021 TOMAS ROAD, SUITE 130  
RANCHO SANTA MARGARITA, CA 92688

ARCHITECT: DALKE DESIGN GROUP, LLC  
2039 E. RICE DRIVE  
TEMPE, AZ 85283  
480-589-3793  
VINCE@DALKEDESIGNGROUP.COM

## PROJECT DATA

PARCEL NUMBERS: 101-46-012B

CURRENT ZONING: RD (RESEARCH AND DEVELOPMENT)

NET SITE AREA: 4.66 ACRES (202,990 S.F.)

BUILDING AREA: 44,702 S.F.

LOT COVERAGE: 22.0%

F.A.R.: .220

STORIES: ONE

OCCUPANCY: B

CONSTRUCTION TYPE: TYPE IIB (NON-COMBUSTIBLE)

REQUIRED PARKING:

USE:	RATIO:	SPACES:
MEDICAL OFFICE:	1 SP PER EMPL X 100 EMPL =	100 SPACES
	5 SP PER DR X 15 DR =	75 SPACES
TOTAL REQUIRED:		175 SPACES

PROVIDED PARKING:

TOTAL REGULAR SPACES:	162 SPACES
TOTAL ACCESSIBLE SPACES:	7 SPACES
MOTORCYCLE SPACES:	6 SPACES
TOTAL PROVIDED:	175 SPACES
PARKING RATIO:	3.9 CARS/1000 S.F.

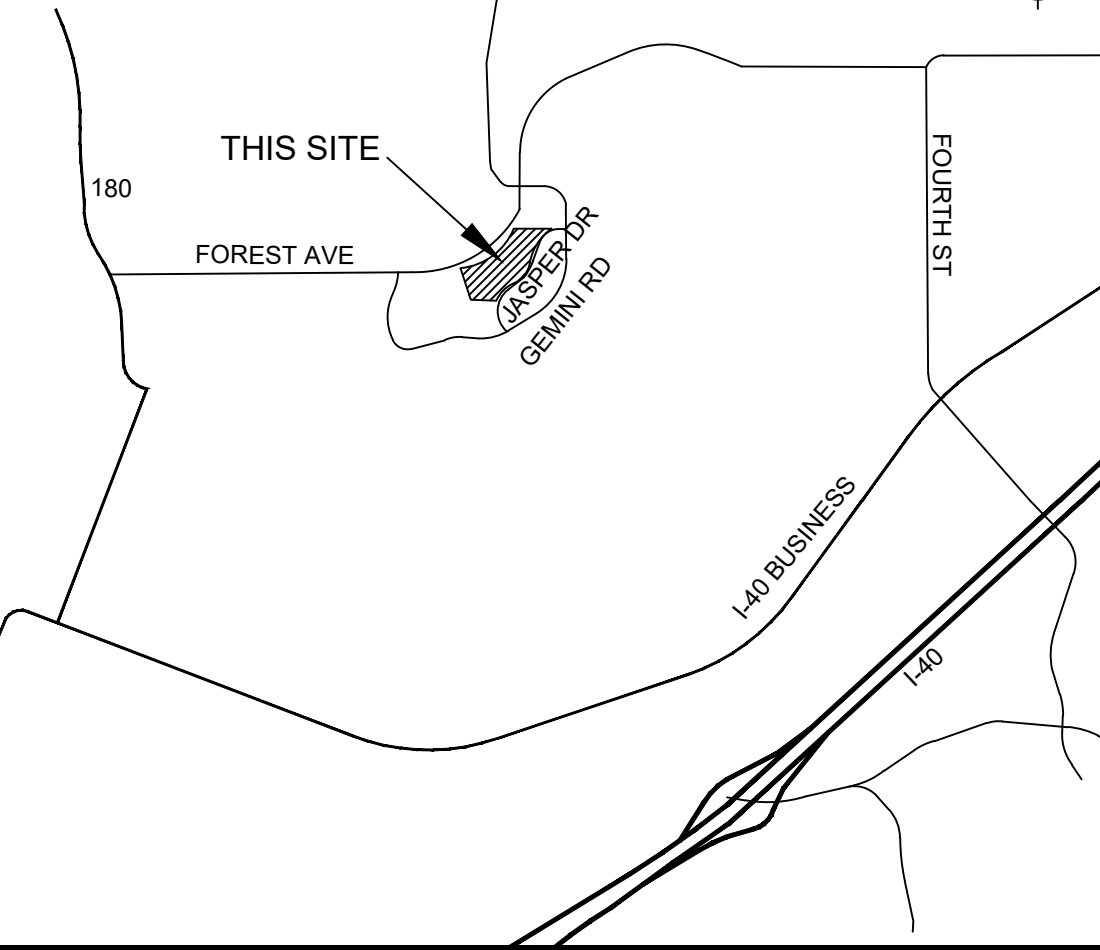
PER PARKING ANALYSIS

BIKE PARKING REQ.: 175 X .05 = 9 SPACES (12 SPACES PROVIDED)

CIVIC SPACE QUANTITIES

TOTAL SITE AREA =	202,990 S.F.
CIVIC SPACE REQUIRED =	10,150 S.F. (5.0% OF SITE)
NORTH CIVIC SPACE PROVIDED =	11,018 S.F. (5.42% OF SITE)
EAST CIVIC SPACE PROVIDED =	5,305 S.F. (2.61% OF SITE)
SOUTH CIVIC SPACE PROVIDED =	2,744 S.F. (1.35% OF SITE)
TOTAL CIVIC SPACE PROVIDED =	19,067 S.F. (9.39% OF SITE)

## VICINITY MAP



2039 E RICE DR., TEMPE  
AZ, 85283  
480-589-3793  
VINCE@DALKEDESIGNGROUP.COM



CEDAR MEDICAL  
COLLABORATIVE PHASE 2  
1895 N. JASPER DRIVE, FLAGSTAFF, AZ

NUMBER	REVISION	DATE



SHEET TITLE  
SITE PLAN - CUP

ISSUE DATE 8/18/21  
DRAWN KAW  
CHECKED BY VDD  
PROJECT NUMBER -

DRAWING NO.

A0.1

REV





2039 E RICE DR., TEMPE  
AZ, 85283  
480-589-3793  
VINCE@DALKEDESIGNGROUP.COM



CEDAR MEDICAL  
COLLABORATIVE PHASE 2

1895 N. JASPER DRIVE, FLAGSTAFF, AZ

KEY NOTES:

1. OPEN SHELL FOR FUTURE CLIENT - NO CONCRETE SLAB
2. ELECTRICAL SES-SEE ELECTRICAL
3. STEEL COLUMN, TYPICAL
4. CANOPY ABOVE, TYPICAL
5. FIRE RISER / ROOF ACCESS
6. RECESSED DOWN LIGHT ABOVE, TYPICAL. SEE WALL SECTIONS AND ELECTRICAL PLANS
7. WALL PACK LIGHTING ABOVE. SEE ELEVATIONS AND ELECTRICAL PLANS, TYPICAL
8. SLAB FOR GLAZING INSTALL ONLY. SEE SECTIONS AND STRUCTURAL
9. ROOF DRAIN - SEE ROOF PLAN AND MECHANICAL
10. CONCRETE AND MASONRY BASE AT COLUMN
11. HVAC ABOVE, TYPICAL
12. CEILING OF SES AREA TO BE 1-HOUR FIRE RATED. SEE DETAIL 13 / A5.2
13. FUTURE INTERIOR FURRING TO BE PROVIDED BY THE TENANT TO COMPLY WITH COM. CHECK. FURRING TO CONSIST OF 5-5/8" METAL STUDS @ 24" O.C. WITH R11 INSULATION AND 5/8" GYP BD, TYPICAL
14. 48" SLAB/ FF CHANGE LINE
15. STEEL ROOF HATCH ABOVE, WITH STEEL LADDER MOUNTED TO WALL
16. ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS FOR MORE INFO.
17. EXTERIOR HARDSCAPE SURFACE, SEE SITE PLAN
18. SES RECESS TO BE AT LOWEST FINISH FLOOR. SEE ELEVATION AND STRUCTURAL
19. FURNISH AND INSTALL A COMPLETE WATER PROOFING SYSTEM FOR THIS LIMITED RETAINING WALL ZONE. SYSTEM TO INCLUDE MEL-ROL LM WATERPROOF MEMBRANE WITH A MEL-DRAIN 5012-B/5035-B SYSTEM.

GENERAL NOTES

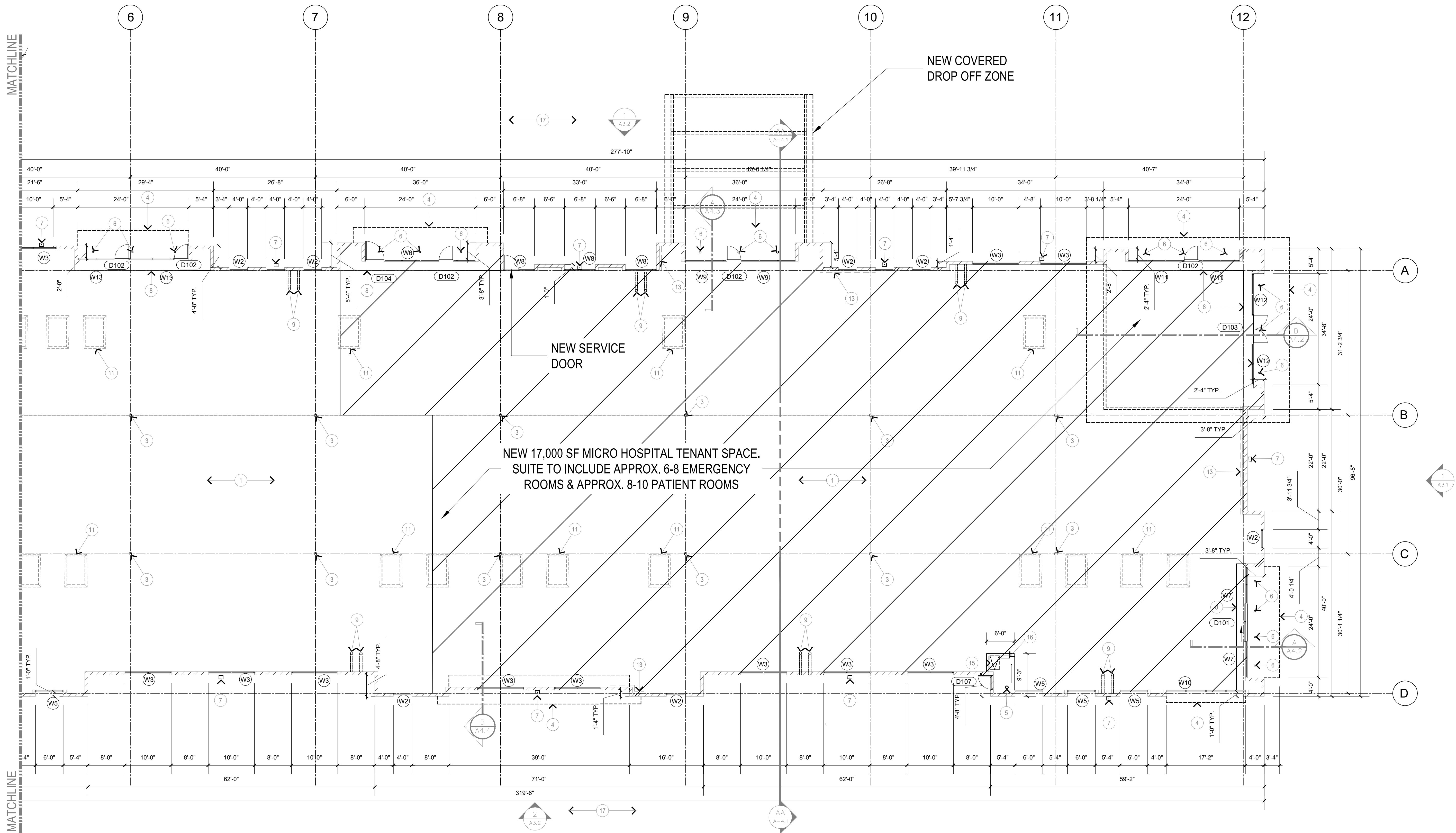
1. THIS IS A "GREY" SHELL BUILDING PROJECT. FINAL INTERIOR FINISHES WILL BE BY FUTURE TENANTS TYP. UNLESS NOTED OTHERWISE
2. PROVIDE R-38 BATT INSULATION W/ WHITE SCRM SHEET AT UNDERSIDE OF OF ROOF DECK.
3. SEE STRUCTURAL PLANS FOR ALL MEMBER SIZES, CMU, GROUT, CONNECTIONS, HEADERS, LINTELS, REINFORCING, BRACING AND INFORMATION NOTES.
4. 1/2" MAXIMUM HIGH THRESHOLD (ABOVE FINISH FLOOR ON BOTH SIDES) AT BUILDING ENTRANCES/ALL DOORS PER ICC A117.1308
5. ALL ENTRY DOORS HAVE BEEN PROVIDED WITH 24" ON THE STRIKE SIDE OF THE DOORS X 60" DEEP CLEARANCE AT EXTERIOR DOORS.
6. GLASS IN GLAZED CURTAIN WALLS, GLAZED STOREFRONT AND GLAZED PARTITIONS SHALL MEET SEISMIC REQUIREMENTS OF AECE SECTION 13.5, IBC 2404.1

WALL TYPES

- A 8" CMU WALL (SEE ELEVATIONS FOR EXTERIOR WALL FINISH, WHERE OCCURS.) INTERIOR OF WALL TO BE UNFINISHED UNTIL TENANT BUILD OUT.
- B 3-5/8" METAL STUDS @ 16" OC, 5/8" TYPE 'X' GYP. BOARD BOTH SIDES. PROVIDE SOUND INSULATION BATTS. EXTEND WALL FINISH & INSULATION FULL HEIGHT TO BOTT. OF DECK.
- C 2" X 4" ALUM. WINDOW SYSTEM W/ 1" GLASS, SEE ELEVATIONS FOR ADDITIONAL INFORMATION.

1 FLOOR PLAN  
SCALE: 3/32" = 1'-0"





1 FLOOR PLAN  
SCALE: 3/32" = 1'-0"

WALL TYPES	GENERAL NOTES	KEY NOTES:
<div><div>A</div><div>8" CMU WALL (SEE ELEVATIONS FOR EXTERIOR WALL FINISH, WHERE OCCURS.) INTERIOR OF WALL TO BE UNFINISHED UNTIL TENANT BUILD OUT.</div></div> <div><div>B</div><div>3-5/8" METAL STUDS @ 16" OC, 5/8" TYPE 'X' GYP. BOARD BOTH SIDES. PROVIDE SOUND INSULATION BATTS. EXTEND WALL FINISH &amp; INSULATION FULL HEIGHT TO BOTT. OF DECK.</div></div> <div><div>C</div><div>2" X 4" ALUM. WINDOW SYSTEM W/ 1" GLASS, SEE ELEVATIONS FOR ADDITIONAL INFORMATION.</div></div>	<div>1. THIS IS A "GREY" SHELL BUILDING PROJECT. FINAL INTERIOR FINISHES WILL BE BY FUTURE TENANTS TYP. UNLESS NOTED OTHERWISE.</div> <div>2. PROVIDE R-38 BATT INSULATION W/ WHITE SCRIM SHEET AT UNDERSIDE OF OF ROOF DECK.</div> <div>3. SEE STRUCTURAL PLANS FOR ALL MEMBER SIZES, CMU, GROUT, CONNECTIONS, HEADERS, LINTELS, REINFORCING, BRACING AND INFORMATION NOTES.</div>	<div>1. OPEN SHELL FOR FUTURE CLIENT - NO CONCRETE SLAB</div> <div>2. ELECTRICAL: SEE SEE ELECTRICAL</div> <div>3. STEEL COLUMN, TYPICAL</div> <div>4. CANOPY ABOVE, TYPICAL</div> <div>5. FIRE RISER / ROOF ACCESS</div> <div>6. RECESSED DOWN LIGHT ABOVE, TYPICAL. SEE WALL SECTIONS AND ELECTRICAL PLANS</div> <div>7. WALL PACK LIGHTING ABOVE. SEE ELEVATIONS AND ELECTRICAL PLANS, TYPICAL</div> <div>8. SLAB FOR GLAZING INSTALL ONLY. SEE SECTIONS AND STRUCTURAL.</div> <div>9. ROOF DRAIN - SEE ROOF PLAN AND MECHANICAL</div> <div>10. CAST IN PLACE CONCRETE BASE SEE ELEVATION</div> <div>11. HVAC ABOVE, TYPICAL</div> <div>12. CEILING OF SES AREA TO BE 1-HOUR FIRE RATED, SEE DETAIL 13 / A5.2</div> <div>13. FUTURE INTERIOR FURRING TO BE PROVIDED BY THE TENANT TO COMPLY WITH COM CHECK. FURRING TO CONSIST OF 3-5/8" METAL STUDS @ 24" O.C. WITH R11 INSULATION AND 5/8" GYP BD, TYPICAL</div> <div>14. 48" SLAB/ FT CHANGE LINE</div> <div>15. STEEL ROOF HATCH ABOVE, WITH STEEL LADDER MOUNTED TO WALL</div> <div>16. ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS FOR MORE INFO.</div> <div>17. EXTERIOR HARDSCAPE SURFACE, SEE SITE PLAN.</div>



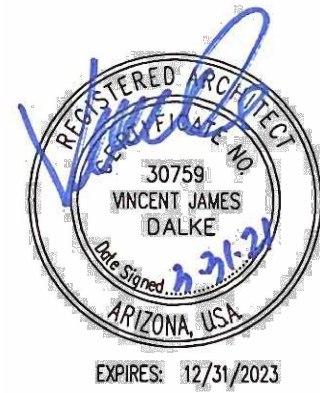
2039 E RICE DR., TEMPE  
AZ, 85283  
480-589-3793  
VINCE@DALKEDESIGNGROUP.COM



CEDAR MEDICAL  
COLLABORATIVE PHASE 2  
1895 N. JASPER DRIVE, FLAGSTAFF, AZ

NUMBER REVISION DATE

SEAL



SHEET TITLE  
FLOOR PLAN

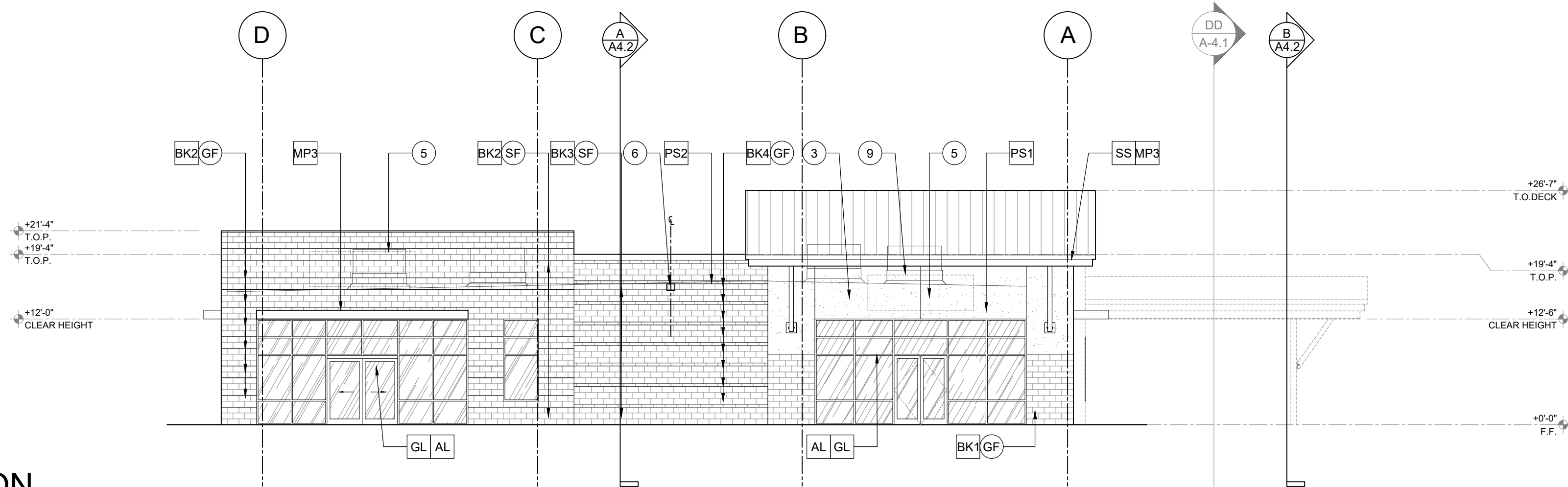
ISSUE DATE 6/22/21  
DRAWN KAW  
CHECKED BY VDD  
PROJECT NUMBER

DRAWING NO.

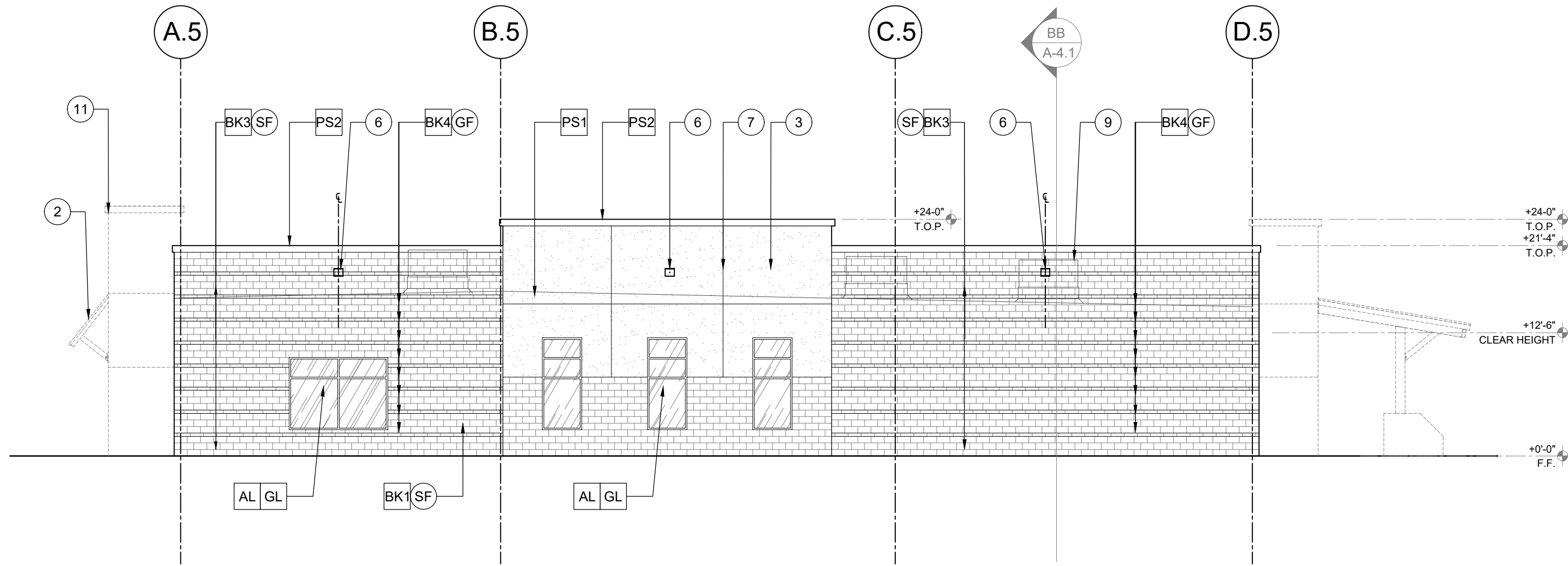
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REV

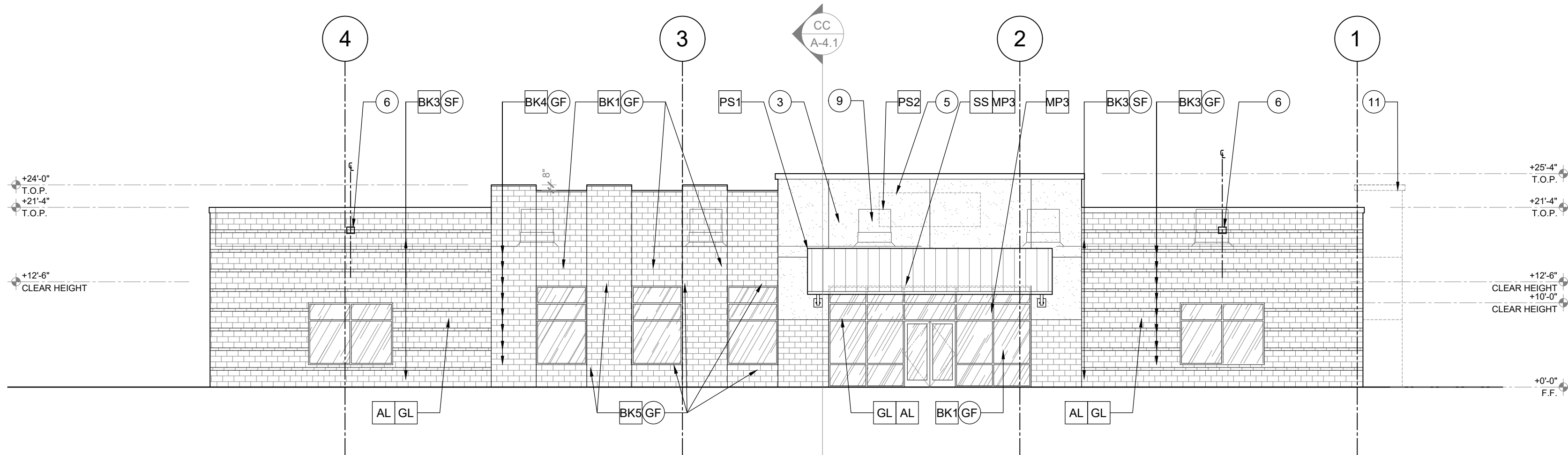




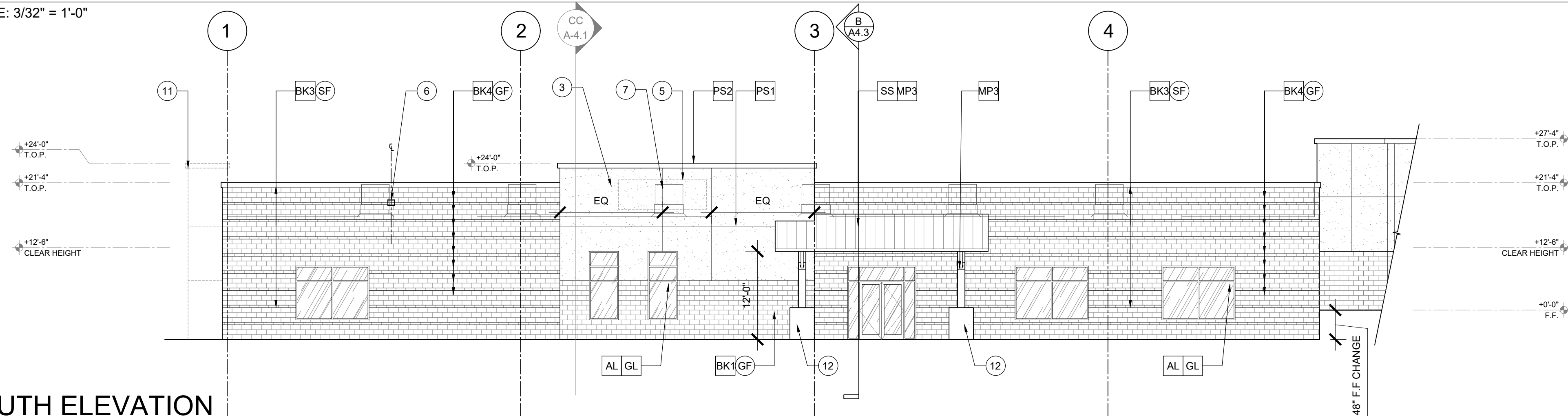
1 NORTHEAST ELEVATION  
SCALE: 3/32" = 1'-0"



2 WEST ELEVATION  
SCALE: 3/32" = 1'-0"



3 NORTH ELEVATION  
SCALE: 3/32" = 1'-0"



4 SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"

ELEVATION KEYED NOTES:

1. METAL ROOF PER SPECIFICATIONS.
2. METAL CANOPY, TYPICAL
3. ONE COAT STUCCO SYSTEM WITH ACRYLIC TOP COAT.
4. CUSTOM CORNERSTONE BLOCK PER CLIENT DESIGN. VERIFY FINAL PLACEMENT PRIOR TO MASONRY WORK.
5. FUTURE TENANT SIGNAGE- UNDER SEPARATE PERMIT
6. WALL PACK LIGHTING
7. MASONRY CONTROL JOINT. REVIEW AND COORDINATE WITH STRUCTURAL. TYPICAL
8. KNOX BOX LOCATIONS PER CITY STANDARDS. CONFIRM MOUNTING HEIGHT WITH CITY STANDARDS PRIOR TO INSTALLATION.
9. ROOF LINE AND HVAC EQUIPMENT BEYOND PERAPET, TYP.
10. 6" TALL BUILDING ADDRESS NUMBER-RAISED LETTERS. METAL, NON-ILLUMINATING.
11. WALL / BUILDING ELEMENT BEYOND, TYPICAL.
12. CAST IN PLACE CONC BASE

MATERIALS

- BK1 8"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "EBONY #15"
- BK2 8"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "BARK #12"
- BK3 8"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "DOESKIN #4"
- BK4 4"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "PEBBLE BEACH #319"
- BK5 8"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "PEBBLE BEACH #319"
- SF SPLIT FACE FINISH
- GF GROUND FACE (HONED) FINISH
- MP METAL - PAINTED  
"SEE PAINT SCHEDULE FOR COLOR"
- SS MBCI, 22 GA. LOK SEAM 16" PANEL  
ROOFING SYSTEM "SLATE"
- PS PAINTED STUCCO FINISH  
"SEE PAINT SCHEDULE FOR COLOR"

STOREFRONT

- AL CLEAR ANODIZED ALUMINUM
- GL SOLAR BAND  
"GRAY"

PAINT SCHEDULE

- 1 DUNN EDWARDS - DE6228  
"PLAY ON GRAY" LRV - 43
- 2 DUNN EDWARDS - DE6229  
"CALICO ROCK" LRV - 28
- 3 DUNN EDWARDS - DE6378  
"JET" LRV - 9

FINISH PERCENTAGES

ELEVATION	QTY
NORTHEAST	
TOTAL AREA MINUS STOREFONT	1,225
BLOCK	83.0%
STUCCO	17.0%
NORTHWEST	
TOTAL AREA MINUS STOREFONT	3,858
BLOCK	76.5%
STUCCO	24.5%
NORTH	
TOTAL AREA MINUS STOREFONT	2,325
BLOCK	84.0%
STUCCO	16.0%
WEST	
TOTAL AREA MINUS STOREFONT	2,177
BLOCK	79.0%
STUCCO	21.0%
SOUTH	
TOTAL AREA MINUS STOREFONT	2,635
BLOCK	82.0%
STUCCO	18.0%
SOUTHEAST	
TOTAL AREA MINUS STOREFONT	4,942
BLOCK	83.0%
STUCCO	17.0%



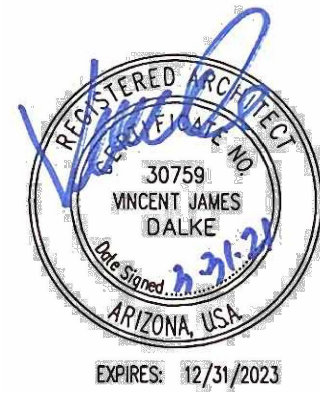
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480-589-3793  
VINCE@DALKEDESIGNGROUP.COM



CEDAR MEDICAL  
COLLABORATIVE PHASE 2  
1895 N. JASPER DRIVE, FLAGSTAFF, AZ

NUMBER REVISION DATE

SEAL



SHEET TITLE  
EXTERIOR ELEVATIONS

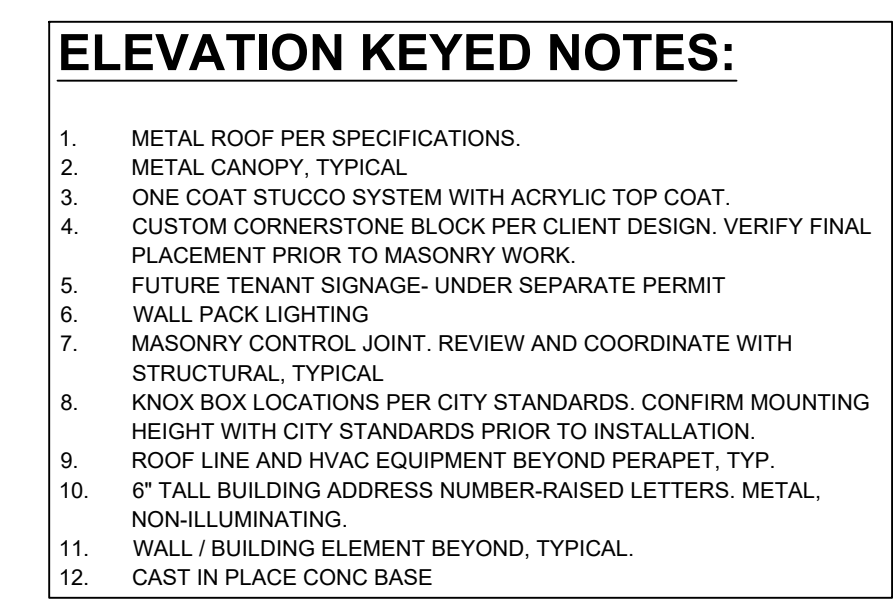
ISSUE DATE 6/22/21  
DRAWN KAW  
CHECKED BY VDD  
PROJECT NUMBER

DRAWING NO.

A3.1

REV





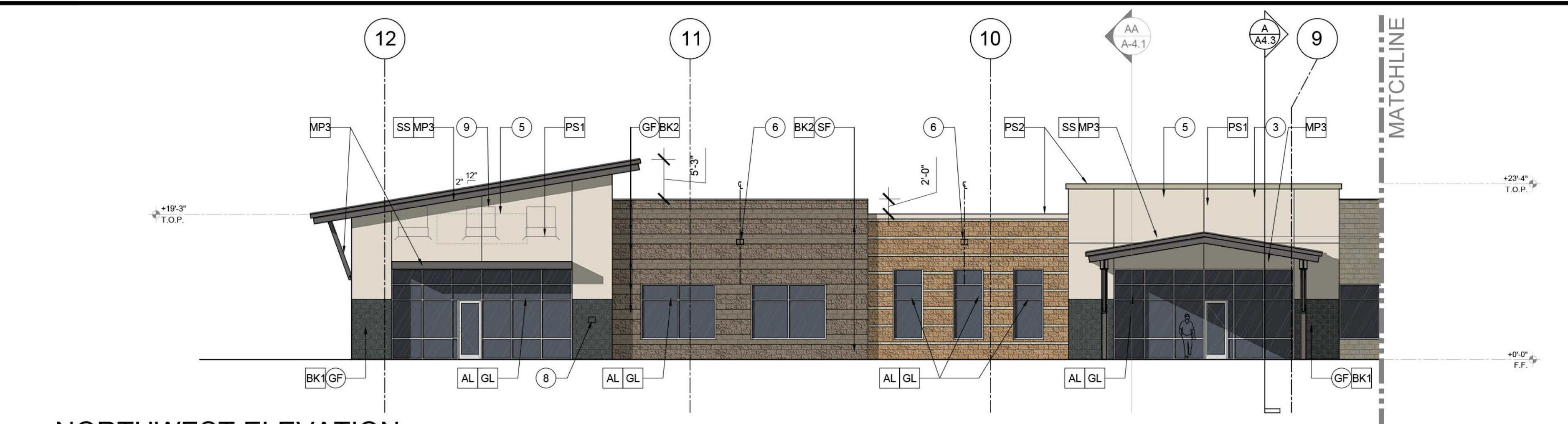
Architectural elevation drawing of a building facade, likely a school or institutional building. The drawing shows a brick structure with multiple windows and doors. The facade is divided into sections by vertical dashed lines, numbered 1 through 12. Callouts indicate materials (BK, GF, SF, PS, AL, GL) and dimensions (1'-0", 2'-8").

Key features and callouts:

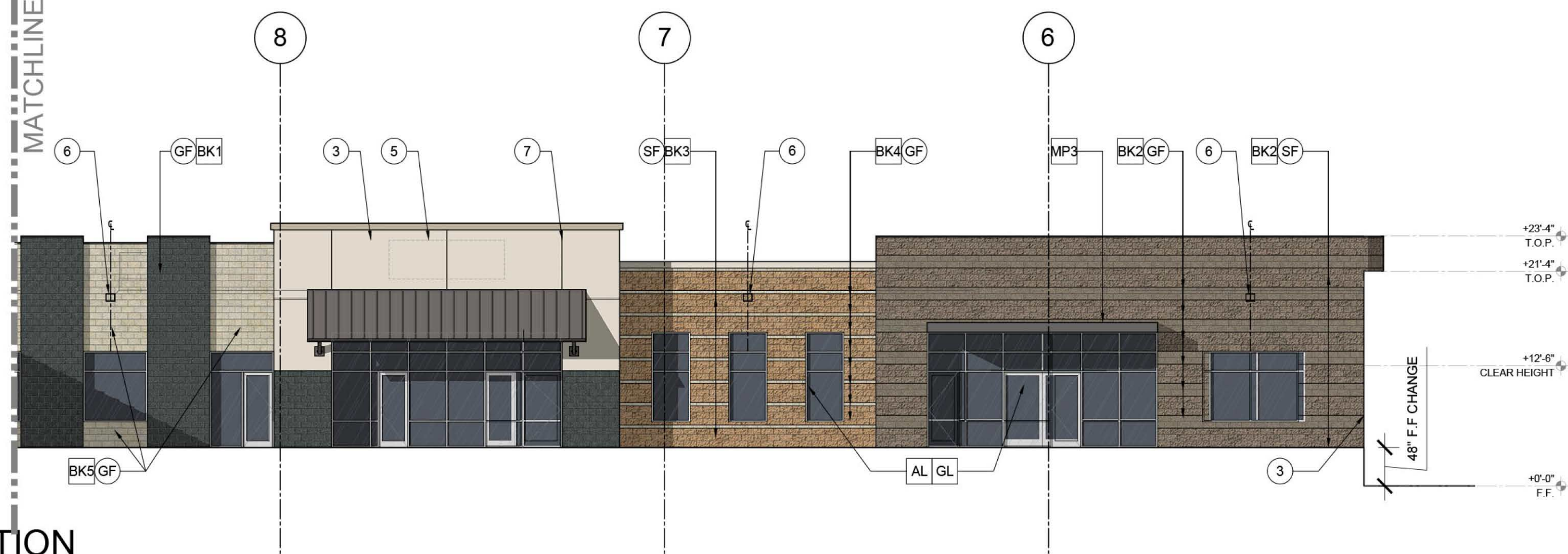
- Matchline:** Located on the left side of the drawing.
- Section Line:** AA-A4.1, located on the right side of the drawing.
- Elevation Markers:**
  - +21'-4" T.O.P. (Top of Page)
  - +12'-6" T.O.P. (Top of Page)
  - +12'-6" CLEAR HEIGHT
  - +0'-0" F.F. (Finish Floor)
- Materials and Callouts:**
  - BK (Brick)
  - GF (Glass)
  - SF (Steel)
  - PS (Paint)
  - AL (Aluminum)
  - GL (Glass)
- Dimensions:**
  - 1'-0"
  - 2'-8"

EV

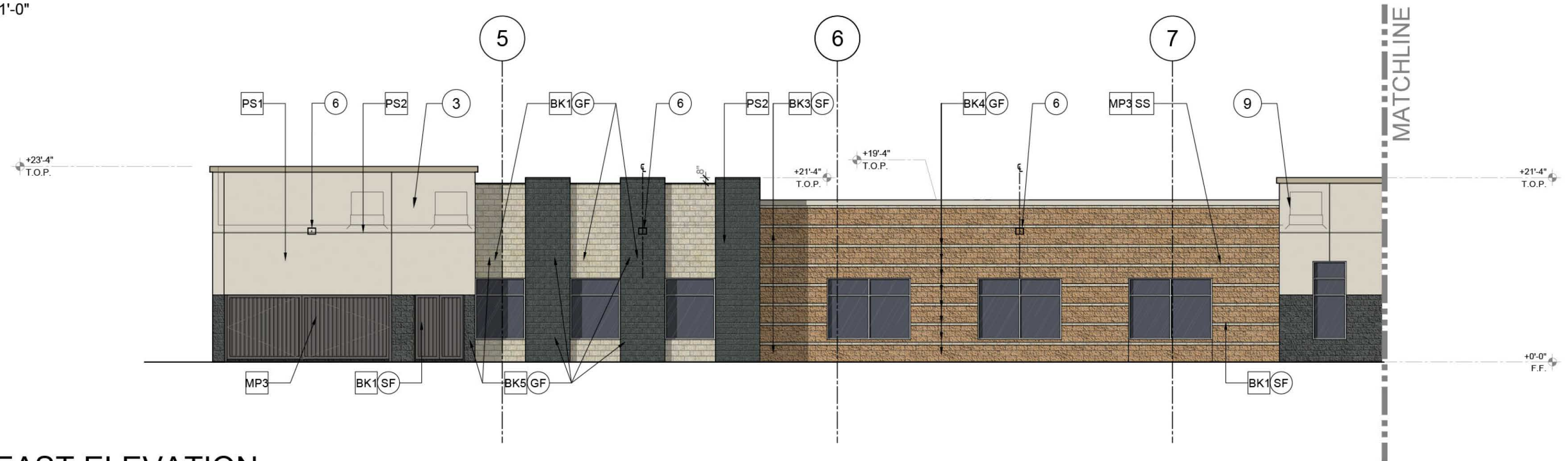




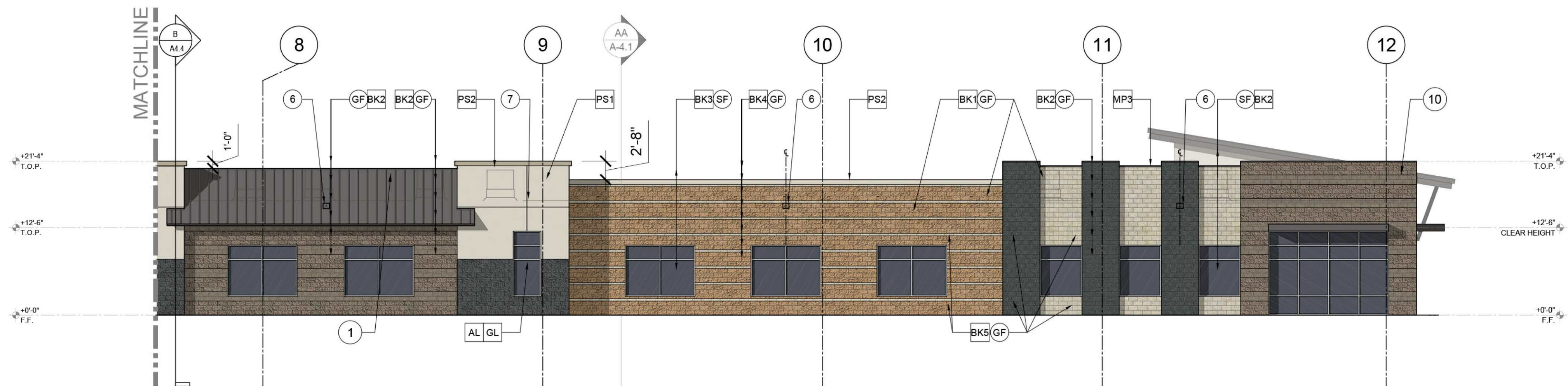
1 NORTHWEST ELEVATION  
SCALE: 3/32" = 1'-0"



2 NORTHWEST ELEVATION  
SCALE: 3/32" = 1'-0"



3 SOUTHEAST ELEVATION  
SCALE: 3/32" = 1'-0"



4 SOUTHEAST ELEVATION  
SCALE: 3/32" = 1'-0"

#### ELEVATION KEYED NOTES:

1. METAL ROOF PER SPECIFICATIONS.
2. METAL CANOPY, TYPICAL.
3. ONE COAT STUCCO SYSTEM WITH ACRYLIC TOP COAT.
4. CUSTOM CORNERSTONE BLOCK PER CLIENT DESIGN. VERIFY FINAL PLACEMENT PRIOR TO MASONRY WORK.
5. FUTURE TENANT SIGNAGE- UNDER SEPARATE PERMIT
6. WALL PACK LIGHTING.
7. MASONRY CONTROL JOINT. REVIEW AND COORDINATE WITH STRUCTURAL, TYPICAL.
8. KNOX BOX LOCATIONS PER CITY STANDARDS. CONFIRM MOUNTING HEIGHT WITH CITY STANDARDS PRIOR TO INSTALLATION.
9. ROOF LINE AND HVAC EQUIPMENT BEYOND PERAPET, TYP.
10. 6' TALL BUILDING ADDRESS NUMBER-RAISED LETTERS. METAL, NON-ILLUMINATING.
11. WALL / BUILDING ELEMENT BEYOND, TYPICAL.
12. CAST IN PLACE CONC BASE

#### MATERIALS

- BK1 8"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "EBONY #15"
- BK2 8"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "BARK #12"
- BK3 8"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "DOESKIN #4"
- BK4 4"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "PEBBLE BEACH #319"
- BK5 8"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "PEBBLE BEACH #319"
- SF SPLIT FACE FINISH
- GF GROUND FACE (HONED) FINISH
- MP METAL - PAINTED  
"SEE PAINT SCHEDULE FOR COLOR"
- SS MBCI, 22 GA. LOK SEAM 16" PANEL  
ROOFING SYSTEM "SLATE"
- PS PAINTED STUCCO FINISH  
"SEE PAINT SCHEDULE FOR COLOR"

#### STOREFRONT

- AL CLEAR ANODIZED ALUMINUM
- GL SOLAR BAND  
"GRAY"

#### PAINT SCHEDULE

- 1 DUNN EDWARDS - DE6228  
"PLAY ON GRAY" LRV - 43
- 2 DUNN EDWARDS - DE6229  
"CALICO ROCK" LRV - 28
- 3 DUNN EDWARDS - DE6378  
"JET" LRV - 9

#### FINISH PERCENTAGES

ELEVATION	QTY
NORTHEAST	
TOTAL AREA MINUS STOREFONT	1,225
BLOCK	83.0%
STUCCO	17.0%
NORTHWEST	
TOTAL AREA MINUS STOREFONT	3,858
BLOCK	73.3%
STUCCO	26.7%
NORTH	
TOTAL AREA MINUS STOREFONT	2,325
BLOCK	84.0%
STUCCO	16.0%
WEST	
TOTAL AREA MINUS STOREFONT	2,177
BLOCK	79.0%
STUCCO	21.0%
SOUTH	
TOTAL AREA MINUS STOREFONT	2,635
BLOCK	82.0%
STUCCO	18.0%
SOUTHEAST	
TOTAL AREA MINUS STOREFONT	4,942
BLOCK	83.0%
STUCCO	17.0%



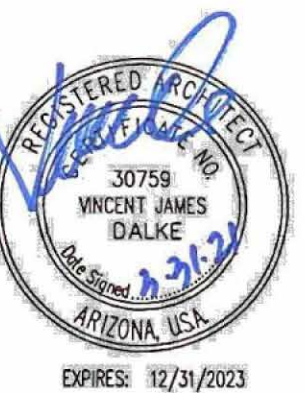
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AZ, 85283  
480-589-3793  
VINCE@DALKEDESIGNGROUP.COM



CEDAR MEDICAL  
COLLABORATIVE PHASE 2  
1895 N. JASPER DRIVE, FLAGSTAFF, AZ

NUMBER REVISION DATE


SEAL



SHEET TITLE  
COLOR ELEVATIONS

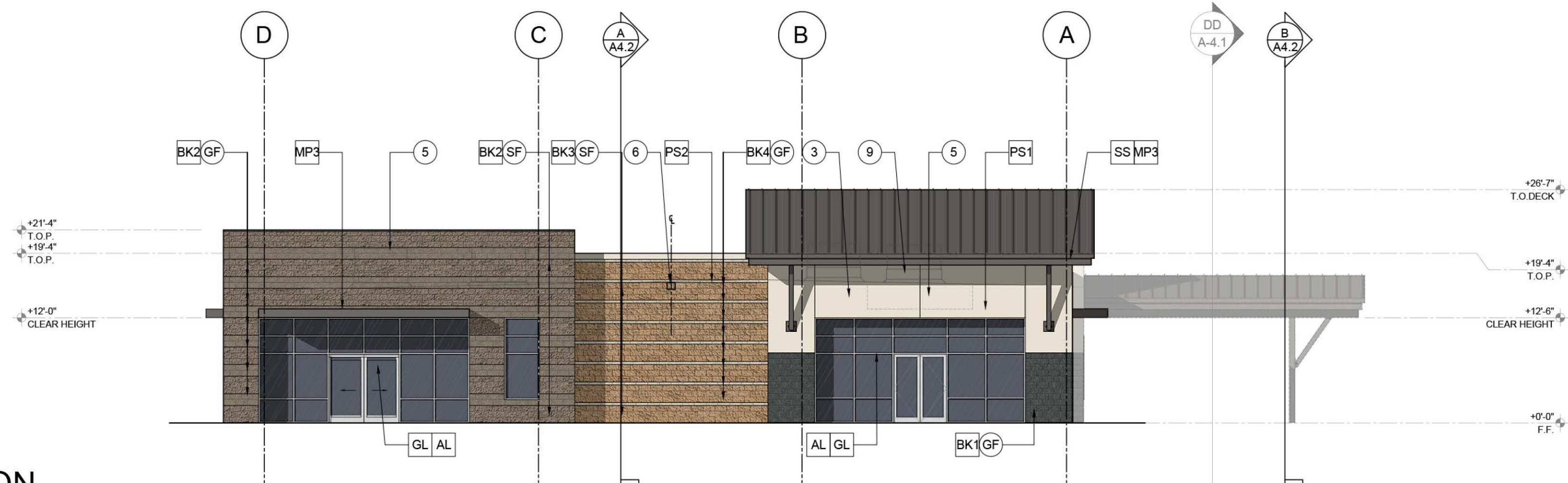
ISSUE DATE 6/22/21  
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PROJECT NUMBER

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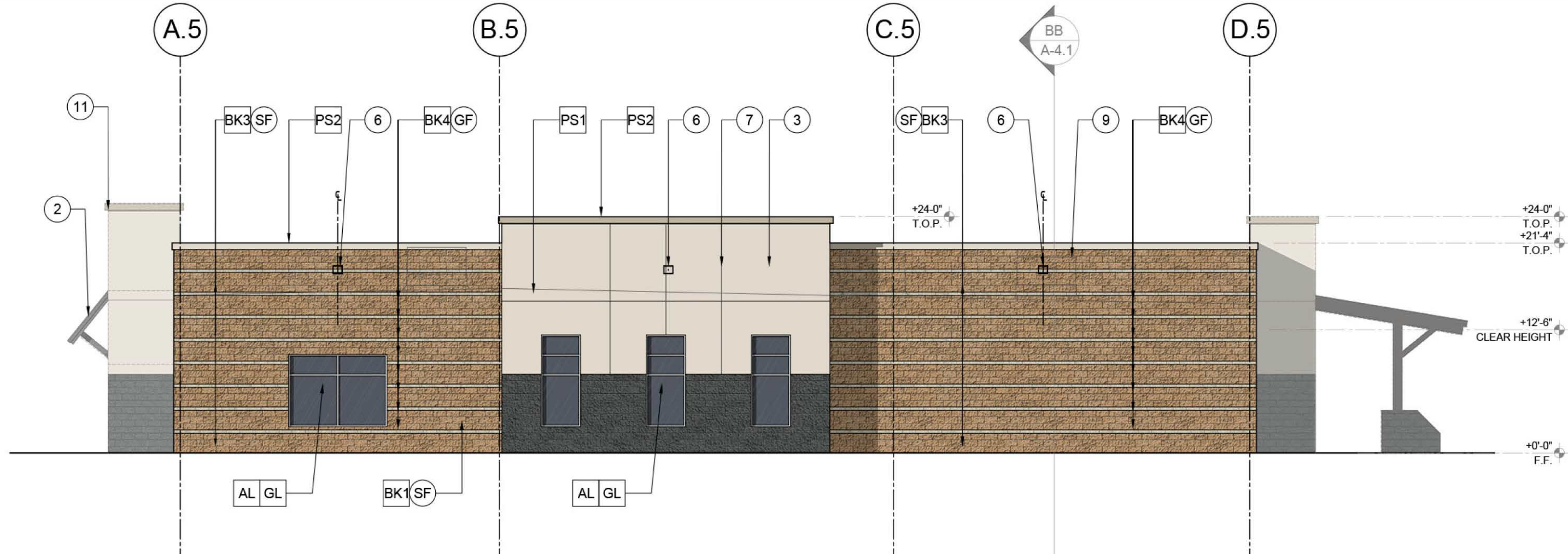
A3.2c

REV

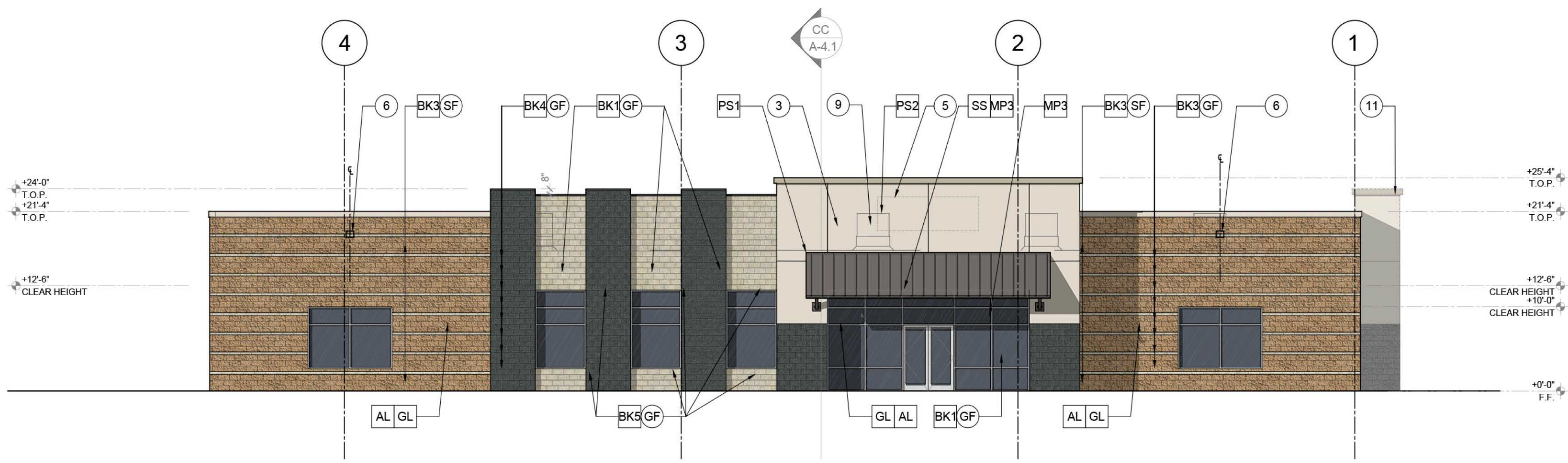




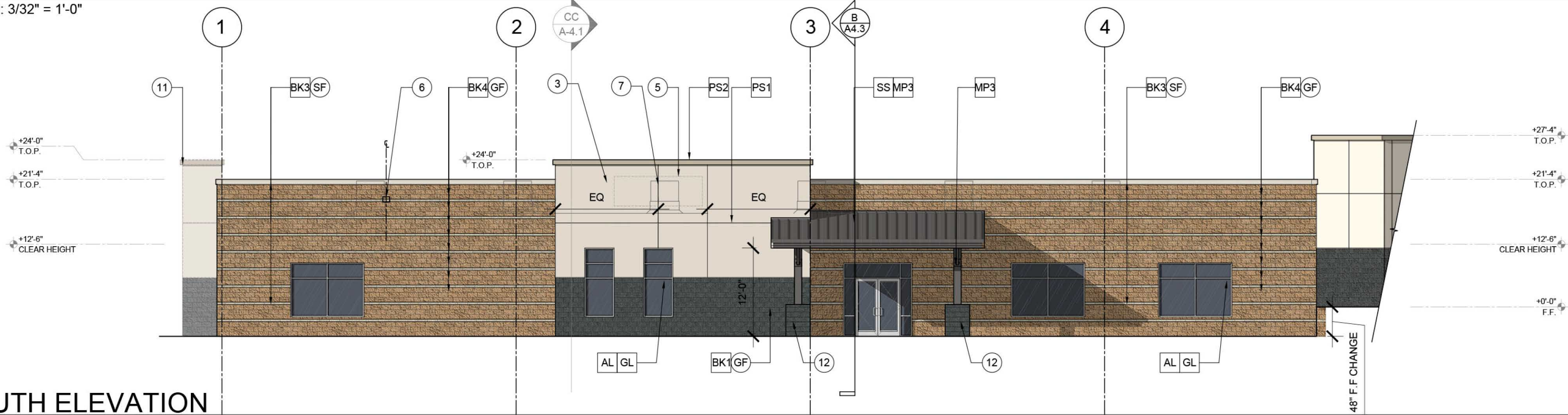
1 NORTHEAST ELEVATION  
SCALE: 3/32" = 1'-0"



2 WEST ELEVATION  
SCALE: 3/32" = 1'-0"



3 NORTH ELEVATION  
SCALE: 3/32" = 1'-0"




4 SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"



- ELEVATION KEYED NOTES:**
1. METAL ROOF PER SPECIFICATIONS.
  2. METAL CANOPY, TYPICAL.
  3. ONE COAT STUCCO SYSTEM WITH ACRYLIC TOP COAT.
  4. CUSTOM CORNERSTONE BLOCK PER CLIENT DESIGN. VERIFY FINAL PLACEMENT PRIOR TO MASONRY WORK.
  5. FUTURE TENANT SIGNAGE- UNDER SEPARATE PERMIT
  6. WALL PACK LIGHTING
  7. MASONRY CONTROL JOINT. REVIEW AND COORDINATE WITH STRUCTURAL. TYPICAL
  8. KNOX BOX LOCATIONS PER CITY STANDARDS. CONFIRM MOUNTING HEIGHT WITH CITY STANDARDS PRIOR TO INSTALLATION.
  9. ROOF LINE AND HVAC EQUIPMENT BEYOND PERAPET, TYP.
  10. 6" TALL BUILDING ADDRESS NUMBER-RAISED LETTERS. METAL, NON-ILLUMINATING.
  11. WALL / BUILDING ELEMENT BEYOND, TYPICAL.
  12. CAST IN PLACE CONC BASE

- MATERIALS**
- BK1 8"X16"X8" INTEGRAL BLOCK BLOCKLITE "EBONY #15"
  - BK2 8"X16"X8" INTEGRAL BLOCK BLOCKLITE "BARK #12"
  - BK3 8"X16"X8" INTEGRAL BLOCK BLOCKLITE "DOESKIN #4"
  - BK4 4"X16"X8" INTEGRAL BLOCK BLOCKLITE "PEBBLE BEACH #319"
  - BK5 8"X16"X8" INTEGRAL BLOCK BLOCKLITE "PEBBLE BEACH #319"
  - SF SPLIT FACE FINISH
  - GF GROUND FACE (HONED) FINISH
  - MP METAL - PAINTED "SEE PAINT SCHEDULE FOR COLOR"
  - SS MBCI, 22 GA. LOK SEAM 16" PANEL ROOFING SYSTEM "SLATE"
  - PS PAINTED STUCCO FINISH "SEE PAINT SCHEDULE FOR COLOR"
- STOREFRONT**
- AL CLEAR ANODIZED ALUMINUM
  - GL SOLAR BAND "GRAY"
- PAINT SCHEDULE**
- 1 DUNN EDWARDS - DE6228 "PLAY ON GRAY" LRV - 43
  - 2 DUNN EDWARDS - DE6229 "CALICO ROCK" LRV - 28
  - 3 DUNN EDWARDS - DE6378 "JET" LRV - 9

FINISH PERCENTAGES	
ELEVATION	QTY
NORTHEAST	
TOTAL AREA MINUS STOREFONT	1,225
BLOCK	83.0%
STUCCO	17.0%
NORTHWEST	
TOTAL AREA MINUS STOREFONT	3,858
BLOCK	76.5%
STUCCO	24.5%
NORTH	
TOTAL AREA MINUS STOREFONT	2,325
BLOCK	84.0%
STUCCO	16.0%
WEST	
TOTAL AREA MINUS STOREFONT	2,177
BLOCK	79.0%
STUCCO	21.0%
SOUTH	
TOTAL AREA MINUS STOREFONT	2,635
BLOCK	82.0%
STUCCO	18.0%
SOUTHEAST	
TOTAL AREA MINUS STOREFONT	4,942
BLOCK	83.0%
STUCCO	17.0%




2039 E RICE DR., TEMPE  
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**CEDAR MEDICAL  
COLLABORATIVE PHASE 2**  
1895 N. JASPER DRIVE, FLAGSTAFF, AZ

NUMBER	REVISION	DATE



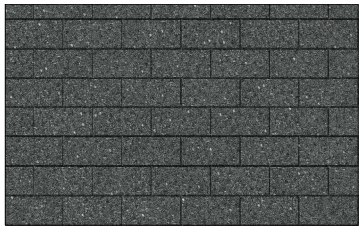
SHEET TITLE  
COLOR ELEVATIONS

ISSUE DATE 6/22/21  
DRAWN KAW  
CHECKED BY VDD  
PROJECT NUMBER -  
DRAWING NO.

**A3.1c**

REV -





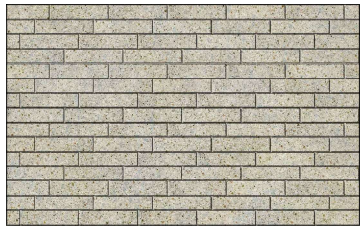
BK1 - 8"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "EBONY #15"



BK2 - 8"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "BARK #12"



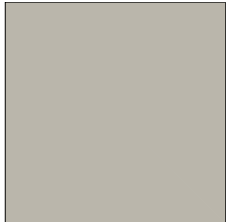
BK3 - 8"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "DOESKIN #4"



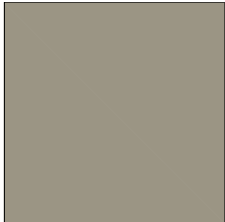
BK4 - 4"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "PEBBLE BEACH #319"



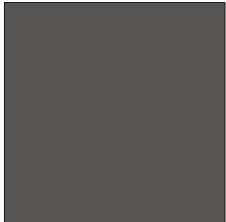
BK5 - 8"X16"X8" INTEGRAL BLOCK  
BLOCKLITE "PEBBLE BEACH #319"



P1 - DUNN EDWARDS - DE6228  
"PLAY ON GRAY" LRV - 43



P2 - DUNN EDWARDS - DE6229  
"CALICO ROCK" LRV - 28



P3 - DUNN EDWARDS - DE6378  
"JET" LRV - 9



AL - CLEAR ANODIZED ALUMINUM



GL - SOLAR BAND  
"GRAY"

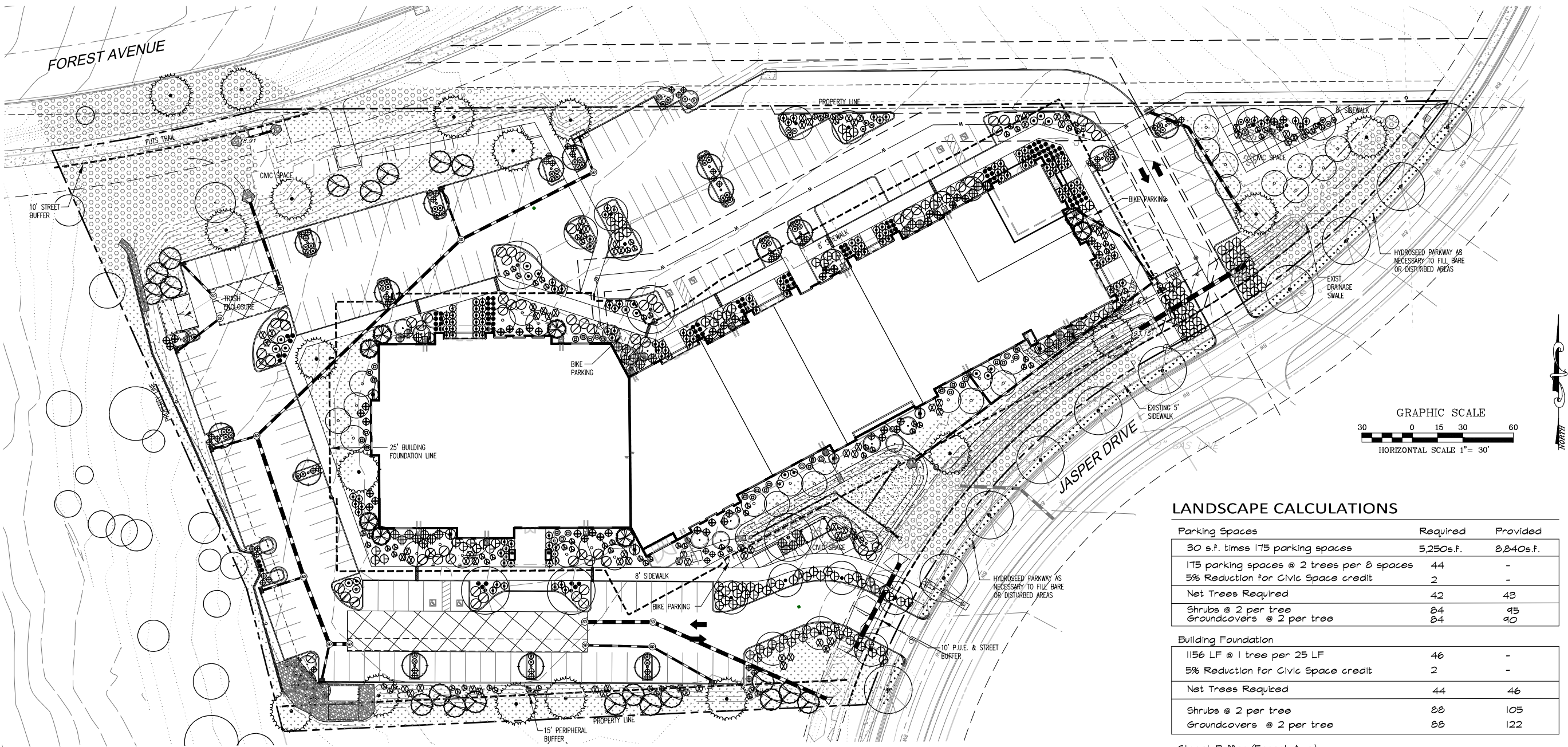
**3 FINISHES**  
SCALE: N/A

NUMBER	REVISION	DATE










































SEAL

SHEET TITLE	
COLOR BOARD	
ISSUE DATE	3/31/21
DRAWN	KW
CHECKED BY	VJD
PROJECT NUMBER	
DRAWING NO.	





PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY.	MAT. SIZE	REMARKS	SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY.	MAT. SIZE	REMARKS	SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY.	MAT. SIZE	REMARKS		
TREES						SHRUBS / GRASSES						GROUNDCOVER							
	ACER FREEMANII 'AUTUMN BLAZE'	2" CAL.	15	40x30	STANDARD		ARONIA MELANOCARPA 'IROQUOIS BEAUTY'	5 GAL.	34	3x4	2 GPH EMITTER		JUNIPERUS HORIZONTALIS 'WILTONII'	5 GAL.	63	.75x6	2 GPH EMITTER		
	AUTUMN BLAZE MAPLE						BERBERIS THUNBERGII 'ROSE GLOW'	5 GAL.	21	4x4	2 GPH EMITTER		BLUE RUG JUNIPER						
	CERCIS OCCIDENTALIS 'WESTERN REDBUD'	2" CAL.	20	15x10	LOW-BREAKING		ROSE GLOW BARBERRY						JUNIPERUS COMMUNIS 'MONDAP'	1 GAL.	77	1x4	1 GPH EMITTER		
	CRATAEGUS LAEVIGATA 'CRIMSON CLOUD'	2" CAL.	18	20x15	STANDARD		CORNUS SERICEA 'ARCTIC FIRE'	5 GAL.	58	4x4	2 GPH EMITTER		ALPINE CARPET JUNIPER						
	CRIMSON CLOUD HAWTHORN						ARCTIC FIRE DOGWOOD						MAHONIA REPENS 'DARKSTAR'	1 GAL.	136	1.5x4	2 GPH EMITTER		
	PICEA PUNGENS 'BABY BLUEEYES'	6' TALL	8	20x10	STANDARD		PEROVSKIA ATRIPLICIFOLIA 'RUSSIAN SAGE'	5 GAL.	80	4x4	2 GPH EMITTER		CREeping OREGON GRAPE						
	BABY BLUEEYES SPRUCE						RUSSIAN SAGE						PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	140	1.5x6	2 GPH EMITTER		
	PINUS PONDEROSA 'PONDEROSA PINE'	24" BOX	18	80x30	STANDARD		POTENTILLA FRUTICOSA 'GOLDFINGER'	5 GAL.	62	3x3	2 GPH EMITTER		CREeping SAND CHERRY						
	PONDEROSA PINE						GOLDFINGER POTENTILLA						NATIVE SEED MIX	33,285 S.F.			HYDROSEED PER SUPPLIER'S SPECS		
	POPULUS TREMULOIDES 'QUAKING ASPEN'	15-GAL.	32	50x15	STANDARD		SPIRAEA JAPONICA 'ALPINE'	5 GAL.	36	2x5	2 GPH EMITTER		CITY OF FLAGSTAFF STANDARD						
	QUAKING ASPEN						DAPHNE SPIREA						EXISTING NATIVE GRASSES				REMAIN IN PLACE		
	PRUNUS PADUS 'SUMMER GLOW MAYDAY TREE'	2" CAL.	15	20x20	STANDARD		VIBURNUM CARLESII 'KOREAN SPICE VIBURNUM'	5 GAL.	9	6x6	2 GPH EMITTER								
	PYRUS CALLERYANA 'CHANTICLEER'	2" CAL.	10	30x15	STANDARD		KOREAN SPICE VIBURNUM												
	CHANTICLEER PEAR						CALAMAGROSTIS x ACUTIFLORA 'K.F.' FOERSTER'S FEATHER REED GRASS	5 GAL.	104	4x2.5	2 GPH EMITTER								
	QUERCUS GAMBELII 'GAMBEL OAK'	15-GAL.	21	25x15	STANDARD		MUHLENBERGIA REVERCHONII 'UNDAUNTED'	1 GAL.	101	2x2	2 GPH EMITTER								
							SEEP MUHLY												
												MATERIALS							
													NATIVE BARK MULCH	STANDARD SIZE	-		3" DEPTH IN PLANTING AREAS AS SPECIFIED		
													DARK BROWN COLOR						

LANDSCAPE CALCULATIONS

Parking Spaces	Required	Provided
30 s.f. times 175 parking spaces	5,250s.f.	8,840s.f.
175 parking spaces @ 2 trees per 8 spaces	44	-
5% Reduction for Civic Space credit	2	-
Net Trees Required	42	43
Shrubs @ 2 per tree	84	95
Groundcovers @ 2 per tree	84	90

Building Foundation	Required	Provided
1156 LF @ 1 tree per 25 LF	46	-
5% Reduction for Civic Space credit	2	-
Net Trees Required	44	46
Shrubs @ 2 per tree	88	105
Groundcovers @ 2 per tree	88	122

Street Buffer (Forest Ave)	Required	Provided
152 LF @ 1 trees per 15 LF	10	-
5% Reduction for Civic Space credit	0	-
Net Trees Required	10	10
Shrubs @ 3 per tree	30	30
Groundcovers @ 2 per tree	20	20

Street Buffer (Jasper Drive)	Required	Provided
515 LF @ 1 trees per 15 LF	34	-
5% Reduction for Civic Space credit	2	-
Net Trees Required	32	32
Shrubs @ 3 per tree	96	119
Groundcovers @ 2 per tree	64	76

Peripheral Buffer (South Property Line)	Required	Provided
346 LF @ 1 trees per 25 LF	14	-
5% Reduction for Civic Space credit	1	-
Net Trees Required	13	13
Shrubs @ 2 per tree	26	28
Groundcovers @ 2 per tree	26	26

CEDAR MEDICAL COLLABORATIVE  
PHASE II  
LANDSCAPE CUP PLAN



DESIGNED BY: SP  
DRAWN BY: JR  
CHECK BY: SP  
DATE: MAY 2021  
BY: DATE:

PROJECT NO.  
319003A001

SHEET

L1

NO.	DATE	REVISIONS



The WLB Group, Inc.  
Landscape Architecture • Consulting  
Offices located in: Tucson, Phoenix,  
Flagstaff, and Las Vegas, NV.  
500 S. 1st Ave., Suite 200, Flagstaff, AZ 86001  
PH: (928) 779-1500

City of Flagstaff Outdoor Lighting Permit

<b>Date Received</b>		<b>Application for Outdoor Lighting Permit</b>		<b>Permit Number</b> CC-21-01332
<b>Type of Lighting Permit:</b>		<input checked="" type="checkbox"/> Permanent	<input type="checkbox"/> Temporary	
<b>Site Address (including suite #)</b> 1895 N Jasper Dr		<b>City, State, Zip</b> Flagstaff, AZ 86001		
<b>Property Owner</b> CWRP Cedar Flagstaff MOB Owner, LLC		<b>Phone</b> 480-665-7906	<b>Email</b> janalone@cypresswestpartners.com	
<b>Mailing Address</b> 30021 Thomas Rd		<b>City, State, Zip</b> Rancho Santa Margarita, CA		
<b>Applicant(s) or Contractor(s) (if different from property owner)</b>		<b>Phone</b>	<b>Email</b>	
<b>Mailing Address</b>		<b>City, State, Zip</b>		
<b>Parcel Numbers(s)</b> 101-46-012B		<b>Parcel Zoning</b> RD		

See Division 10-50.70 (Outdoor Lighting Standards) of the Zoning Code for City outdoor lighting standards.

Please contact the Planner of the Day if you have questions about this application. See <https://www.flagstaff.az.gov/150/Current-Planning> for more information.

<b>SITE INFORMATION</b> (See City of Flagstaff Lighting Zones on p. 3 of this application for more information).	
<b>Lighting Zone (1, 2, or 3)</b> <u>2</u>	<b>Site size in acres (provide to two decimal points, such as 10.25)</b> <u>2.62</u>
<b>PURPOSE OF PROPOSED ILLUMINATION</b> (See section 10-50.70.050.B: Lighting Classes for more information).	
<b>Class 1 (White Light):</b> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Used where you need to see color, such as building entrances, signs, outdoor eating and sales areas, workshops, recreation/sports fields.	
<b>Class 2 (General Illumination):</b> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Used for pedestrian walkways, driveways, roadways, parking lots, equipment yards, and general outdoor security.	
<b>Class 3 (Decorative):</b> Yes <input type="checkbox"/> No <input type="checkbox"/> Examples include architectural illumination, flag and monument lighting, landscape lighting.	
<b>Your application must include all required components listed on p. 5. We do not accept incomplete applications. Please do not submit pages 5-8 (these are instructional/example pages).</b>	
_____ (Initials) I hereby certify that the information set forth on this form is complete and accurate and do hereby agree to comply with all applicable codes of the City of Flagstaff and the State of Arizona and with any conditions attached hereto, and request that all pertinent City personnel access my property at any time deemed necessary to inspect work being done relating to this permit.	
<b>Applicant Signature:</b>	<b>Date:</b>
<b>For City Use</b>	
<b>Received By:</b> 	<b>Fee Receipt #:</b>
<b>Approval:</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<b>Date Approved:</b> 6/22/21
<b>Staff Initial:</b> 	

### LUMEN CALCULATIONS TABLE: BEFORE LIGHTING MODIFICATIONS

THIS TABLE ONLY APPLIES EXISTING DEVELOPMENT. INSTRUCTIONS: Provide the required information in the table below (or in a separate table that matches the table below) for all outdoor lighting currently on-site. Do not include any new lighting or modifications to existing lighting (you will provide that information in the *Lumen Calculations Table: After Lighting Modifications* on the next page). Do not include streetlights in public rights-of-way. Some of the columns will auto-calculate, others you will need to fill out yourself. NEW DEVELOPMENT PROJECTS: SKIP TO TABLE ON NEXT PAGE.

[illegible]

Total existing lumens (all types) N/A

Existing Class 1 and Class 3 lumens<sup>8</sup> (if applicable) N/A

Existing LED and NSALED lumens<sup>9</sup> (if applicable) N/A

Existing partially-shielded lumens<sup>10</sup> (if applicable) N/A

Existing unshielded lumens<sup>11</sup> (if applicable) N/A

<sup>1</sup> **Lamp Type.** See footnote 1 on page 3 of this application for more information on abbreviations for lamp types.

<sup>2</sup>**Shielding.** Use the following abbreviations: FS for fully-shielded; PS for partially-shielded; US for unshielded.

<sup>3</sup>**Lighting Class.** See footnote 3 on page 3 of this application for more information on lighting class.

<sup>4</sup>**No. of Lamps per Fixture.** Put 1 for LEDs or NSALEDs that are integrated as part of the fixture, and skip to Column 7.

<sup>5</sup>**Number of Recessed Fixtures.** Applies only to fully-shielded fixtures at least 5-ft. (horizontally) from the nearest roof/canopy edge.

<sup>6</sup>**Lumen Reduction for Recessed Fixtures.** Do the following calculation for fixtures recessed 5 - 9.99 feet.: (Column 7 x Column 8) x 0.75. Do the following calculation for fixtures recessed 10 or more feet: (Column 7 x Column 8) x 0.90.

<sup>7</sup>**Lumens Total.** Do the following calculation: Column 2 x Column 7. For recessed fixtures only: (Column 2 x Column 7) – Column 9. See the *Example Permit* on p. 7 of this application for more information.

<sup>8</sup>**Class 1 and Class 3 Lighting.** See footnote 9 on page 3 of this application for more information on Class 1 and Class 3 lighting.

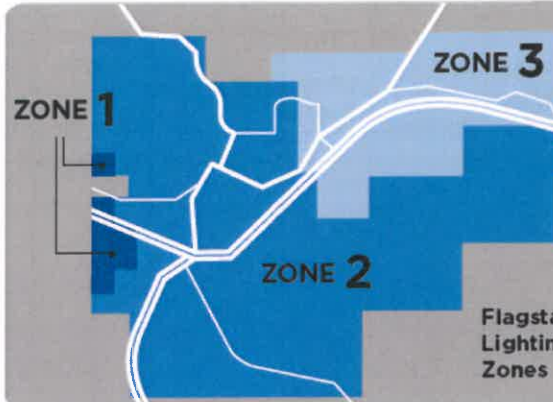
<sup>9</sup>**Existing LED and NSALED lumens:** Add the total lumens for all LED and narrow-spectrum amber LED (NSALED) lights on-site.

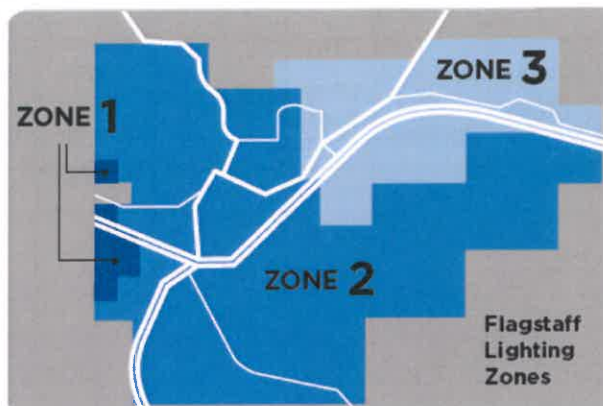
<sup>10</sup>**Existing partially-shielded lumens:** Add the total lumens for all partially-shielded lights on-site.

<sup>11</sup>**Existing unshielded lumens:** Add the total lumens for all unshielded lights on-site.



## MAXIMUM PERMITTED LUMENS WORKSHEET

1. Identify the Lighting Zone where your project is located. Refer to the Lighting Zone Map below or in Section 10-90.40.020 of the Zoning Code, or search by address in the GIS Mapping Portal <https://map-flagstaff.opendata.arcgis.com/> (go to the Flagstaff Zoning map).
  2. Do the calculations for Step 1 below (multiply the maximum lumens permitted in your site's Lighting Zone by the net acres of your site). This is the maximum permitted lumens for your site if you are using no LED or NSALEd lights on your site. Move to Step 2 if you are using LED or NSALEd lights. See footnote 1 under the Lumen Calculations Table on p. 2 for more information lamp types.
  3. Do the calculations for Step 2 below if you are using only LED or NSALEd lights on your site. This is the maximum permitted lumens if you are using only LED or NSALEd lights.
  4. Do the calculations for Step 3 below if you are using LED, NSALEd, and other types of lights. See the *Example Permit* on p. 7 of this application for more information.
- 



### Maximum Permitted TOTAL Lumens

**Zone 1: 25,000 lumens/acre      Zone 2: 50,000 lumens/acre      Zone 3: 100,000 lumens/acre**

- Step 1:** Maximum permitted lumens/acre for your Zone 50000 x 4.771660 site acres = 238,500 maximum permitted lumens for the entire site (if using no LED or NSALED lights)  
238,000
- Step 2:** Input results from Step 1 above 238,500 ÷ 1.43 = 166,783 maximum permitted lumens for the entire site (if using only LED and/or NSALED lights)
- Step 3:** Input results from Step 1 above \_\_\_\_\_ - proposed non-LED/non-NSALED lumens \_\_\_\_\_ = \_\_\_\_\_ ÷ 1.43 = \_\_\_\_\_ + desired non-LED lumens \_\_\_\_\_ = \_\_\_\_\_ maximum permitted lumens for the entire site (if using both LED/NSALED and other types of lights)

## ATTACH LIGHTING PLAN AND MANUFACTURER'S CUTSHEETS

## ON THE BACK OF THIS PAGE

**LUMEN CALCULATIONS TABLE: AFTER LIGHTING MODIFICATIONS**

Provide the required information in the table below (or in a separate table that matches the table below) for each outdoor lamp and fixture combination that will be on site after the outdoor lighting is updated. Do not include streetlights in public rights-of-way. Some columns will auto-calculate, others you will need to fill out yourself.

1	2	3	4	5	6	7	8	9	10	11	12
Lighting Plan Symbol	Number of Fixtures	Lamp Type <sup>1</sup>	Shielding <sup>2</sup>	Lighting Class (1,2,3) <sup>3</sup>	Watts per Lamp	Lumens Per Lamp	No. of lamps per fixture <sup>4</sup>	Lumens per Fixture	Number of Recessed Fixtures <sup>5</sup>	Lumen Reduction for Recessed Fixtures <sup>6</sup>	Lumens Total <sup>7</sup>
SA	10	NSALED	FS	2	175	5284	1	5284	0	0	52,840
SB	1	NSALED	FS	2	175	5284	2	10,568	0	0	10,568
SC	3	NSALED	FS	2	175	5395	1	5395	0	0	16,185
SD	1	NSALED	FS	2	175	5395	2	10,790	0	0	10,790
SF	22	LED	FS	1	8	664	1	664	22	-10,956	3652
SG	10	NSALED	FS	2	45	1224	1	1224	0	0	12,240
SH	9	NSALED	FS	2	45	1245	1	1245	0	0	11,205
SFA	4	LED	FS	1	8	664	1	664	0	0	2656

Total proposed lumens 120,136 ✓Total proposed Class 1 and Class 3 lumens<sup>9</sup> 6308 ✓Total proposed partially-shielded lumens 0Total proposed non-LED and non-NSALED lumens<sup>12</sup> 0Maximum permitted total lumens<sup>8</sup> 100,703 162,937Max. permitted Class 1 and Class 3 lumens<sup>10</sup> 16,678 16,294Maximum permitted partially-shielded lumens<sup>11</sup> 0 7,923Total proposed LED and NSALED lumens<sup>13</sup> 120,136<sup>1</sup> **Lamp Type.** Use the following abbreviations for lamp types:

CFL for compact fluorescent

IN for incandescent

LED for light-emitting diode (white or warm white)

FL for fluorescent

LPS for low pressure sodium

NSALED for narrow-spectrum amber LED

HPS for high pressure sodium

MH for metal halide

<sup>2</sup> **Shielding.** Use the following abbreviations: **FS** for fully-shielded; **PS** for partially-shielded. *Unshielded fixtures are not permitted.*<sup>3</sup> **Lighting Class.** *Class 1 (White Light)* is used to see color at building entrances, signs, outdoor eating and sales areas, workshops, recreation/sports fields, etc. *Class 2 (General Illumination)* is used for pedestrian walkways, driveways, roadways, parking lots, equipment yards, and general outdoor security. Low-pressure sodium (LPS) and narrow-spectrum amber LED (NSALED) lamps are used for Class 2 lighting. *Class 3 (Decorative)* includes architectural illumination, flag and monument lighting, landscape lighting.<sup>4</sup> **No. of Lamps per Fixture.** Put 1 for LEDs or NSALEDs that are integrated as part of the fixture.<sup>5</sup> **Number of Recessed Fixtures.** Applies only to fully-shielded fixtures at least 5-ft. (horizontally) from the nearest roof/canopy edge.<sup>6</sup> **Lumen Reduction for Recessed Fixtures.** Do the following calculation for fixtures recessed 5-9.99 feet.: (Column 9 x Column 10) x 0.75. Do the following calculation for fixtures recessed 10 or more feet: (Column 9 x Column 10) x 0.90.<sup>7</sup> **Lumens Total.** Do the following calculation: Column 2 x Column 9. For recessed fixtures only: (Column 2 x Column 9) – Column 11.See the *Example Permit* on p. 7 of this application for more information.<sup>8</sup> **Maximum permitted total lumens.** Input the results of the *Maximum Permitted Lumens Worksheet* on p. 3 of this application.<sup>9</sup> **Class 1 and Class 3 Lighting.** Includes CFL, FL, HPS, IN, and MH lamps listed in footnote 1 above. Class 1 and Class 3 lighting does not include Low-Pressure Sodium (LPS) or non-Narrow-Spectrum Amber LED (NSALED) lamps (these lamps are Class 2 lighting).<sup>10</sup> **Maximum permitted Class 1 and Class 3 Lighting** cannot exceed 10% of the total permitted lumens for the site.<sup>11</sup> **Maximum partially-shielded lumens** cannot exceed the following in each zone. Zone 1: 0 lumens (partially-shielded lights are not permitted in Zone 1); Zone 2: 11% of total permitted lumens; Zone 3: 5.5% of total permitted lumens.<sup>12</sup> **Total proposed non-LED and non-NSALED lumens:** Add the total lumens of all fixtures that *are not* LED or NSALED lights.<sup>13</sup> **Total proposed LED and NSALED lumens:** Add the total lumens of all fixtures that *are* LED or NSALED lights.



## GENERAL NOTES - SITE

- [illegible]

## KEYED NOTES

- [illegible]

## UTILITY COMPANY NOTES

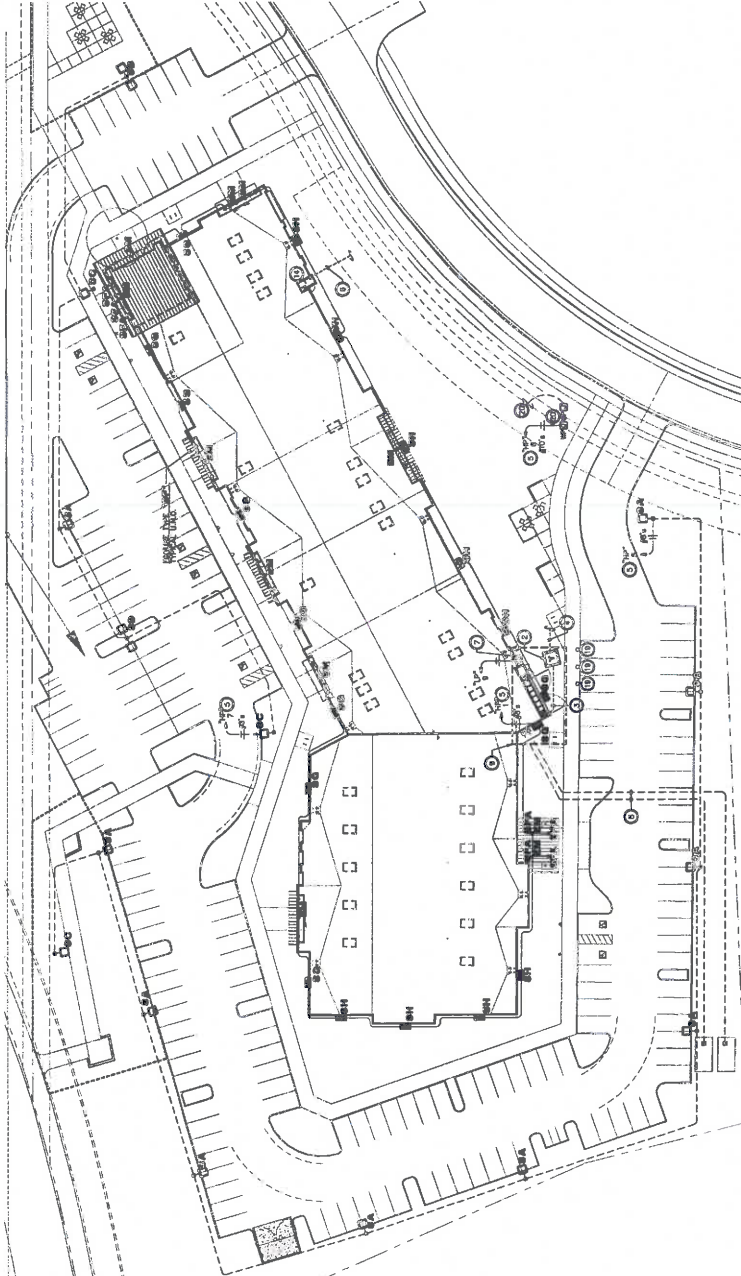
1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH SERVING UTILITIES TO OBTAIN THEIR SPECIFIC REQUIREMENTS WITHIN (30) DAYS OF AWARD OF CONTRACT.
2. PROVIDE SERVING UTILITY COMPANY WITH ONE (1) FULL SET OF PLANS INCLUDING SITE PLAN, ONE-LINE DIAGRAM, AND TOTAL LOAD SUMMARY.
3. CONFIRM ALL UTILITY COMPANY REQUIREMENTS PRIOR TO TROUCHING.
4. CONTRACTOR SHALL COORDINATE WITH SERVING UTILITY COMPANY IF AN ADDITIONAL UTILITY IS REQUIRED TO UTILITY TRANSFORMATION OR SECONDARY CONDUIT AND/OR CONDUIT.
5. CONTRACTOR SHALL COORDINATE EXACT COSTS (PER MAN-HOUR) OF ALL OF ANY ADDITIONAL WORK WITH SERVING UTILITY COMPANY PRIOR TO START OF WORK.

**UTILITY COMPANY CONTACT**  
Power Company  
APS  
Buckman Subdiv.  
NEW CONSTRUCTION  
Telephone 6  
502-371-4797

EPOCH CODES  
 EPOCH 2019 NRC: 2017



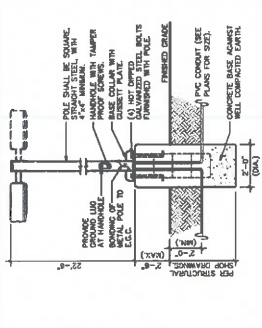
IF ORGANISMS IS NOT PLOTTED AT 74 X 36 THEY ARE NOT FULL SIZE



1 ELECTRICAL SITE PLAN  
SCALE: 1" = 30'-0"



## POLE MOUNTED FIXTURE DETAIL



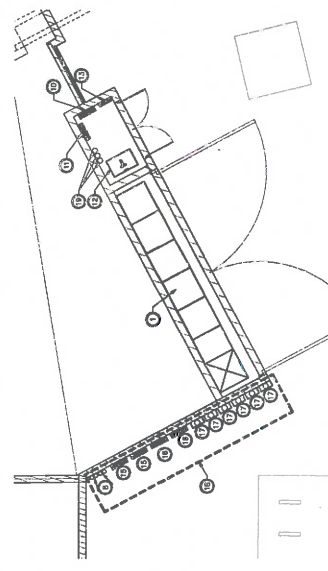
**FIXTURE TYPE '8A'/'8B'/'8C'/'8D'**

THE POLE CONCRETE BASE SHOWN FOR ELECTRICAL, ROUNDM AND SHALL NOT BE USED FOR ACTUAL BASE CONSTRUCTION. POLE BASE SHALL BE DESIGNED BY A REGISTERED STRUCTURAL PROFESSIONAL ENGINEER AND CONSTRUCTED PER STRUCTURAL ENGINEER'S SEALED CONSTRUCTION DOCUMENT.

NOTE: ELECTRICAL CONTRACTOR SHALL BOND METAL POLE PER NEC 410.300(5)

## LUMINAIRE SCHEDULE

- [illegible]



2 ENLARGED ELECTRICAL ROOM AND FUTURE POWER WALL DETAIL

NUMBER	REVISION	DATE



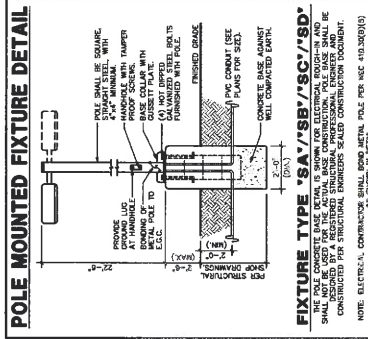
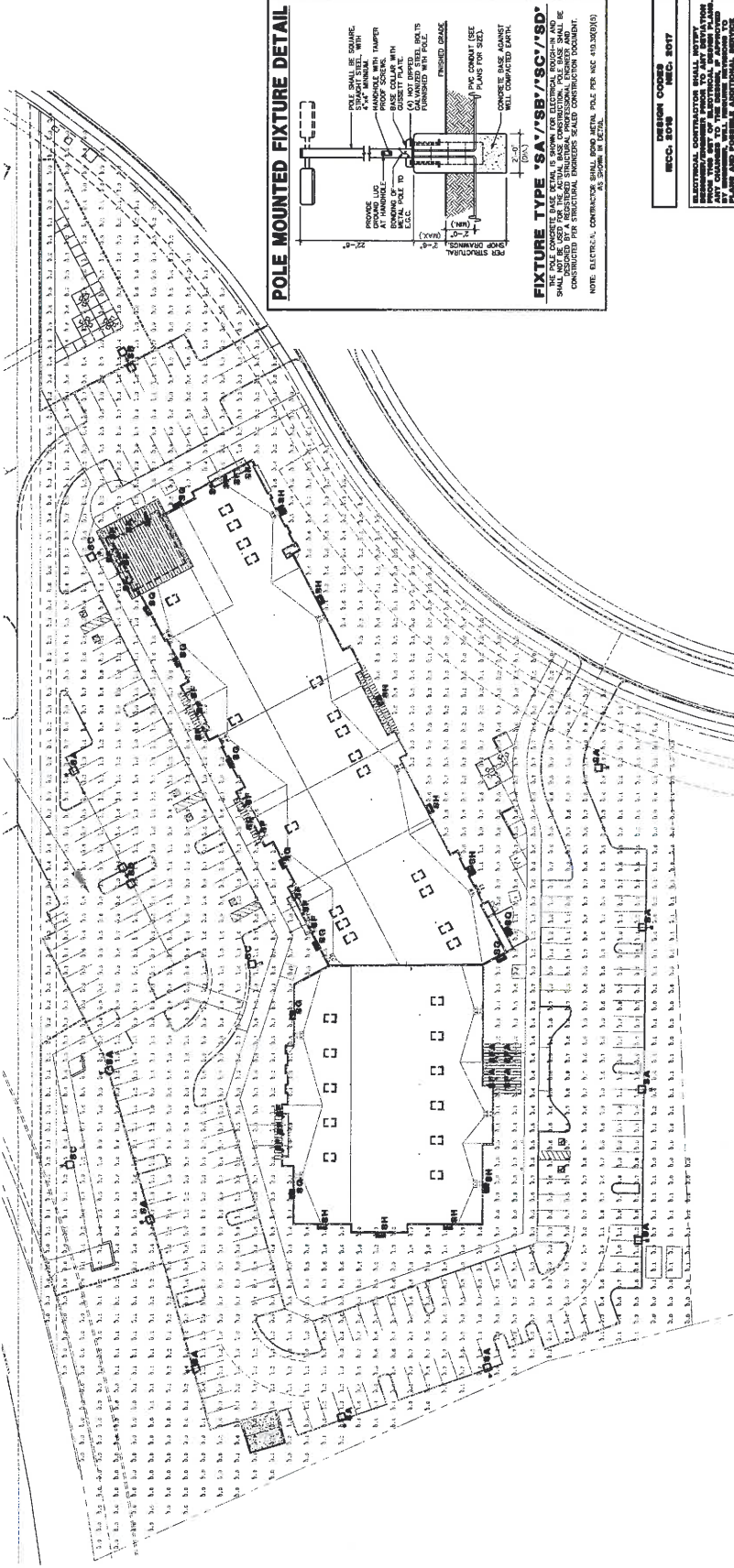
SHEET TITLE	ELECTRICAL SITE
PROJECT NO.	052872021
DESIGNED BY	CAC
DRAWN BY	YAS
CHECKED BY	
PROJECT NUMBER	
DRAWING NO.	

**ES2.0**

REV

UNIT	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL
1	1" x 4" x 8" x 12" x 16" x 20" x 24" x 28" x 32" x 36" x 40" x 44" x 48" x 52" x 56" x 60" x 64" x 68" x 72" x 76" x 80" x 84" x 88" x 92" x 96" x 100" x 104" x 108" x 112" x 116" x 120" x 124" x 128" x 132" x 136" x 140" x 144" x 148" x 152" x 156" x 160" x 164" x 168" x 172" x 176" x 180" x 184" x 188" x 192" x 196" x 200" x 204" x 208" x 212" x 216" x 220" x 224" x 228" x 232" x 236" x 240" x 244" x 248" x 252" x 256" x 260" x 264" x 268" x 272" x 276" x 280" x 284" x 288" x 292" x 296" x 300" x 304" x 308" x 312" x 316" x 320" x 324" x 328" x 332" x 336" x 340" x 344" x 348" x 352" x 356" x 360" x 364" x 368" x 372" x 376" x 380" x 384" x 388" x 392" x 396" x 400" x 404" x 408" x 412" x 416" x 420" x 424" x 428" x 432" x 436" x 440" x 444" x 448" x 452" x 456" x 460" x 464" x 468" x 472" x 476" x 480" x 484" x 488" x 492" x 496" x 500" x 504" x 508" x 512" x 516" x 520" x 524" x 528" x 532" x 536" x 540" x 544" x 548" x 552" x 556" x 560" x 564" x 568" x 572" x 576" x 580" x 584" x 588" x 592" x 596" x 600" x 604" x 608" x 612" x 616" x 620" x 624" x 628" x 632" x 636" x 640" x 644" x 648" x 652" x 656" x 660" x 664" x 668" x 672" x 676" x 680" x 684" x 688" x 692" x 696" x 700" x 704" x 708" x 712" x 716" x 720" x 724" x 728" x 732" x 736" x 740" x 744" x 748" x 752" x 756" x 760" x 764" x 768" x 772" x 776" x 780" x 784" x 788" x 792" x 796" x 800" x 804" x 808" x 812" x 816" x 820" x 824" x 828" x 832" x 836" x 840" x 844" x 848" x 852" x 856" x 860" x 864" x 868" x 872" x 876" x 880" x 884" x 888" x 892" x 896" x 900" x 904" x 908" x 912" x 916" x 920" x 924" x 928" x 932" x 936" x 940" x 944" x 948" x 952" x 956" x 960" x 964" x 968" x 972" x 976" x 980" x 984" x 988" x 992" x 996" x 1000"			

DATE: 08/01/2017	BY: YAS	UNIT PRICE:	TOTAL:
------------------	---------	-------------	--------



**DESIGN CODES**  
NECC, 2019  
NEC, 2017

**ELECTRICAL CONTRACTOR SHALL VERIFY**  
THAT THIS SET OF ELECTRICAL DRAWINGS PLANS, SPECIFICATIONS AND NOTES ARE IN ACCORDANCE WITH ALL CITY AND FEDERAL ELECTRICAL CODES.

**SCOTT L. HULSE**  
REGISTERED ELECTRICAL ENGINEER  
HULSE ENGINEERING, LLC  
1896 N. JASPER DRIVE, FLAGSTAFF, AZ 86001  
480-589-3783  
scott@hulseengineering.com



# VIPER L STRIKE

LARGE VIPER LUMINAIRE

Cat.# VPL-96L-170-AM-4F-X-UNV-XXX

Job  
CEDAR MEDICAL

Type  
"SA"



Approvals

## SPECIFICATIONS

### Intended Use:

The Beacon Viper luminaire is available in two sizes with a wide choice of different LED wattage configurations and optical distributions designed to replace HID lighting up to 1000W MH or HPS. Luminaires are suitable for wet locations.

### Construction:

- Manufactured with die cast aluminum.
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D522 cracking and loss of adhesion test requirements.
- External hardware is corrosion resistant.
- One piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel.
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Two-piece silicone and microcellular polyurethane foam gasket ensures a weather-proof seal around each individual optic.

### Electrical:

- Luminaire accepts 100V through 277V, 50 Hz to 60 Hz (UNV), 347V, or 480V input.
- Power factor is  $\geq .90$  at full load.
- Dimming drivers are standard, but CD must be selected in options to obtain external wiring leads for dimming controls
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 90°C or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only.
- Fixture electrical compartment shall contain all LED driver components
- Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices.
- Ambient operating temperature -40°C to 40°C
- Surge protection - 20kA.
- Lifeshield™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

### Installation:

- Mounting options for horizontal arm, vertical tenon or traditional arm mounting available. Mounting hardware included.

### Finish:

- IFS polyester powder-coat electrostatically applied and thermocured. IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish.
- The finish meets the AAMA 2604 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds.

### Certifications/Ratings:

- Certified to UL 1598, UL 8750, and CSA C22.2
- 3G rated for ANSI C136.31 high vibration applications with MAF mounting
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission.

### Warranty:

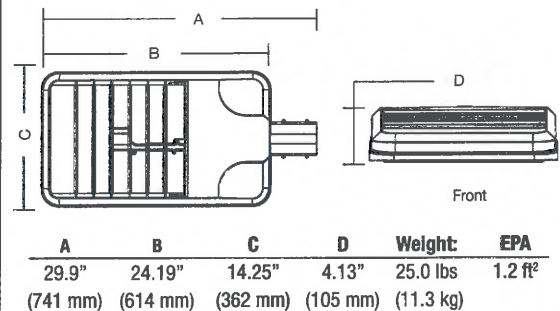
Five year limited warranty for more information visit:  
[www.hubbelling.com/resources/warranty](http://www.hubbelling.com/resources/warranty)

## PRODUCT IMAGE(S)

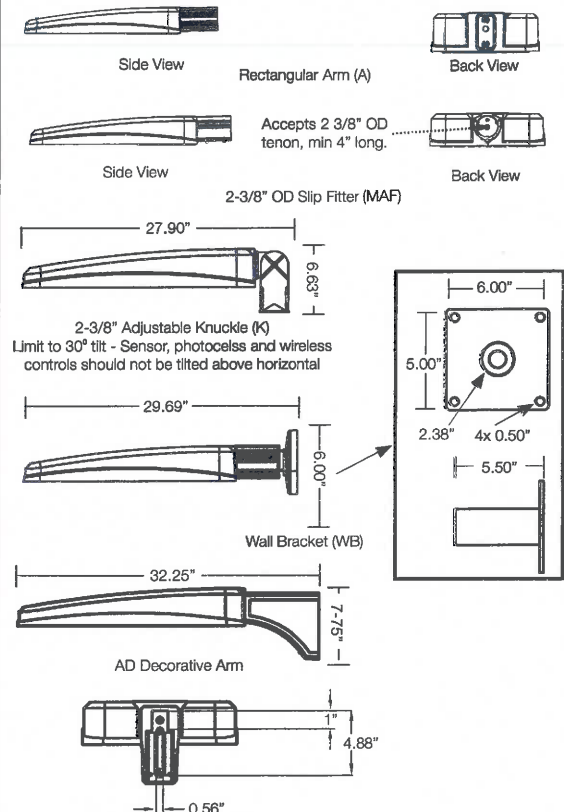
Turtle Friendly



## DIMENSIONS



## MOUNTING OPTIONS



## CERTIFICATIONS/LISTINGS



\*3000K and warmer CCTs only



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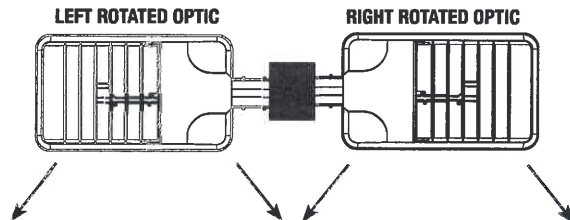
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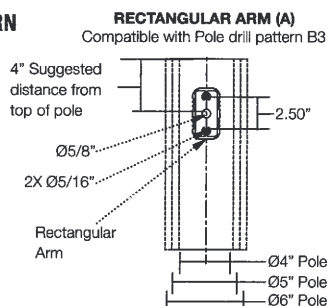
# ORDERING INFORMATION ORDERING EXAMPLE: VPL/96L-170/AM/4W/UNV/A/DBT/7PR-TL/GENI-04/BC

VPL							
SERIES	LED ENGINE	CCT	ROTATION	VOLTAGE	COLOR	OPTIONS	
<b>VPL</b> Viper	<b>64L-115</b> 115 W LED array <b>80L-140</b> 140W LED array <b>96L-170</b> 170W LED array	<b>AM</b> Amber	Leave blank for no rotation <b>L</b> <sup>1</sup> Optic rotation left <b>R</b> <sup>1</sup> Optic rotation right	<b>UNV</b> 120-277V <b>120</b> 120V <b>208</b> 208V <b>240</b> 240V <b>277</b> 277V <b>347</b> 347V <b>480</b> 480V	<b>BLT</b> Black Matte Textured <b>BLS</b> Black Gloss Smooth <b>DBT</b> Dark Bronze Matte Textured <b>DBS</b> Dark Bronze Gloss Smooth <b>GTT</b> Graphite Matte Textured <b>LGS</b> Light Grey Gloss Smooth <b>PSS</b> Platinum Silver Smooth <b>WHT</b> White Matte Textured <b>WHS</b> White Gloss Smooth <b>VG</b> Verde Green Textured <b>COLOR OPTION</b> <b>CC</b> Custom Color	<b>CD</b> Continuous Dimming <b>F</b> Fusing <b>BSP</b> Bird Spikes <b>BC</b> Backshield (available for FR, 2, 3, 4, 4W Optics) <b>TB</b> Terminal Block	
<div>DISTRIBUTION</div> <div>FR Type 1/Front Row</div> <div>2 Type 2</div> <div>3 Type 3</div> <div><b>4F (formerly 4) Type 4</b></div> <div>4W Type 4 Wide</div> <div>5QM Type 5QM</div> <div>5QN Type 5QN</div> <div>5R Type 5R (rectangular)</div> <div>5W Type 5W (round wide)</div> <div>TC Tennis Court</div>							
<div>HOUSE SIDE SHIELD ACCESSORIES</div> <div>HSS/EVP-L/90-FB/XXX 90° shield front or back</div> <div>HSS/EVP-L/90-LR/XXX 90° shield left or right</div> <div>HSS/EVP-L/270-FB/XXX 270° shield front or back</div> <div>HSS/EVP-L/270-LR/XXX 270° shield left or right</div> <div>HSS/EVP-L/360/XXX Full shield</div> <div>(Replace XXX with notation for desired finish color) (Refer to page 5 for shield images)</div>				<div>MOUNTING</div> <div><b>A</b> Rectangular Arm (formerly RA) for square or round pole</div> <div><b>MAF</b> Mast Arm Fitter (formerly SF2) for 2-3/8" OD horizontal arm</div> <div><b>K</b> Knuckle (formerly PK2) limit to 30° tilt or 2-3/8" OD horizontal arm or vertical tenon</div> <div><b>WB</b> Wall Bracket</div> <div><b>AD</b> Universal Arm for square pole</div> <div><b>AD3</b> Universal Arm for 2.4"-4.1" round pole</div> <div><b>AD4</b> Universal Arm for 4.2"-5.3" round pole</div> <div><b>AD5</b> Universal Arm for 5.5"-5.9" round pole</div> <div><b>AD6</b> Universal Arm for 6.0"-6.5" round pole</div>			
<div>MOUNTING ACCESSORIES</div> <div>VPL-AD-RPA3 2.4"-4.1" Round Pole Adapter for AD arm</div> <div>VPL-AD-RPA4 4.2"-5.3" Round Pole Adapter for AD arm</div> <div>VPL-AD-RPA5 5.5"-5.9" Round Pole Adapter for AD arm</div> <div>VPL-AD-RPA6 6.0"-6.5" Round Pole Adapter for AD arm</div>				<div>CONTROL OPTIONS</div> <div><b>7PR</b> 7-Pin Receptacle only (shorting cap, photo control, or wireless control provided by others)</div> <div><b>PCR-SC</b> 7-Pin Receptacle w/Shorting Cap</div> <div><b>PCR-TL</b> 7-Pin Receptacle w/Twist Lock photo control</div>			

<sup>1</sup> Only available with FR, 2, 3, 4, 4W and 5R distributions



## DRILL PATTERN



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# VIPER L

## STRIKE

LARGE VIPER LUMINAIRE

Cat.# VPL-96L-170-AM-4F-X-UNV-XXX

Job  
CEDAR MEDICAL

Type  
"SB"



Approvals

### SPECIFICATIONS

#### Intended Use:

The Beacon Viper luminaire is available in two sizes with a wide choice of different LED wattage configurations and optical distributions designed to replace HID lighting up to 1000W MH or HPS. Luminaires are suitable for wet locations.

#### Construction:

- Manufactured with die cast aluminum.
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D522 cracking and loss of adhesion test requirements.
- External hardware is corrosion resistant.
- One piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel.
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Two-piece silicone and microcellular polyurethane foam gasket ensures a weather-proof seal around each individual optic.

#### Electrical:

- Luminaire accepts 100V through 277V, 50 Hz to 60 Hz (UNV), 347V, or 480V input.
- Power factor is  $\geq .90$  at full load.
- Dimming drivers are standard, but CD must be selected in options to obtain external wiring leads for dimming controls
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 90°C or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only.
- Fixture electrical compartment shall contain all LED driver components
- Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices.
- Ambient operating temperature -40°C to 40°C
- Surge protection - 20kA.
- Lifeshield™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

#### Installation:

- Mounting options for horizontal arm, vertical tenon or traditional arm mounting available. Mounting hardware included.

#### Finish:

- IFS polyester powder-coat electrostatically applied and thermocured. IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish.
- The finish meets the AAMA 2604 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds.

#### Certifications/Ratings:

- Certified to UL 1598, UL 8750, and CSA C22.2.
- 3G rated for ANSI C136.31 high vibration applications with MAF mounting
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission.

#### Warranty:

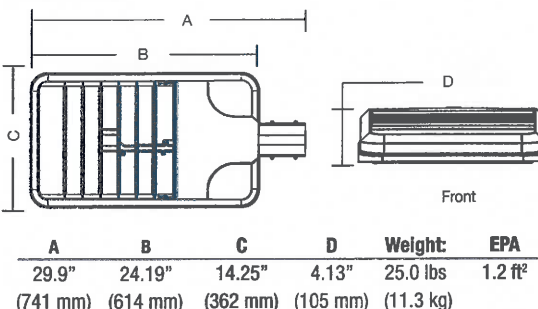
Five year limited warranty for more information visit:  
[www.hubbellighting.com/resources/warranty](http://www.hubbellighting.com/resources/warranty)

### PRODUCT IMAGE(S)

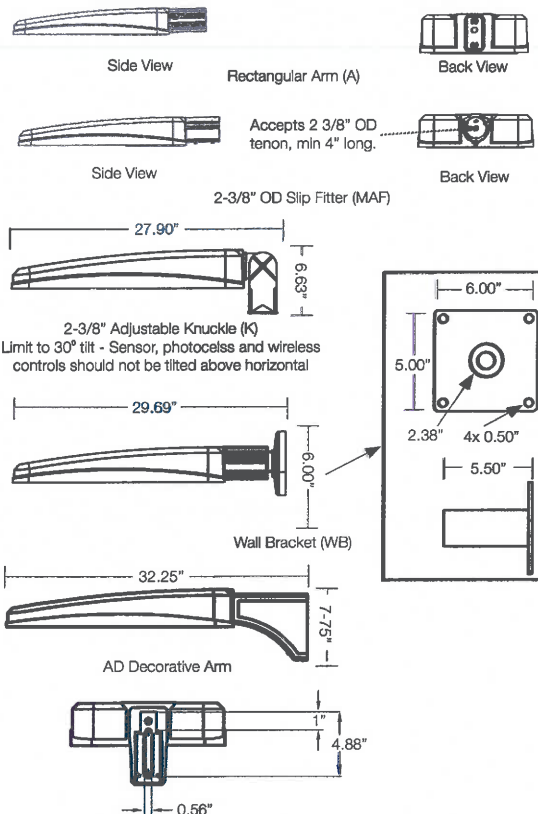
Turtle Friendly



### DIMENSIONS



### MOUNTING OPTIONS



### CERTIFICATIONS/LISTINGS



\*3000K and warmer CCTs only



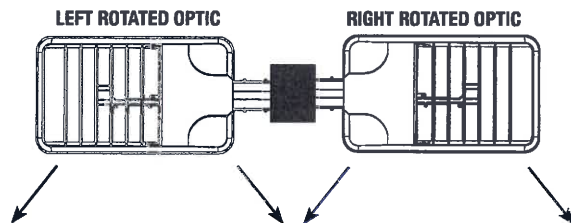
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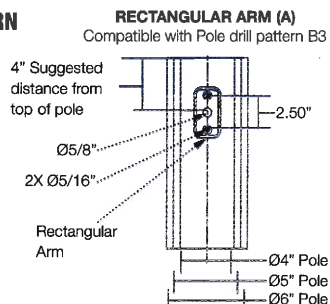
# ORDERING INFORMATION ORDERING EXAMPLE: VPL/96L-170/AM/4W/UNV/A/DBT/7PR-TL/GENI-04/BC

VPL							
SERIES	LED ENGINE	CCT	ROTATION	VOLTAGE	COLOR	OPTIONS	
VPL Viper	64L-115 115 W LED array 80L-140 140W LED array 96L-170 170W LED array	AM Amber	Leave blank for no rotation L <sup>1</sup> Optic rotation left R <sup>1</sup> Optic rotation right	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured COLOR OPTION CC Custom Color	CD Continuous Dimming F Fusing BSP Bird Spikes BC Backshield (available for FR, 2, 3, 4, 4W Optics) TB Terminal Block	
DISTRIBUTION							
FR Type 1/Front Row							
2 Type 2							
3 Type 3							
4F (formerly 4) Type 4							
4W Type 4 Wide							
5QM Type 5QM							
5QN Type 5QN							
5R Type 5R (rectangular)							
5W Type 5W (round wide)							
TC Tennis Court							
HOUSE SIDE SHIELD ACCESSORIES							
HSS/EVP-L/90-FB/XXX 90° shield front or back							
HSS/EVP-L/90-LR/XXX 90° shield left or right							
HSS/EVP-L/270-FB/XXX 270° shield front or back							
HSS/EVP-L/270-LR/XXX 270° shield left or right							
HSS/EVP-L/360/XXX Full shield							
(Replace XXX with notation for desired finish color) (Refer to page 5 for shield images)							
MOUNTING ACCESSORIES							
VPL-AD-RPA3 2.4"-4.1" Round Pole Adapter for AD arm							
VPL-AD-RPA4 4.2"-5.3" Round Pole Adapter for AD arm							
VPL-AD-RPA5 5.5"-5.9" Round Pole Adapter for AD arm							
VPL-AD-RPA6 6.0"-6.5" Round Pole Adapter for AD arm							
MOUNTING							
A Rectangular Arm (formerly RA) for square or round pole							
MAF Mast Arm Fitter (formerly SF2) for 2-3/8" OD horizontal arm							
K Knuckle (formerly PK2) limit to 30° tilt or 2-3/8" OD horizontal arm or vertical tenon							
WB Wall Bracket							
AD Universal Arm for square pole							
AD3 Universal Arm for 2.4"-4.1" round pole							
AD4 Universal Arm for 4.2"-5.3" round pole							
AD5 Universal Arm for 5.5"-5.9" round pole							
AD6 Universal Arm for 6.0"-6.5" round pole							
CONTROL OPTIONS							
7PR 7-Pin Receptacle only (shorting cap, photo control, or wireless control provided by others)							
PCR-SC 7-Pin Receptacle w/Shorting Cap							
PCR-TL 7-Pin Receptacle w/Twist Lock photo control							

<sup>1</sup> Only available with FR, 2, 3, 4, 4W and 5R distributions



## DRILL PATTERN



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# VIPER L

## STRIKE

LARGE VIPER LUMINAIRE

Cat.# VPL-96L-170-AM-3F-X-UNV-XXX

Job

CEDAR MEDICAL

Type

"SC"



**BEACON**  
design. performance. technology.

Approvals

### SPECIFICATIONS

#### Intended Use:

The Beacon Viper luminaire is available in two sizes with a wide choice of different LED wattage configurations and optical distributions designed to replace HID lighting up to 1000W MH or HPS. Luminaires are suitable for wet locations.

#### Construction:

- Manufactured with die cast aluminum.
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D522 cracking and loss of adhesion test requirements.
- External hardware is corrosion resistant.
- One piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel.
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Two-piece silicone and microcellular polyurethane foam gasket ensures a weather-proof seal around each individual optic.

#### Electrical:

- Luminaire accepts 100V through 277V, 50 Hz to 60 Hz (UNV), 347V, or 480V input.
- Power factor is  $\geq .90$  at full load.
- Dimming drivers are standard, but CD must be selected in options to obtain external wiring leads for dimming controls
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 90°C or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only.
- Fixture electrical compartment shall contain all LED driver components
- Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices.
- Ambient operating temperature -40°C to 40°C
- Surge protection - 20kA.
- Lifeshield™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

#### Installation:

- Mounting options for horizontal arm, vertical tenon or traditional arm mounting available. Mounting hardware included.

#### Finish:

- IFS polyester powder-coat electrostatically applied and thermocured. IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish.
- The finish meets the AAMA 2604 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds.

#### Certifications/Ratings:

- Certified to UL 1598, UL 8750, and CSA C22.2
- 3G rated for ANSI C136.31 high vibration applications with MAF mounting
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission.

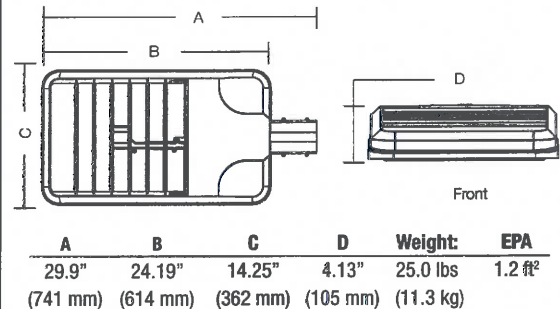
#### Warranty:

Five year limited warranty for more information visit:  
[www.hubbelling.com/resources/warranty](http://www.hubbelling.com/resources/warranty)

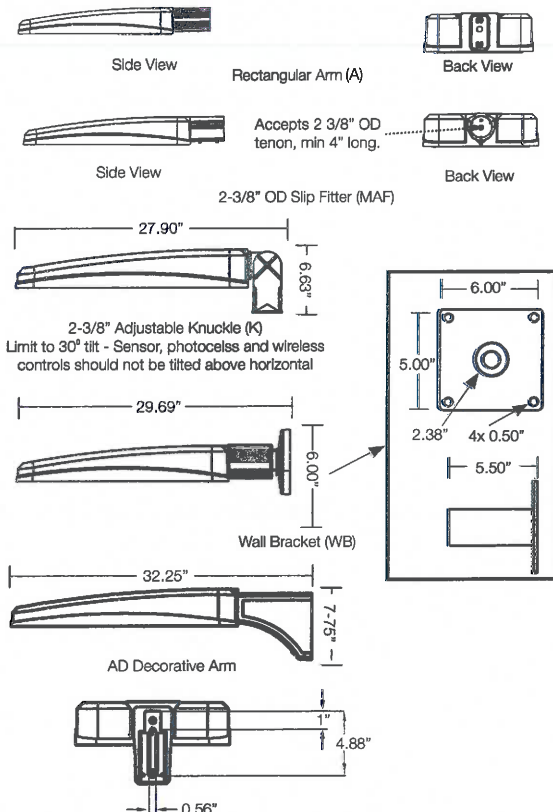
### PRODUCT IMAGE(S)



### DIMENSIONS



### MOUNTING OPTIONS



### CERTIFICATIONS/LISTINGS



\*3000K and warmer CCTs only



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design. performance. technology.

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**HUBBELL**  
Lighting

# ORDERING INFORMATION ORDERING EXAMPLE: VPL/96L-170/AM/4W/UNV/A/DBT/7PR-TL/GENI-04/BC

VPL								
SERIES	LED ENGINE	CCT	ROTATION	VOLTAGE	COLOR	OPTIONS		
VPL Viper	64L-115 115 W LED array 80L-140 140W LED array 96L-170 170W LED array	AM Amber	Leave blank for no rotation L' Optic rotation left R' Optic rotation right	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured	CD Continuous Dimming F Fusing BSP Bird Spikes BC Backshield (available for FR, 2, 3, 4, 4W Optics) TB Terminal Block		
DISTRIBUTION								
FR Type 1/Front Row								
2 Type 2								
3 Type 3								
4F (formerly 4) Type 4								
4W Type 4 Wide								
5QM Type 5QM								
5QN Type 5QN								
5R Type 5R (rectangular)								
5W Type 5W (round wide)								
TC Tennis Court								
MOUNTING								
					CONTROL OPTIONS			
7PR 7-Pin Receptacle only (shorting cap, photo								

**HOUSE SIDE SHIELD ACCESSORIES**

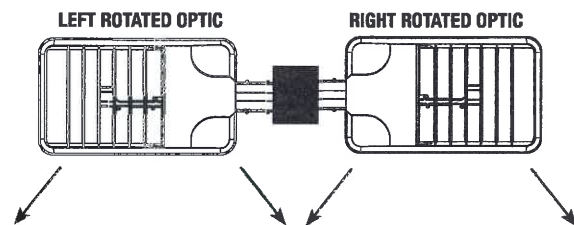
HSS/EVP-L/90-FB/XXX 90° shield front or back  
HSS/EVP-L/90-LR/XXX 90° shield left or right  
HSS/EVP-L/270-FB/XXX 270° shield front or back  
HSS/EVP-L/270-LR/XXX 270° shield left or right  
HSS/EVP-L/360/XXX Full shield

(Replace XXX with notation for desired finish color)  
(Refer to page 5 for shield images)

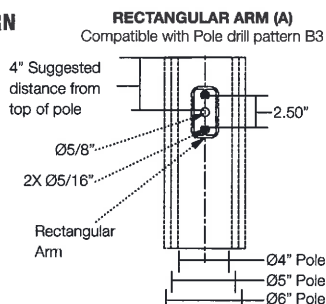
**MOUNTING ACCESSORIES**

VPL-AD-RPA3 2.4"-4.1" Round Pole Adapter for AD arm  
VPL-AD-RPA4 4.2"-5.3" Round Pole Adapter for AD arm  
VPL-AD-RPA5 5.5"-5.9" Round Pole Adapter for AD arm  
VPL-AD-RPA6 6.0"-6.5" Round Pole Adapter for AD arm

<sup>1</sup> Only available with FR, 2, 3, 4, 4W and 5R distributions



## DRILL PATTERN



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# VIPER L

## STRIKE

LARGE VIPER LUMINAIRE

Cat.# VPL-96L-170-AM-3F-X-UNV-XXX

Job

CEDAR MEDICAL

Type

"SD"



**BEACON**  
design performance technology

Approvals

### SPECIFICATIONS

#### Intended Use:

The Beacon Viper luminaire is available in two sizes with a wide choice of different LED wattage configurations and optical distributions designed to replace HID lighting up to 1000W MH or HPS. Luminaires are suitable for wet locations.

#### Construction:

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- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Two-piece silicone and microcellular polyurethane foam gasket ensures a weather-proof seal around each individual optic.

#### Electrical:

- Luminaire accepts 100V through 277V, 50 Hz to 60 Hz (UNV), 347V, or 480V input.
- Power factor is  $\geq .90$  at full load.
- Dimming drivers are standard, but CD must be selected in options to obtain external wiring leads for dimming controls
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 90°C or higher.
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only.
- Fixture electrical compartment shall contain all LED driver components
- Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices.
- Ambient operating temperature -40°C to 40°C
- Surge protection - 20kA.
- Lifeshield™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

#### Installation:

- Mounting options for horizontal arm, vertical tenon or traditional arm mounting available. Mounting hardware included.

#### Finish:

- IFS polyester powder-coat electrostatically applied and thermocured. IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish.
- The finish meets the AAMA 2604 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds.

#### Certifications/Ratings:

- Certified to UL 1598, UL 8750, and CSA C22.2.
- 3G rated for ANSI C136.31 high vibration applications with MAF mounting
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission.

#### Warranty:

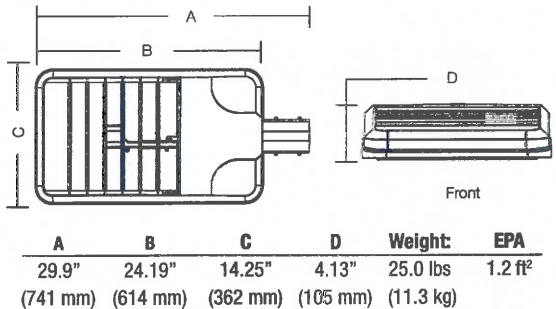
Five year limited warranty for more information visit:  
[www.hubbellighting.com/resources/warranty](http://www.hubbellighting.com/resources/warranty)

### PRODUCT IMAGE(S)

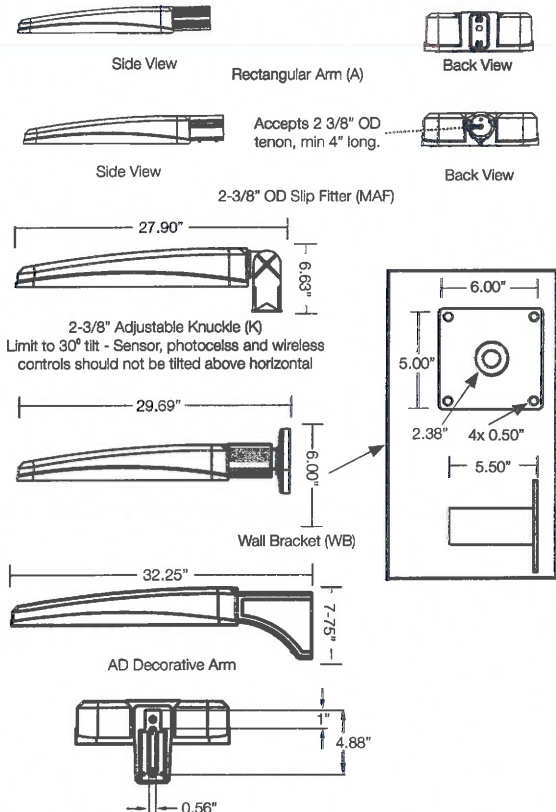
Turtle Friendly



### DIMENSIONS



### MOUNTING OPTIONS



### CERTIFICATIONS/LISTINGS



\*3000K and warmer CCTs only



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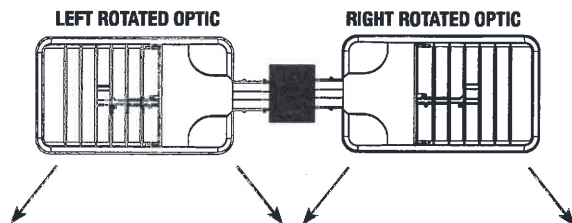
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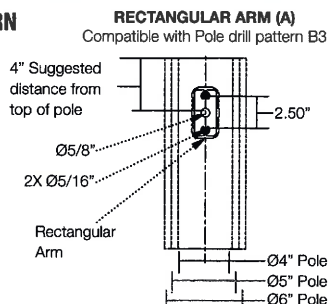
# ORDERING INFORMATION ORDERING EXAMPLE: VPL/96L-170/AM/4W/UNV/A/DBT/7PR-TL/GENI-04/BC

SERIES	LED ENGINE	CCT	ROTATION	VOLTAGE	COLOR	OPTIONS
<b>VPL</b> Viper	<b>64L-115</b> 115 W LED array <b>80L-140</b> 140W LED array <b>96L-170</b> 170W LED array	<b>AM</b> Amber	Leave blank for no rotation <b>L</b> <sup>1</sup> Optic rotation left <b>R</b> <sup>1</sup> Optic rotation right	<b>UNV 120-277V</b> <b>120</b> 120V <b>208</b> 208V <b>240</b> 240V <b>277</b> 277V <b>347</b> 347V <b>480</b> 480V	<b>BLT</b> Black Matte Textured <b>BLS</b> Black Gloss Smooth <b>DBT</b> Dark Bronze Matte Textured <b>DBS</b> Dark Bronze Gloss Smooth <b>GTT</b> Graphite Matte Textured <b>LGS</b> Light Grey Gloss Smooth <b>PSS</b> Platinum Silver Smooth <b>WHT</b> White Matte Textured <b>WHS</b> White Gloss Smooth <b>VGT</b> Verde Green Textured <b>COLOR OPTION</b> <b>CC</b> Custom Color	<b>CD</b> Continuous Dimming <b>F</b> Fusing <b>BSP</b> Bird Spikes <b>BC</b> Backshield (available for FR, 2, 3, 4, 4W Optics) <b>TB</b> Terminal Block
<b>DISTRIBUTION</b>						
<b>FR</b> Type 1/Front Row <b>2</b> Type 2 <b>3</b> Type 3 <b>4F (formerly 4)</b> Type 4 <b>4W</b> Type 4 Wide <b>5QM</b> Type 5QM <b>5QN</b> Type 5QN <b>5R</b> Type 5R (rectangular) <b>5W</b> Type 5W (round wide) <b>TC</b> Tennis Court						
<b>HOUSE SIDE SHIELD ACCESSORIES</b>						
<b>HSS/EVP-L/90-FB/XXX</b> 90° shield front or back <b>HSS/EVP-L/90-LR/XXX</b> 90° shield left or right <b>HSS/EVP-L/270-FB/XXX</b> 270° shield front or back <b>HSS/EVP-L/270-LR/XXX</b> 270° shield left or right <b>HSS/EVP-L/360/XXX</b> Full shield						
(Replace XXX with notation for desired finish color) (Refer to page 5 for shield images)						
<b>MOUNTING ACCESSORIES</b>						
<b>VPL-AD-RPA3</b> 2.4"-4.1" Round Pole Adapter for AD arm <b>VPL-AD-RPA4</b> 4.2"-5.3" Round Pole Adapter for AD arm <b>VPL-AD-RPA5</b> 5.5"-5.9" Round Pole Adapter for AD arm <b>VPL-AD-RPA6</b> 6.0"-6.5" Round Pole Adapter for AD arm						
<b>MOUNTING</b>						
<b>A</b> Rectangular Arm (formerly RA) for square or round pole <b>MAF</b> Mast Arm Fitter (formerly SF2) for 2-3/8" OD horizontal arm <b>K</b> Knuckle (formerly PK2) limit to 30° tilt or 2-3/8" OD horizontal arm or vertical tenon <b>WB</b> Wall Bracket <b>AD</b> Universal Arm for square pole <b>AD3</b> Universal Arm for 2.4"-4.1" round pole <b>AD4</b> Universal Arm for 4.2"-5.3" round pole <b>AD5</b> Universal Arm for 5.5"-5.9" round pole <b>AD6</b> Universal Arm for 6.0"-6.5" round pole						
<b>CONTROL OPTIONS</b>						
<b>7PR</b> 7-Pin Receptacle only (shorting cap, photo control, or wireless control provided by others) <b>PCR-SC</b> 7-Pin Receptacle w/Shorting Cap <b>PCR-TL</b> 7-Pin Receptacle w/Twist Lock photo control						

<sup>1</sup> Only available with FR, 2, 3, 4, 4W and 5R distributions



## DRILL PATTERN



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# PERFORMANCE DATA

# LED'S	DRIVE CURRENT	SYSTEM WATTS	DISTRIBUTION TYPE	AMB amber 590nm (std.)				
				LUMENS	LPW <sup>1</sup>	B	U	G
64	700mA	115W	FR	3731	32	1	0	0
			2	3528	31	1	0	1
			3	3534	31	1	0	1
			4	3454	30	0	0	1
			4W	3409	30	1	0	2
			5QM	3534	31	2	0	0
			5QN	3691	32	2	0	0
			5R	3565	31	2	0	2
			5W	3379	29	2	0	1
80	700mA	140W	FR	4757	34	1	0	1
			2	4498	32	1	0	1
			3	4506	32	1	0	1
			4	4403	31	1	0	2
			4W	4262	30	1	0	2
			5QM	4506	32	2	0	1
			5QN	4706	34	1	0	0
			5R	4546	32	2	0	2
			5W	4308	31	3	0	1
96	700mA	170W	FR	5709	33	1	0	1
			2	5400	30	1	0	1
			3	5407	31	1	1	3
			4	5284	30	1	0	2
			4W	5147	30	1	0	2
			5QM	5408	31	2	0	1
			5QN	5647	32	2	0	0
			5R	5455	31	3	0	3
			5W	5169	30	3	0	1

# LED'S	DRIVE CURRENT	SYSTEM WATTS	DISTRIBUTION TYPE	AMB amber 590nm (std.)				
				LUMENS	LPW <sup>1</sup>	B	U	G
64	700mA	115W	FR-BC	2996	26	0	0	0
			2-BC	2614	23	0	0	1
			3-BC	2499	22	0	0	1
			4-BC	2730	24	0	0	1
			4W-BC	2140	19	0	0	1
80	700mA	140W	FR-BC	3820	27	1	0	0
			2-BC	3268	23	0	0	1
			3-BC	3124	22	0	0	1
			4-BC	3413	24	0	0	1
96	700mA	170W	4W-BC	2728	19	0	0	1
			FR-BC	4584	26	1	0	0
			2-BC	3921	22	0	0	1
			3-BC	3749	21	0	0	1
			4-BC	4095	23	0	0	1
			4W-BC	3274	19	0	0	1

<sup>1</sup> Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.  
<sup>2</sup> 315W and 395W 3000K versions are not DLC QPL listed. Reference highlighted cells in table.





# TRAVERSE

SURFACE/CEILING/GARAGE

DATE: 06/16/2021 | LOCATION: FLAGSTAFF, AZ  
 TYPE: "SG" | PROJECT: CEDAR MEDICAL COLLABORATIVE  
 CATALOG #: TRV-D-24L-45-AM-4-UNV-XXX-XXX

## FEATURES

- Wall surface mounted luminaire with a field replaceable LED light engine & optical bezel system
- Optional passive infrared (PIR) motion sensor
- Horizontal opening motion allows for minimal effort during installation, maintenance, or upgrading
- LED wattages from 45-105Watt. Available in 45W, 60W & 150W lumen packages
- Easy and fast mounting. Simply mount the backplate to wall and attach front on hinges to close



\*3000K and warmer CCTs only

## CONTROL TECHNOLOGY



## SPECIFICATIONS

### CONSTRUCTION

- Traverse luminaire consists of a die cast aluminum two-piece housing
- Die cast main (thermal) housing provides direct heat exchange between the LED light engine and the cool outdoor
- LED drivers are thermally isolated from the main housing, mechanically attached and heat sunk to the rear housing
- Shape of the main housing is designed to prevent debris accumulation and as a bird nesting deterrent. The back and main housings are designed to hinge open for easy mounting and easy access
- IFS polyester powder-coat electrostatically applied and thermocured
- IFS finish consists of a five stage iron phosphate chemical pretreatment regimen with a polymer primer sealer, oven dry off, and top coated with a thermoset super TGIC polyester powder coat finish
- The finish meets the AAMA 2604 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds

### OPTICS

- Optical one piece cartridge system consisting of an LED engine, optics, gasket and stainless steel bezel
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system
- Optics are held in place without the use of adhesives
- Cartridge assembly is available in various lighting distributions using TIR designed acrylic optical lenses over each LED

### ELECTRICAL

- 100V through 277V, 347V and 480V, 50 Hz to 60 Hz
- Dimming drivers are standard, but must contact factory to request wiring leads for purpose of external dimming controls
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600 VAC at 50°C or higher
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only
- Surge protection - 20kA

## RELATED PRODUCTS

 [Cruzer](#)

### INSTALLATION

- Rear housing (back plate) is designed with various bolt patterns for direct wall mounting or mounting to a recessed junction box
- Rear housing has three integral 3/4" NPT power feed locations (bottom and each side) for surface mounted conduit applications
- After mounting the rear housing to the wall or junction box, the main housing is designed to attach and hinge closed after connecting the male and female quick connectors
- Mounting design permits a **simple retrofit** to existing wall luminaires that utilize or recessed junction boxes

### CERTIFICATIONS

- UL Listed, Suitable for wet locations (standard)
- IDA approved

### WARRANTY

- 5 year warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	1200-3200
Wattage Range	45-105
Efficacy Range (LPW)	27-30



# TRAVERSE

SURFACE/CEILING/GARAGE

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_

TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_

CATALOG #: \_\_\_\_\_

## ORDERING GUIDE

Example: TRV-D-24L-45-AM-3-UNV-PCU-DBT

CATALOG # \_\_\_\_\_

Series	Engine Watts	CCT/CRI	Optics	Voltage	Electrical Options	Finish
TRV-D Traverse Down Light	24L-45 45 Watt - LED array	AM Amber	2 Type II	UNV 120-277V	PCU Button Photocell, Universal	BLT Black Matte Textured
	36L-65 65 Watts - LED array	RO Red	3 Type III	347 347V		BLS Black Gloss Smooth
	48L-85 85 Watts - LED array	Orange	4 Type IV	480 480V	MOB Motion Sensor 33% or 50% dimming+/-	DBT Dark Bronze Matte Textured
TRV-U Traverse Up Light (lens req.)	60L-105 105 Watts - LED array		5R Type V, rectangular			DBS Dark Bronze Gloss Smooth
			5W Type V, Wide			GTT Graphite Matte Textured
						LGS Light Grey Gloss Smooth
						PSS Platinum Silver Smooth
						WHT White Matte Textured
						WHS White Gloss Smooth
						VGT Verde Green Textured
						Color Option
						CC Custom Color

### Accessories

- ☐ **SWUSB<sup>1</sup>** SiteSync Interface software loaded on USB flash drive for use with owner supplied PC (Windows based only). Includes SiteSync license, software and USB radio bridge node<sup>1</sup>
- ☐ **SWTAB<sup>1</sup>** Windows tablet and SiteSync interface software. Includes tablet with preloaded software, SiteSync license and USB radio bridge node<sup>1</sup>
- ☐ **SWBRG<sup>2</sup>** SiteSync USB radio bridge node only. Order if a replacement is required or if an extra bridge node is requested<sup>2</sup>

<sup>1</sup>When ordering with SiteSync, one of these interface options must be chosen and ordered separately. Each option contains the SiteSync License, GUI and Bridge Node

<sup>2</sup> If needed, an additional Bridge Node can be ordered

**PRECOMMISSIONED SITESYNC ORDERING INFORMATION:** When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit [www.hubbellighting.com/products/sitesync/](http://www.hubbellighting.com/products/sitesync/) or contact Hubbell Lighting tech support at 864-679-1000.

SiteSync fixtures with occupancy sensor (SWPM) require the mounting height of the fixture for selection of the lens.

Examples: TRV-D-24L-45-AM-3-UNV-SWP-BLT

TRV-D-24L-55-AM-T3-UNV-SWPM-20F-BLT

SiteSync only

SiteSync with Occupancy Sensor

**MOB ORDERING INFORMATION:** When ordering a fixture with a dimming occupancy sensor (MOB), please specify the appropriate information. These settings are specified in the ordering as shown in the example below.

TRV/24L-55/AM/T3/UNV/MOB - 1 to 30 min. - 33% or 50% - ?? / BLT

High to Dim Delay    Low Level    Mounting Height (ft.)

# TRAVERSE

SURFACE/CEILING/GARAGE

## FEATURES

- Wall surface mounted luminaire with a field replaceable LED light engine & optical bezel system
- Optional passive infrared (PIR) motion sensor
- Horizontal opening motion allows for minimal effort during installation, maintenance, or upgrading
- LED wattages from 45-105Watt. Available in 45W, 60W & 150W lumen packages
- Easy and fast mounting. Simply mount the backplate to wall and attach front on hinges to close



\*3000K and warmer CCTs only

## CONTROL TECHNOLOGY



## SPECIFICATIONS

### CONSTRUCTION

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### OPTICS

- Optical one piece cartridge system consisting of an LED engine, optics, gasket and stainless steel bezel
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system
- Optics are held in place without the use of adhesives
- Cartridge assembly is available in various lighting distributions using TIR designed acrylic optical lenses over each LED

### ELECTRICAL

- 100V through 277V, 347V and 480V, 50 Hz to 60 Hz
- Dimming drivers are standard, but must contact factory to request wiring leads for purpose of external dimming controls
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600 VAC at 50°C or higher
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only
- Surge protection - 20kA

## RELATED PRODUCTS

 [Cruzer](#)

### INSTALLATION

- Rear housing (back plate) is designed with various bolt patterns for direct wall mounting or mounting to a recessed junction box
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- After mounting the rear housing to the wall or junction box, the main housing is designed to attach and hinge closed after connecting the male and female quick connectors
- Mounting design permits a simple retrofit to existing wall luminaires that utilize or recessed junction boxes

### CERTIFICATIONS

- UL Listed, Suitable for wet locations (standard)
- IDA approved

### WARRANTY

- 5 year warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	1200–3200
Wattage Range	45–105
Efficacy Range (LPW)	27–30

## ORDERING GUIDE

Example: TRV-D-24L-45-AM-3-UNV-PCU-DBT

CATALOG #

Series	Engine Watts	CCT/CRI	Optics	Voltage	Electrical Options	Finish
<b>TRV-D</b> Traverse Down Light	<b>24L-45</b> 45 Watt - LED array	<b>AM</b> Amber	<b>2</b> Type II	<b>UNV</b> 120-277V	<b>PCU</b> Button Photocell, Universal	<b>BLT</b> Black Matte Textured
	<b>36L-65</b> 65 Watts - LED array	<b>RO</b> Red Orange	<b>3</b> Type III	<b>347</b> 347V		<b>BLS</b> Black Gloss Smooth
<b>TRV-U</b> Traverse Up Light (lens req.)	<b>48L-85</b> 85 Watts - LED array		<b>4</b> Type IV	<b>480</b> 480V	<b>MOB</b> Motion Sensor 33% or 50% dimming <sup>1,2</sup>	<b>DBT</b> Dark Bronze Matte Textured
	<b>60L-105</b> 105 Watts - LED array		<b>5R</b> Type V, rectangular			<b>DBS</b> Dark Brone Gloss Smooth
			<b>5W</b> Type V, Wide			<b>GTT</b> Graphite Matte Textured
						<b>LGS</b> Light Grey Gloss Smooth
						<b>PSS</b> Platinum Silver Smooth
						<b>WHT</b> White Matte Textured
						<b>WHS</b> White Gloss Smooth
						<b>VG</b> Verde Green Textured
						Color Option
						<b>CC</b> Custom Color

### Accessories

- ☐ **SWUSB<sup>1</sup>** SiteSync interface software loaded on USB flash drive for use with owner supplied PC (Windows based only). Includes SiteSync license, software and USB radio bridge node<sup>1</sup>
- ☐ **SWTAB<sup>1</sup>** Windows tablet and SiteSync interface software. Includes tablet with preloaded software, SiteSync license and USB radio bridge node<sup>1</sup>
- ☐ **SWBRG<sup>2</sup>** SiteSync USB radio bridge node only. Order if a replacement is required or if an extra bridge node is requested<sup>2</sup>

<sup>1</sup> When ordering with SiteSync, one of these interface options must be chosen and ordered separately. Each option contains the SiteSync License, GUI and Bridge Node

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SiteSync fixtures with occupancy sensor (SWPM) require the mounting height of the fixture for selection of the lens.

Examples: TRV-D-24L-45-AM-3-UNV-SWP-BLT SiteSync only  
 TRV-D-24L-55-AM-T3-UNV-SWPM-20F-BLT SiteSync with Occupancy Sensor

**MOB ORDERING INFORMATION:** When ordering a fixture with a dimming occupancy sensor (MOB), please specify the appropriate information. These settings are specified in the ordering as shown in the example below.

TRV/24L-55/AM/T3/UNV/MOB - 1 to 30 min - 33% or 50% - ?? / BLT

High to Dim Delay    Low Level    Mounting Height (ft.)



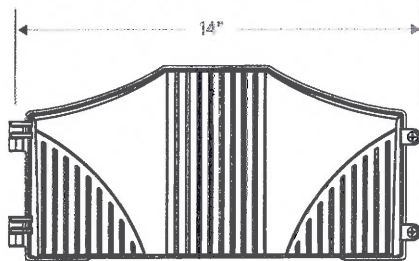
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SURFACE/CEILING/GARAGE

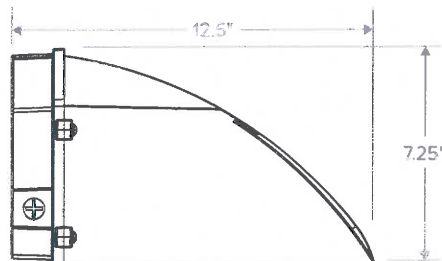
## PERFORMANCE DATA

# LED'S	DRIVE CURRENT	SYSTEM WATTS 120-277V	DISTRIBUTION TYPE	AMBER (1400K)				
				LUMENS	LPW	B	U	G
24	700mA	45W	2	1269	28	0	0	0
			3	1245	28	0	0	1
			4	1224	27	0	0	1
			4W	1198	27	0	0	1
			5R	1255	28	1	0	1
			5W	1340	30	1	0	0
36	700mA	65W	2	1904	29	0	0	0
			3	1868	29	0	0	1
			4	1836	28	0	0	1
			4W	1796	28	0	0	1
			5R	1883	29	1	0	1
			5W	1834	28	1	0	1
48	700mA	85W	2	2539	30	1	0	1
			3	2490	29	1	0	1
			4	2449	29	0	0	1
			4W	2395	28	0	0	1
			5R	2510	30	1	0	1
			5W	2446	29	2	0	1
60	700mA	105W	2	3173	30	1	0	1
			3	3111	28	1	0	2
			4	3061	29	0	0	1
			4W	2994	28	1	0	1
			5R	3138	29	2	0	2
			5W	3060	29	2	0	1

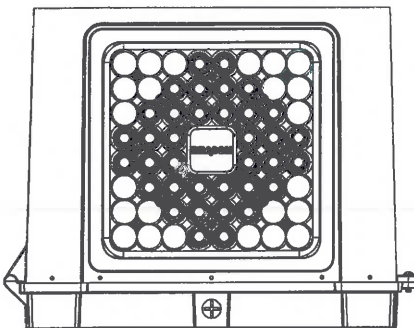
## DIMENSIONS



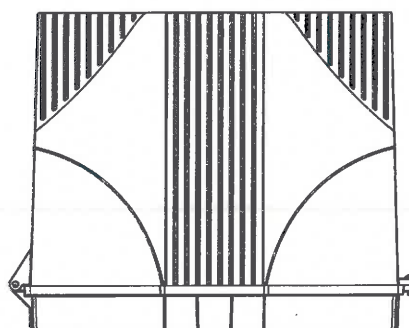
Front View



Side View



Bottom View



Top View







# LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

DATE: 06/16/2021 | LOCATION: FLAGSTAFF, AZ

TYPE: "SFA"

PROJECT: CEDAR MEDICAL COLLABORATIVE

CATALOG #: LTR-4RD-H-SL06L-DM1/LTR-4RD-T-SL27K8WDS

## LITEISTRY™

### FEATURES

- 4" architectural LED downlight delivering 600 – 4000 lm
- Five beam distributions from 0.3 to 1.2 Spacing Criteria
- Quiet reflector appearance with superior 50° optical cutoff
- 2700K – 5000K, 80+ and 90+ CRI options
- Available for New Construction (non-IC), IC and Chicago Plenum applications
- Variety of dimming protocol options including 0–10V, DALI, DMX, Lutron Forward Phase and EcoSystem
- NX Distributed Intelligence™ wired and wireless controls capability available



### CONTROL TECHNOLOGY



### SPECIFICATIONS

#### CONSTRUCTION

- Standard Non-IC. Chicago Plenum and IC options
- Painted black durable steel platform with pre-installed bar hangers
- Pre-wired junction box with snap-on covers for easy access
- Snap-in connection from driver compartment allows easy installation
- Light Engine connections use plenum rated (CMP) cable

#### OPTICS

- Visually pleasing 50° cutoff to source and source image
- The light distribution is free of distracting bright spots or pixelation and the perimeter has a smooth transition
- Optical grade silicone lens integral to light engine
- High purity spun aluminum reflector, self-flanged
- Flush Mount flange option with mud-in ring available
- Large selection of anodized finishes and colors
- Painted cones and flange options available

#### ELECTRICAL

- Chip-on-board LED with 2 SDCM
- Multiple CCTs, 80+ or 90+ CRI
- Long LED life: L90 at >55,000 hours (TM-21)
- Universal voltage 120V–277V driver, 347V optional
- UL Class 2, inherent short circuit and overload protection, RoHS compliant
- Flicker free 0-10V dimming with 1% or <1% performance
- DALI, DMX, and Lutron Forward Phase and EcoSystem options
- Integral and remote emergency controller and battery pack options available
- NX or Lutron Vive control options available
- Refer to additional spec sheets for information on [SpectraSync™ Tunable White or Dim-to-Warm](#) or [PowerHUBB™ PoE enabled](#) solutions

#### INSTALLATION

- Accommodates ceiling thickness up to 2"
- Universal adjustable mounting brackets also accept 0.5" EMT conduit or 1.5" or 0.75" lathing channel (by others) or Prescolite accessory bar hangers (B24 or B6)
- Light Engine/Driver fully serviceable from above or below the ceiling

### RELATED PRODUCTS

[8" LTR-4RD-RFH Retrofit](#)

[8" LTR-4RD SpectraSync](#)

[8" LTR-4RDPH PowerHUBB](#)

[8" 3" LITEISTRY Family](#)

[8" 4" LITEISTRY Family](#)

[8" 6" LITEISTRY Family](#)



#### CERTIFICATIONS

- cCSAus certified to UL 1598
- Suitable for wet locations, covered ceiling. EM/ EMR: Suitable for damp locations.
- EM/EMR: Certified under UL 924 standard for emergency lighting and power equipment
- Approved for 8 (4 in/4 out) No. 12AWG conductors rated for 90°C through wiring
- ENERGY STAR® certified models available (See list and additional information on page 7)
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction. Materials under Trade Agreements effective 6/6/2020. See [Buy American Solutions](#).

#### WARRANTY

- 5 year warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	600-4000
Wattage Range	8-52
Efficacy Range (LPW)	90-99*
Reported Life (Hours)	L90 / >55,000
Input Current (mA)	65-433 (120V)

\*Based on Specular, 35K, 80 CRI



**HUBBELL**  
Lighting



## LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

### ORDERING GUIDE

Example: LTR-4RD-H-SL10L-DM1-LTR-4RD-T-SL35K8MD-S

CATALOG #

#### HOUSING

LTR-4RD-H		Lumen Package		Lumen Output		Driver Options		Control Options		Voltage	Housing Options	
Aperture/Shape/Function												
LTR-4RD-H	4" Round Downlight New Construction Housing	SL	Standard Lumen	06L	600	DM1	0-10V Dimming to 1%	NXE	NX Enabled, Dual SmartPorts <sup>3</sup>	Standard 120-277V 34 347V <sup>6</sup>	CP	Chicago Plenum <sup>8,9</sup>
				10L	1000	DM01	0-10V Dimming to < 1%				IC	IC rated <sup>8,9</sup>
				15L	1500	DMX	DMX with RDM dimming to < 0.1% <sup>2</sup>	NXWE	NX Wireless Enabled <sup>3</sup>		EM	Emergency Battery Pack with integral test switch and indicator light <sup>9</sup>
		ML	Medium Lumen	20L	2000	DALI	DALI Dimming to 1%	NXWD	NX Wireless Enabled, Dual SmartPorts <sup>3</sup>		EMR	Emergency Battery Pack with remote test switch and indicator light <sup>9</sup>
				25L	2500	2DM	Lutron Hi-Lume 2-wire Dimming to 1% (120V Forward Phase only) <sup>2</sup>					
				30L	3000	EDM	Lutron Hi-Lume EcoSystem Dimming to 1% <sup>2</sup>	LV	Lutron Vive Enabled, 0-10V (requires 0-10V driver)			
		HL	High Lumen	35L	3500			LVE	Lutron Vive Enabled, EcoSystem, (requires EDM)		DTS	Device Transfer Switch with Dimming Bypass <sup>9,11</sup>
				40L	4000						GTD	Generator Transfer Device <sup>9</sup>
											F	Fuse

#### TRIM

LTR-4RD-T		Lumen Package		CCT	CRI	Distribution	
Aperture/Shape/Function							
LTR-4RD-T	4" Round Downlight Light Engine/Trim Assembly	SL	Standard Lumen	27K	2700K	8	80+CRI
		ML	Medium Lumen	30K	3000K	9	90+CRI
		HL	High Lumen	35K	3500K	MD	Medium (0.7 SC/44")
				40K	4000K	WD	Wide (0.9 SC/61")
				50K	5000K <sup>1</sup>	XW	Extra Wide (1.2 SC/78")

#### TRIM CONTINUED

Reflector Finish	Reflector Color	Flange Color Options	Lower Trim Options	Reflector Options
Finish not applicable with painted reflectors (WC or BC)	Standard Clear	Standard matches reflector color	EM Pre-punched reflector for EM integral test switch and indicator	AM Antimicrobial Coating <sup>5</sup>
S Specular	CG Champagne Gold	WT White Flange <sup>4</sup>	FM Flush Mount Mud-In Ring <sup>10</sup>	
SS Semi-Specular	BL Black	BT Black Flange <sup>4</sup>	WF Wide Flange	
MFC American Matte™	LW Light Wheat			
VS Softglow®	PW Pewter			
VSS SoftSheen™	WC Painted White Cone and Flange			
	BC Painted Black Cone and Flange			

#### Accessories

- ☐ B24 Set of two (2) 24" bar hangers for T-bar ceilings
- ☐ B6 Set of two bar hangers for ceiling joist up to 24" centers
- ☐ FMR4-R Flush Mount Mud-In Ring Accessory, 4" Round
- ☐ LiteGear LiteGear® Inverter, 125VA-250VA
- ☐ LPS Series LightPower Micro-Inverter, 20VA-55VA
- ☐ MOR4-R-WH Metal Oversized Ring, 4" Round, White (8.25" outside diameter)
- ☐ MOR4-R-BL Metal Oversized Ring, 4" Round, Black (8.25" outside diameter)
- ☐ LTR-SCA4-\_\_ Sloped Ceiling Adapter, 4", White<sup>12</sup>

#### Notes:

- 5000K available in 80+ CRI only.
- 2DM, EDM, DMX available in 10L-35L.
- NX requires DM1 driver option.
- WT not needed for WC, BT not needed for BC.
- AM available with WC or Specular Clear (S or SWT). Consult factory for other colors.
- 347V requires DM1 driver option; not available in 06L or with Controls F, DTS, GTD, EM, EMR.
- CP available up to 20L; not available with DMX, Controls, or EMR options.
- IC available up to 20L; not available with Controls options.
- Housing options (except Fuse) not available in combination.
- Flush Mount Flange (FM) requires FMR accessory (sold separately).
- DTS available with DM1, DM01, DALI, or EDM; not available with LVE.
- Specify slope angle 5°-35° in 5° increments. Not available with EM, WF, or FM options.
- VNR available up to 30L.

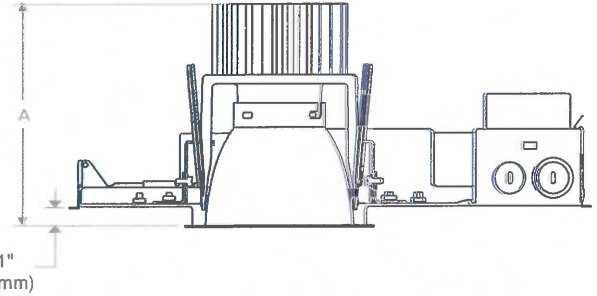
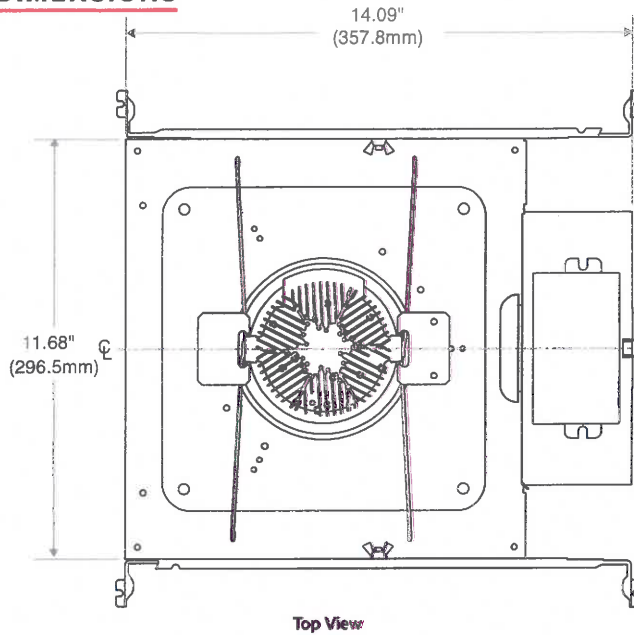


## LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

### DIMENSIONS

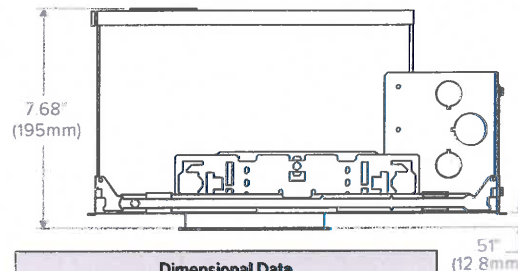
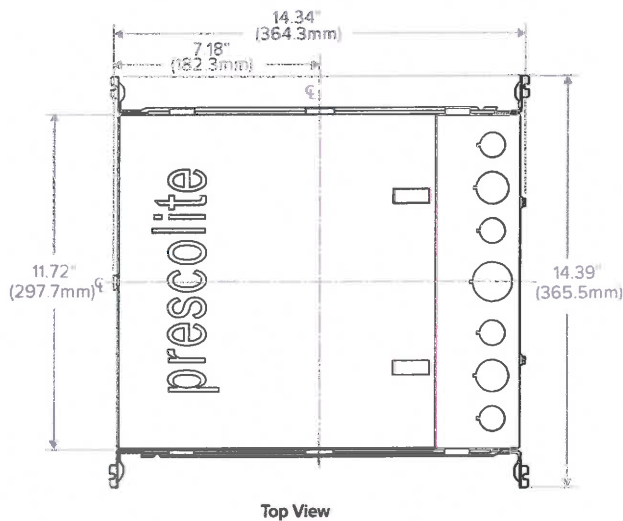


Dimensional Data		
Aperture	4.00" (101.6mm)	
Flange:	Standard	5.25" (133.4mm)
	Flush Mount	4.50" (114.3mm)
Ceiling Cutout:	Standard	5.00" (127.0mm)
	Flush Mount	5.12" (130.0mm)
Ceiling Thickness:	Standard or w/ SCA 5-20° slope	0.50" to 2.00" (12.7mm to 50.8mm)
	With SCA 25-35° slope	0.50" to 1.75" (12.7mm to 44.6mm)

Lumen Package	"A"
06L-15L	4.97" (126.2mm)
20L-30L	6.15" (156.2mm)
35L-40L	7.33" (186.2mm)

SCA Sloped Ceiling Adapter accessory available, see [LTR-SCA specification sheet](#) and [installation instructions](#) for dimensional data and other details.

### LTR-4RD-H New Construction



Dimensional Data		
Aperture	4.00" (101.6mm)	
Flange:	Standard	5.25" (133.4mm)
	Flush Mount	4.50" (114.3mm)
Ceiling Cutout:	Standard	5.00" (127.0mm)
	Flush Mount	5.12" (130.0mm)
Ceiling Thickness:	Standard or w/ SCA 5-20° slope	0.50" to 2.00" (12.7mm to 50.8mm)
	With SCA 25-35° slope	0.50" to 1.75" (12.7mm to 44.6mm)

SCA Sloped Ceiling Adapter accessory available, see [LTR-SCA specification sheet](#) and [installation instructions](#) for dimensional data and other details.

### LTR-4RD-H IC/CP



## LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

### PHOTOMETRY

#### LTR-4RD-H-ML20L-DM1 / LTR-4RD-T-ML35K8VNR-S

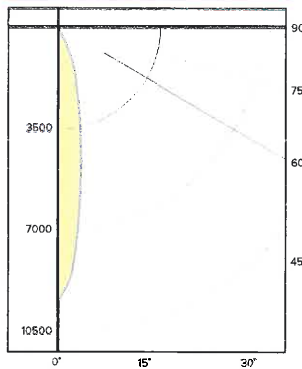
##### LUMINAIRE DATA

Test No.	20.01331
Description	2000 lm, Very Narrow, 3500K, 80 CRI
Delivered Lumens	2032
Watts	22.4W
Efficacy	91
Mounting	Recessed
Spacing Criterion	0.3
Beam Angle (FWHM)	20

##### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2011	99.0
0-60	2032	100.0
0-90	2032	100.0
0-180	2032	100.0

##### POLAR GRAPH



##### CANDELA DISTRIBUTION

Degree	Candela
0	9388
5	7360
15	2780
25	1073
35	198
45	20
55	0
65	0
75	0
85	0
90	0

##### LUMINANCE DATA\*

Vertical Angle	Average
45°	3489
55°	0
65°	0
75°	0
85°	0

\*Candela/Square Meter

#### LTR-4RD-H-ML20L-DM1 / LTR-4RD-T-ML35K8NR-S

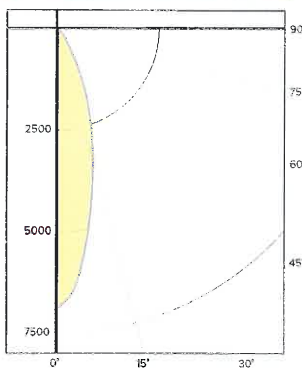
##### LUMINAIRE DATA

Test No.	19.00532
Description	2000 lm, Narrow, 3500K, 80 CRI
Delivered Lumens	2238
Watts	22.5W
Efficacy	99.3
Mounting	Recessed
Spacing Criterion	0.4
Beam Angle (FWHM)	29

##### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2208	98.6
0-60	2237	99.9
0-90	2238	100.0
0-180	2238	100.0

##### POLAR GRAPH



##### CANDELA DISTRIBUTION

Degree	Candela
0	6877
5	6035
15	3284
25	1313
35	260
45	26
55	3
65	1
75	0
85	0
90	0

##### LUMINANCE DATA\*

Vertical Angle	Average
45°	4535
55°	645
65°	292
75°	0
85°	0

\*Candela/Square Meter

#### LTR-4RD-H-ML20L-DM1 / LTR-4RD-T-ML35K8MD-S

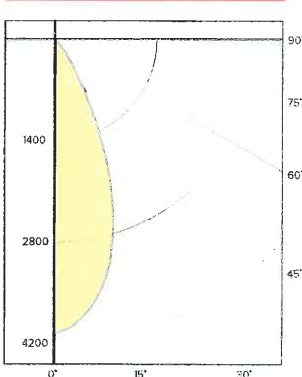
##### LUMINAIRE DATA

Test No.	19.00533
Description	2000 lm, Medium, 3500K, 80 CRI
Delivered Lumens	2152
Watts	22.5W
Efficacy	95.6
Mounting	Recessed
Spacing Criterion	0.7
Beam Angle (FWHM)	44

##### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2113	98.2
0-60	2151	99.9
0-90	2152	100.0
0-180	2152	100.0

##### POLAR GRAPH



##### CANDELA DISTRIBUTION

Degree	Candela
0	4053
5	3893
15	3037
25	1493
35	366
45	34
55	3
65	1
75	0
85	0
90	0

##### LUMINANCE DATA\*

Vertical Angle	Average
45°	5931
55°	645
65°	292
75°	0
85°	0

\*Candela/Square Meter



Project Number  
17.02978



**HUBBELL**  
Lighting

Date  
11/29/2017

<b>VIPER L</b> <b>STRIKE</b> <small>LARGE VIPER LUMINAIRE</small>	Cat.# VPL-96L-170-AM-4F-X-UNV-XXX		
	Job CEDAR MEDICAL Type "SA" Approvals		
<b>VIPER L</b> <b>STRIKE</b> <small>LARGE VIPER LUMINAIRE</small>	Cat.# VPL-96L-170-AM-4F-X-UNV-XXX		
	Job CEDAR MEDICAL Type "SB" Approvals		
<b>VIPER L</b> <b>STRIKE</b> <small>LARGE VIPER LUMINAIRE</small>	Cat.# VPL-96L-170-AM-3F-X-UNV-XXX		
	Job CEDAR MEDICAL Type "SC" Approvals		
<b>VIPER L</b> <b>STRIKE</b> <small>LARGE VIPER LUMINAIRE</small>	Cat.# VPL-96L-170-AM-3F-X-UNV-XXX		
	Job CEDAR MEDICAL Type "SD" Approvals		

**LAB 5**  
**Sphere**

### Test Sample Description

Catalog Number: VP-L-80E2-140-AMB-2-UNV  
Description: Large Viper w/ Amber LEDs and Type II Optics

### Photometry

Test Method: IES LM-31-95  
IES LM-79-08 § 10

Preburn Time: 0:00

Time To Stabilize: 1:45

Total Operating Time: 3:00

Input Voltage (Volts): 120.2

Input Current (Amps): 1.257

Input Wattage (Watts): 150.8

Ambient Temp (°C): 25.3

### Sphere

Test Method: IES LM-16-93  
IES LM-79-08 § 9.1 & 12.1

Preburn Time: 8:00

Time To Stabilize: 2:30

Total Operating Time: 11:00

Input Voltage (Volts): 120.0

Input Current (Amps): 1.261

Input Wattage (Watts): 150.5

Ambient Temp (°C): 25.0



### Hubbell Lighting, Inc.

701 Millennium Boulevard  
Greenville, SC 29607  
www.hubbelllighting.com

Checked (sphere): B. LEE  
Checked (photometry): R. WILLIAMS  
Approved: P. McCARTHY



This report shall not be used to claim product certification, approval, or endorsement by NVLAP, NIST, or any agency of the federal government.



Lamp Cat#: XPE-2

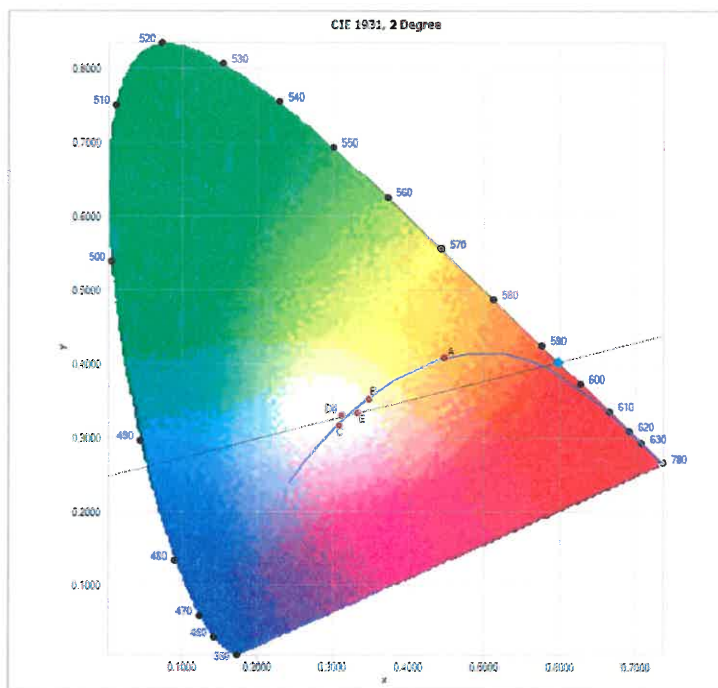
Lamp Desc: 80 - Cree Amber LEDs

Driver Desc: 2 - TRP PLED96W-034-C2800-D3

Efficacy: 32.0 LPW

S/P Ratio: 0.2 LM/LM

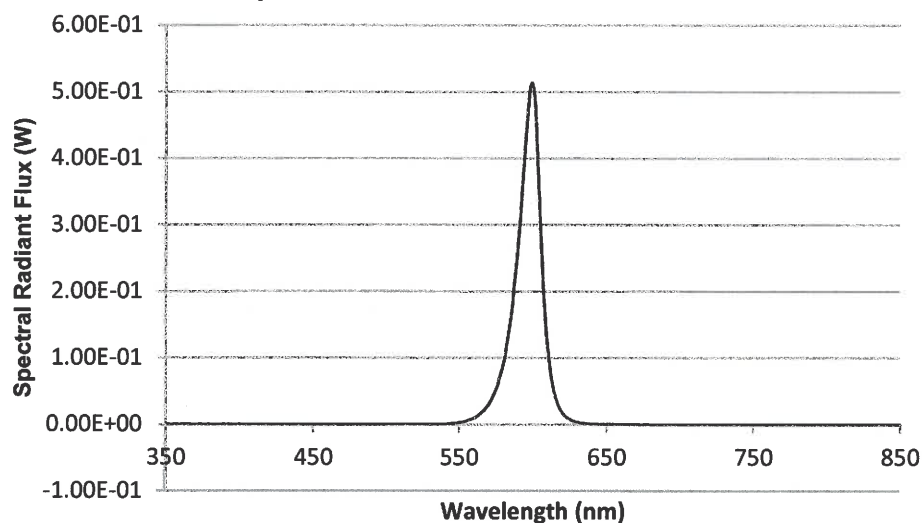
### Chromaticity Diagram



### Spectral Results

Name	Value	Unit
$\Phi$	10.37	watts
$\Phi(v)$	4817	lumens
$\Phi(v')$	1018	lm'
Chrom x	0.597	
Chrom y	0.4021	
Chrom u	0.3601	
Chrom v	0.3638	
Duv	0.0029	
Chrom u'	0.3601	
Chrom v'	0.5457	
CCT	1484	K
Purity	99.9	%
$\lambda$ (dom)	593.9	nm
FWHM	16.4	nm
$\lambda$ (peak)	598.8	nm
$\lambda$ (center)	597.4	nm
$\lambda$ (centroid)	595.4	nm
SDCM	Cool White	
RA	-19	
Corr. Coef.	0.0035601	
Correlation	0.0054	
R1	-29.7	
R2	55.7	
R3	17.0	
R4	-64.9	
R5	-36.9	
R6	48.5	
R7	-8.0	
R8	-133.0	
R9	-375.8	
R10	35.1	
R11	-89.2	
R12	2.8	
R13	-10.5	
R14	46.4	

### Spectral Distribution of Radiant Flux



This report shall not be used to claim product certification, approval, or endorsement by NVLAP, NIST, or any agency of the federal government.

# FLUX CHARACTERISTICS - COLOR ( $T_J = 25^\circ\text{C}$ ) - CONTINUED

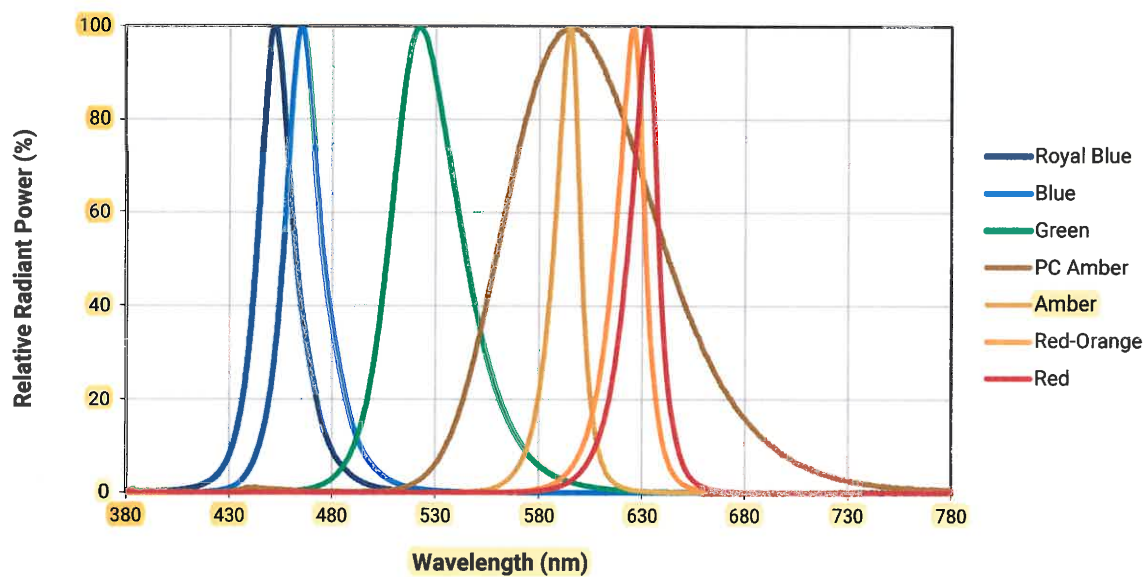
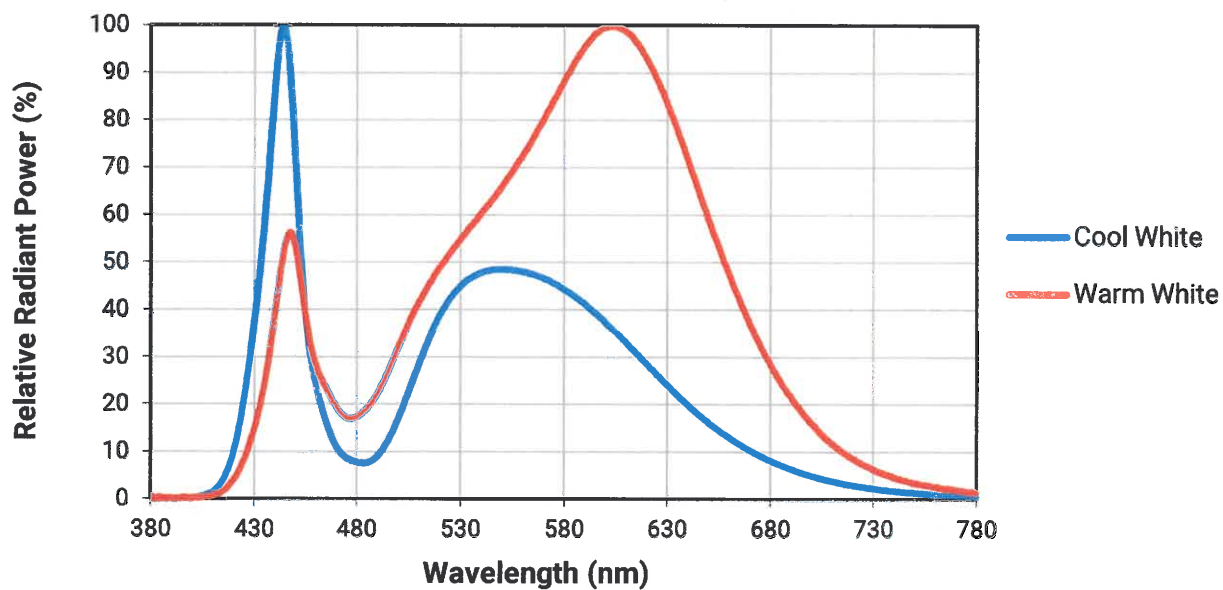
Color	Color Bin	Minimum Luminous Flux (lm) @ 350 mA		Order Codes
		Group	Flux (lm)	
PC Amber	Y2	Q2	87.4	XPEBPA-L1-0000-00A01
		Q3	93.9	XPEBPA-L1-0000-00B01
		Q4	100	XPEBPA-L1-0000-00C01
		Q5	107	XPEBPA-L1-0000-00D01

Color	Minimum Luminous Flux (lm) @ 350 mA		Dominant Wavelength (nm)				Order Codes
			Minimum		Maximum		
	Group	Flux (lm)	Group	DWL (nm)	Group	DWL (nm)	
Amber	N4	62.0	A2	585	A3	595	XPEBAM-L1-0000-00601
			A2	585	A2	590	XPEBAM-L1-0000-00602
			A3	590	A3	595	XPEBAM-L1-0000-00603
	P2	67.2	A2	585	A3	595	XPEBAM-L1-0000-00701
			A2	585	A2	590	XPEBAM-L1-0000-00702
			A3	590	A3	595	XPEBAM-L1-0000-00703
	P3	73.9	A2	585	A3	595	XPEBAM-L1-0000-00801
			A2	585	A2	590	XPEBAM-L1-0000-00802
			A3	590	A3	595	XPEBAM-L1-0000-00803
	P4	80.6	A2	585	A3	595	XPEBAM-L1-0000-00901
			A3	590	A3	595	XPEBAM-L1-0000-00903

## Note:

- Cree maintains a tolerance of  $\pm 7\%$  on flux and power measurements,  $\pm 0.005$  on chromaticity (CCx, CCy) measurements and  $\pm 2$  on CRI measurements. See the Measurements section (page 35).
- Cree XLamp XP-E2 LED order codes specify only a minimum flux bin and not a maximum. Cree may ship reels in flux bins higher than the minimum specified by the order code without advance notice. Shipments will always adhere to the chromaticity bin restrictions specified by the order code.
- Calculated Photosynthetic Photon Flux (PPF) values are for reference only.

## RELATIVE SPECTRAL POWER DISTRIBUTION











# City of Flagstaff

## Community Development Division

211 W. Aspen Ave  
Flagstaff, AZ 86001  
www.flagstaff.az.gov

P: (928) 213-2618

Date Received	Application for Conditional Use		File Number
Property Owner(s) MMV Devco, LLC		Phone	
Mailing Address 15300 North 90th Street, Suite 200		City, State, Zip Scottsdale, Arizona 85260	Email
Applicant(s) Apricus Health		Phone	
Mailing Address Same as project representative.		City, State, Zip	Email
Project Representative Gammage & Burnham, PLC / Lindsay C. Schube		Phone (602) 256-4471	
Mailing Address 40 North Central Avenue, 20th Floor		City, State, Zip Phoenix, Arizona 85004	Email lschube@gblaw.com

Project Name Cedar Medical Collaborative Phase II				
Site Address 1895 North Jasper Drive		Parcel Number(s) 101-46-012B	Subdivision, Tract & Lot Number McMillian Mesa Village Tracts E and F	
Zoning District RD RPO		Regional Plan Land Use Category Existing Suburban, Future Employment	Flood Zone X	
Property Information:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing City of Flagstaff Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are pre-World War II housing? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Subject property is undeveloped land?			
Surrounding Uses (Res, Com, Ind)	North Vacant	South Residential	East Office	West Vacant and Residential
<b>Note:</b> Conditional Use Permits are reviewed by City's Planning and Zoning Commission (P&Z), which meets <b>the second and fourth Wednesday of every month</b> . Applications are due by the close of business no fewer than 30 days prior to the meeting. You must provide a complete application form, along with the required number of plans and information as indicated in the attached checklist. <b>Incomplete submittals will not be scheduled.</b>				
Property Owner Signature See enclosed owner authorization letter.		Date	Applicant Signature <i>LC Schube</i>	Date May 25, 2021

For City Use					
Date Filed		File Number:			
Hearing Date		Pub. / Posting Date(s):		Prop. Owner Notif. Date:	
Fee Receipt Number		Amount		Date	
Action by Planning and Zoning Commission:					
Hearing Date:			Type of Request:		
<input type="checkbox"/> Approved			<input type="checkbox"/> CUP		
<input type="checkbox"/> Denied			<input type="checkbox"/> Extension		
<input type="checkbox"/> Continued					
Staff Assignments	Planning	Engineering	Fire	Public Works/Water	Stormwater

May 25, 2021

City of Flagstaff  
Community Development Department  
Planning and Development Services Division  
211 West Aspen Avenue  
Flagstaff, Arizona 86001

Re: Letter of Authorization

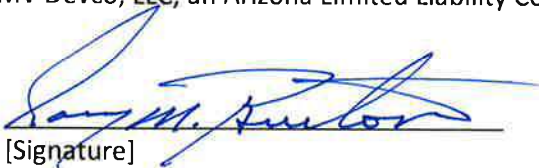
To Whom It May Concern:

MMV Devco, LLC is the owner of the approximate 4.66 acres of property located at 1895 North Jasper Drive, also known as Coconino County Assessor Parcel Number 101-46-012B ("Property"). Please accept this letter and signature below as consent and authorization for Apricus Health, Dalke Design Group, and Gammage & Burnham, PLC to file, process, and represent at meetings/hearings all applications, including but not limited to Conditional Use Permit and/or Site Plan Review applications, as necessary to develop the Property with a new medical office/hospital development.

I hereby certify that I am the Property owner or a legal authorized agent of the Property owner. This authorization remains valid unless revoked in writing.

Sincerely,  
MMV Devco, LLC, an Arizona Limited Liability Company

By

  
[Signature]

  
[Print Name]

Its

  
[Title]



# **Cedar Medical Collaborative Phase 2**

## **Conditional Use Permit**

*August 4, 2021*

### **Applicant & Introduction**

Apricus Health (the “Apricus” or “Applicant”) is submitting this Conditional Use Permit application for the approximate 4.66 net acres of property located at 1895 N. Jasper Drive, also known as Coconino County Assessor Parcel Number 101-46-012B (the “Property”). See **Exhibit A** for an Aerial Map of the Property

Apricus is a health care company created by Arizona doctors with the mission of making healthcare affordable, accessible, and convenient. Apricus works with local independent physicians to improve the experience and health care outcome for its patients by bringing coordinated care between both primary care and specialty care. Apricus has established a large network comprised of Arizona’s leading primary care and specialist providers to provide a full spectrum of care for its patients.

### **Property**

The Property is zoned Research and Development (RD) and located within the City’s Resource Protection Overlay (RPO) zone. The Property is also located within the boundaries of the McMillan Mesa Village Specific Plan, adopted by the Flagstaff City Council in 1992.

As shown by the Aerial Map in **Exhibit A**, the Property consists of approximately 4.66 net acres of unimproved land located atop McMillan Mesa, specifically within the ‘McMillan Mesa Village Tracts E and F’ subdivision. The Property is situated in between Forest Avenue to the north and Jasper Drive to the south/east. Existing and future uses in the immediate area surrounding the Property include:

- Rehabilitation Hospital of Northern Arizona, adjacent southeast across Jasper Drive (zoned RD);
- Guardian Medical Transport, adjacent northeast across Jasper Drive (zoned RD);
- Highgate Senior Living Facility, adjacent south (currently under construction and zoned CC);
- Bungalows on Pinecliff Phase II, approximately 265 feet to the west (zoned MR);
- Basis Flagstaff, approximately 530 feet south across Gemini Drive (zoned RD);
- Aspire Transitional Care rehabilitation center, approximately 800 feet southwest across Gemini Drive and Pinecliff Drive (zoned HR); and
- Colorado Plateau Research laboratory, USGS Southwest Biological Science Center offices, US Geological Water Resources offices and Hypo2 Sport complex, approximately 950 feet north across Forest Avenue (zoned RD and PF).

In a broader context, the surrounding properties in this area consist of a variety of medical uses combined with commercial, office, employment and residential uses. See **Exhibit B** for an aerial photograph depicting the location of existing uses in the surrounding area.

# **Cedar Medical Collaborative Phase 2**

## **Conditional Use Permit**

*August 4, 2021*

### **Project Overview & CUP Request**

The Applicant is proposing to develop the Property with a single-story combined medical office/micro-hospital featuring (the “Project” or “Facility”):

- Approximately 44,702 square feet of indoor space with approximately 27,702 square feet designed for medical offices and 17,000 square feet designed for the Project’s ancillary micro-hospital;
- Approximately 19,067 square feet of civic space;
- 175 vehicle parking spaces;
- 12 bicycle parking spaces; and
- Substantial landscape (both soft and hardscape) improvements to enhance the Property’s pedestrian realm and provide additional pedestrian and bicycle connections to the adjacent Cedar Trail system.

The purpose of the Project is to bring an additional high-quality medical office/micro-hospital to the area where local independent physicians can provide primary and specialty care for patients.

In terms of operations, the Facility will be primarily designed as a medical office. Specifically, approximately 27,702 square feet (or 62%) of the Facility will consist of medical office space for independent physicians to provide a variety of medical services from diagnostic imaging to outpatient surgeries. To provide a full spectrum of care for patients, approximately 17,000 square feet (or 38%) of the Facility will be designed as a micro-hospital with six (6) to eight (8) emergency rooms. The micro-hospital component of the Facility will be licensed through the Arizona Department of Health Services and appropriately equipped and staffed with 24/7 board certified physicians that will provide outpatient care, as well as occasional inpatient care, to treat a wide range of illnesses and injuries.

### **CUP Request**

Under Flagstaff’s Zoning Code, a medical office is a permitted use by right in the RD zoning district. Flagstaff’s Zoning Code defines ‘medical office’ as a facility that provides treatment to patients *solely* on an outpatient basis. Accordingly, because a portion of the Facility will be equipped to provide occasional inpatient care, under the Zoning Code this ancillary component of the Facility is classified as a hospital, rather than a medical office. A hospital is permitted in the RD zoning district, subject to obtaining a Conditional Use Permit (“CUP”). Accordingly, the Applicant has filed this application to request a CUP in order to allow for the incorporation of a micro-hospital as part of the proposed Facility (the “Application”).

A Site Plan Review (PZ-19-00022-02) for a proposed medical office development for the Property was previously reviewed and approved by the City’s IDS. This Application simply requests the ability to conduct the micro-hospital use within a portion of the proposed building.



## Cedar Medical Collaborative Phase 2

### Conditional Use Permit

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A minor Site Plan Amendment to incorporate the proposed micro-hospital has been submitted concurrently with this Application.

#### Proposed Micro-Hospital

Importantly, while this CUP is required to allow for the micro-hospital component of the Facility, from a practical standpoint, the Facility in no way operates at the scale of a traditional hospital, and therefore is referred to in this Application as a “micro-hospital.” As described above, the approximately 17,000 square-foot micro-hospital will make up a small portion of the Facility (approximately 38%). The remainder of the Facility will be ‘medical office,’ again, which is a use permitted by-right in the RD zoning district. The micro-hospital will include approximately 6-8 emergency rooms for initial triage and examinations, plus approximately 8-10 patient rooms for recovery and stabilization. While the micro-hospital will be equipped to provide most levels of care, it is primarily intended to serve as an initial triage facility where patients will be examined, in some cases treated, and then discharged to another hospital for care.

As for the design of the micro-hospital, as shown on the Site Plan included with this Application, the main entry will be located on the east side of the building, oriented toward the adjacent existing and future medical uses within this subdivision. To accommodate infrequent medical transports, the Facility will include an ambulance loading area on the north side of the building, strategically designed to minimize exposure to the street (Jasper Drive).

It is important to note that the Applicant anticipates very little ambulance traffic to be generated by the micro-hospital. Almost all patients visiting the Facility will be driven to the Facility in their own vehicles, not by ambulance. Given the other larger existing hospitals in the surrounding area, ambulances transporting persons with trauma-level injuries are unlikely to transport patients to this Facility for emergency care. Instead, it is expected that virtually all ambulance traffic associated with the Facility will be ambulance *discharges* from the Facility to another hospital. Of these discharges, most will be ordinary medical transports (with no ambulance lights or sirens), rather than trauma-level transports. Emergency transports are anticipated to occur infrequently—likely once or twice a month. No ambulance vehicles will be permanently parked/stored on site.

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**Site Plan.** The Project has been thoughtfully designed within the context of its unique location within McMillan Mesa to create a unique sense of place and identity while also providing safe and easy access for persons visiting the Facility. As shown by the site plan included with this Application, the Project site design is organized with the building mass located against Jasper Drive, which serves as the main identity and access road for the Project. As a result of this configuration, a majority of the Project’s parking has been placed behind the building to the north and screened from Jasper Drive. The building orientation also maximizes views from the Property of the mountains to the north/northwest. Additionally, this building

# Cedar Medical Collaborative Phase 2

## Conditional Use Permit

August 4, 2021

orientation allows for a clear circulation route around the building while preserving a clear pedestrian connection to Jasper Drive paralleling the drive locations.

**Access.** Access to the Property will be from Jasper Drive. Specifically, two new ingress/egress driveways will be constructed along Jasper Drive. Both entries will be connected by an internal driveway that circulates around the building to provide a convenient and continuous circulation route to/from the Property. Parking spaces have been distributed around the building with most of the parking located to the northwest of the building, screened from Jasper Drive. Clearly defined pedestrian walkways, including concrete sidewalks, are strategically placed around the building and through the parking fields to provide convenient pedestrian circulation to the building and the Project's civic spaces while minimizing vehicular/pedestrian conflicts. Two patient pick-up/drop-off zones are provided: one on the west side of the building for the medical offices and another on the east side of the building for the micro-hospital.

**Civic Space.** The site design includes three distinct civic spaces. The first civic space is located at the northwest corner of the Property so as to incorporate and provide a connection to the existing Cedar Trail that runs along Forest Avenue to the north of the Property. This civic space will include benches and tables, taking advantage of the surrounding mountain views. The second civic space is located to the east of the building and will feature picnic tables and improvements for persons to gather. The third civic space is located alongside the pedestrian access to the south of the building. This civic space will also feature picnic tables for passive gathering. All three civic spaces feature scored concrete, landscaping and site furnishings to provide an inviting and comfortable experience for the public and visitors of the Facility.

**Architecture.** The architecture of the Project has been conceptualized to have a design theme that is both indicative of the area and fitting for the proposed medical use.

For materials and colors, the building primarily features exposed concrete masonry block with varying textures, colors and patterns combined with limited stucco elements to create an interesting and attractive building façade. The building elevations also include three types of window elements alongside multiple plane changes that combine to provide for a dynamic and interesting building. All of the building's colors are earth tones, indicative of the surrounding buildings in northern Flagstaff.

The roof forms of the building are a combination of contemporary parapet conditions and features that have block cornice elements or sloped roof elements. The sloped roof elements are indicative of a rural vernacular that is common in northern Flagstaff and are used strategically for entrance/discharge zones of the building.

**Phasing.** The Project will be developed in one phase alongside all necessary site improvements.

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# Cedar Medical Collaborative Phase 2

## Conditional Use Permit

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### Finding for a Conditional Use Permit

Pursuant to Section 10-20.40.050.E of the Flagstaff Zoning Code, a Conditional Use Permit may be approved upon making the following findings:

***Finding No. 1: The CUP is consistent with the goals and objectives of the Zoning Code and the purpose of the RD zoning district.***

The Zoning Code states, “The Research and Development (RD) zone applies to areas of the City appropriate for the development of a mix of professional and administrative facilities, research and testing institutions, light manufacturing uses, green technology facilities, and offices. The uses are grouped in a campus or park-like setting in keeping with the natural scenic beauty of the City.” The Property is located within Planning Area F of the McMillan Mesa Specific Plan, which provides for similar goals and objectives for this Property as the RD zoning district. According to the McMillan Mesa Specific Plan, Planning Area F is intended to include “high technology research and development, corporate office and light manufacturing businesses located in a landscaped campus or park-like setting.”

This CUP is consistent with the goals and objectives of the RD zoning district and the McMillan Mesa Specific Plan. Approval of the CUP will accommodate the Project, which will provide another medical use to the area within a well landscaped and park-like setting. The Facility’s primary use (a medical office) is already permitted in the RD zoning district by right. The micro-hospital component of the Facility makes up only a small portion of the Facility and will not have a significant impact on overall operations. Furthermore, a hospital use is consistent with development patterns in the area and is compatible with surrounding properties’ zoning and uses. A variety of medical uses have already strategically located within McMillan Mesa, including the Rehabilitation Hospital of Northern Arizona adjacent southeast and Guardian Medical Transport adjacent northeast. These existing medical uses have proven to be compatible with the other nearby uses, including Aspire Transitional Care rehabilitation center, Basis Flagstaff school and the multi-family residences (Bungalows on Pinecliff Phase II). Approval of this CUP will therefore allow for a use that is compatible with the surrounding uses and development patterns.

Ultimately, the Project will provide an additional high-quality medical use to the area where local independent physicians can provide primary and specialty care for their patients. Approval of the CUP will accommodate a Facility that meets the objectives and goals of both the RD zoning district and the McMillan Mesa Specific Plan, as well as one that is consistent with surrounding land uses.

***Finding No. 2: Granting the CUP will not be detrimental to the public health, safety or welfare.***

The Project will be permitted and constructed in accordance with all applicable City Code and Ordinances. The existing surrounding medical uses in this area have proven not to be detrimental to the public health, safety or welfare. The Project’s ancillary micro-hospital is

## Cedar Medical Collaborative Phase 2

### Conditional Use Permit

August 4, 2021

consistent in intensity and nature with—and arguably less intense than many of—the other surrounding medical uses. Accordingly, the proposed CUP will not be detrimental to the public health, safety or welfare.

In addition, the micro-hospital component of the Facility has been strategically designed to, and includes operational features that will, minimize any potential negative impacts on surrounding properties. First, the Facility’s ambulance loading area is located on the north side of the building toward the existing and future medical uses. Second, from an operational standpoint, the Facility will not operate at the intensity and scale of a typical hospital, resulting in a minimal amount of ambulance traffic. Any ambulance traffic generated by the Facility—which will be primarily ordinary medical transports (no sirens or lights)—will be incorporated in to the design and function of the Project so as to occur with little, if any, impact on surrounding properties.

***Finding No. 3:*** *The CUP and the proposed uses are compatible with the types of uses permitted in the surrounding area. Additionally, the CUP satisfies Section 10-20.40.050E.3 of the Zoning Code.*

- a. Access, traffic, and pedestrian, bicycle and vehicular circulation. The micro-hospital is an ancillary component of the overall Facility and will include only approximately 6 to 8 emergency rooms. As such, approval of the CUP will result in minimal additional traffic and circulation impacts. Any additional traffic generated by the micro-hospital will be accommodated by the City’s existing transportation infrastructure, including Jasper Drive, Gemini Road and Forest Avenue.

In addition, the Project has been appropriately designed to mitigate traffic impacts and to facilitate pedestrian and vehicular circulation. Access to the Facility will be provided via two new ingress/egress driveways that will be constructed along Jasper Drive and separated by approximately 265 feet for appropriate spacing. Both entries will be connected by an internal driveway that circulates around the building to provide a convenient and continuous circulation route to/from the Facility. The Project’s access and drive locations also have well defined ingress and egress locations and a clear and safe on-site vehicular circulation pattern.

The Project will also enhance connections to the existing pedestrian and bicycle network within McMillan Mesa. Specifically, along the Property’s Forest Avenue frontage to the north/northwest is the existing Cedar Trail system. The Project has been designed in recognition of its unique location next to an existing public trail. Specifically, as shown on the site plan, the Project includes new concrete sidewalks that will provide a direct pedestrian linkage and bicycle connectivity between the Property, Cedar Trail and Jasper Drive. In addition, a significant portion of the Project’s civic space has been intentionally located to the northwest of the Property next to Forest Avenue to further link and establish pedestrian and bicycle connections to Cedar Trail.

## Cedar Medical Collaborative Phase 2

### Conditional Use Permit

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- b. Adequacy of site and open space provisions, including resource protection standards. The proposed site plan complies with all applicable RD development standards, including building and landscape setbacks, building height, floor area ratio and parking requirements. As for open space, the Project provides approximately 9.18% public civic space, which exceeds the 5% that is required by the Zoning Code. As described above, the site design includes three distinct civic spaces, with one civic space area provided at the northwest corner of the Property so as to incorporate and provide a connection to the adjacent Cedar Trail, a second civic space area located east of the building and a third civic space area located alongside the pedestrian access to the south of the building. All three civic space areas will feature scored concrete, landscaping and site furnishing, including picnic tables and benches, to create an inviting experience for the public and visitors of the Facility.

The Property is located within the City's Resource Protection Overlay (RPO). As part of the site plan review for the Project, the Applicant had prepared and submitted a resource protection survey that was conducted in accordance with the requirements of the Zoning Code. The survey did not identify any natural resources as defined in the Zoning Code in need of resource protection and/or mitigation measures as part of the development of the Property. In addition, resource protection standards are accounted for in Planning Area F of the McMillan Mesa Specific Plan.

- c. Noise, light, visual and other pollutants. The addition of the micro-hospital will not have a detrimental impact in terms of noise, light or other pollutants. As described above, any noise, light or other pollutants generated by the proposed Facility will be consistent with the other uses in the surrounding area, which includes a variety of existing medical uses. In addition, in terms lights and sirens from ambulance traffic, it is anticipated that virtually all ambulance traffic associated with the Facility will be ambulance *discharges* from the Facility to another hospital. Of these discharges, most will be ordinary medical transports, rather than trauma-level transports. As such, whether the medical transports occur during the day or night, there will be no ambulance lights or sirens associated with these ambulance discharges. Emergency transports are anticipated to occur infrequently—likely once or twice a month. As such, the Facility is anticipated to result in significantly less ambulance lights and sirens than existing uses in the surrounding area, including Guardian Medical Transport located adjacent northeast across Jasper Drive.
- d. Proposed style and siting of structure(s), and relationship to the surrounding neighborhood. The proposed building has been designed in accordance with the Site Planning Design Standards in the Zoning Code.

## Cedar Medical Collaborative Phase 2

### Conditional Use Permit

*August 4, 2021*

The Project has been designed in the context of the existing surrounding uses. In terms of site design, the Project's site design is organized with the building mass located against Jasper Drive, towards the existing medical uses along Jasper Drive, which provides multiple distinct advantages. First, this site design allows for a majority of the Project's parking to be placed behind the building to the north and screened from Jasper Drive. Second, it allows for a clear vehicular circulation route around the building while also preserving clear pedestrian sidewalk connections to Jasper Drive that parallel the drive locations. Third, this building orientation maximizes views from the Property of the mountains to the north/northwest.

As for architecture, the Project has been designed to blend with the mix of older and newer buildings within McMillan Mesa. The Project's building primarily includes earth tone colors that match many of the existing buildings within McMillan Mesa. The building has design elements and materials that are reflective of a medical use, which are consistent with the existing medical uses along Jasper Drive. Additionally, the building includes features such as sloped roof elements that are indicative of architecture common in northern Flagstaff.

- e. Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements. The Project will be landscaped and screened in accordance with all applicable City Codes and ordinances. As shown on the landscape plan included with this Application, the Project features significant amounts of landscaping, with a variety of trees, shrubs and groundcover in order to create a park-like setting that reflects the natural scenic beauty of Flagstaff. The Project's landscaping throughout the parking areas, street trees along Jasper Drive as well as other peripheral and buffer landscaping will ensure compatibility between surrounding properties.
- f. Impact on public utilities. The addition of the ancillary micro-hospital will have no impact on utilities.
- g. Signage and outdoor lighting. All lighting will be designed to comply with all applicable City Codes and Ordinances to prevent light "spill" onto adjoining properties and the surrounding area.

Outdoor lighting and permanent signage will be processed under separate permit and be designed to comply with all applicable City Codes and Ordinances.

- h. Dedication and development of streets adjoining the property. In order to provide access to the Property, Apricus is proposing to improve Jasper Drive with two new ingress/egress driveways. No other dedications or improvements are planned.



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## Conditional Use Permit

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- i. Impacts on historical, prehistoric or natural resources. The addition of the ancillary micro-hospital has no impacts on historical, prehistoric, or natural resources.

As noted above, the Property is located within the City's Resource Protection Overlay (RPO). As part of the site plan review for the Project, the Applicant had prepared and submitted a resource protection survey that was conducted in accordance with the requirements of the Zoning Code. The survey did not identify any natural resources as defined in the Zoning Code in need of resource protection and/or mitigation measures as part of the development of the Property. In addition, resource protection standards are accounted for in Planning Area F of the McMillan Mesa Specific Plan.

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### **Compatibility**

The Zoning Code requires new development that is subject to approval of a conditional use permit to consider the design elements within Section 10-30.60.050 of the Zoning Code.

**Compatibility.** The Zoning Code promotes development that reinforces the character of the neighborhoods, districts, and corridors of the City. Compatibility is important to ensure that the characteristics of different uses, activities, and designs allow them to be located near or adjacent to each other in a harmonious manner. The Project recognizes the importance of compatibility and has been designed to take into account several factors that are unique to the Property and surrounding area. Pursuant to Section 10-30.60.050, the following basic design elements should be considered when assessing compatibility of a new development, which is subject to approval of a conditional use permit:

***Patterns of Development.*** *Patterns of development include characteristics such as streetscape, site relationships, signage and landscape features.*

The Project is consistent with surrounding uses and improvements. Along Jasper Drive are two existing medical buildings, including Rehabilitation Hospital of Northern Arizona and Guardian Medical Transport. These buildings were also developed under the current Zoning Code. Approval of this CUP will result in a new development that will be consistent with and reinforce the recent pattern of development along Jasper Drive consisting of new buildings that comply with the Zoning Code's current Site Planning Design Standards, including building forward design with parking areas located to the side and rear of buildings, streetscape, public civic space and landscaping.

***Scale.*** *Scale refers to similar or harmonious proportions, especially overall height and width, but also includes the visual intensity of the development, building massing, and the shapes and sizes of the various design elements, such as windows and doors.*

Existing uses in the surrounding area consist of a mix of one and two-story buildings with varying proportions and building mass, including:

## Cedar Medical Collaborative Phase 2

### Conditional Use Permit

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- the one-story Rehabilitation Hospital of Northern Arizona along Jasper Drive, adjacent south across Jasper Drive;
- the two-story Guardian Medical Transport along Jasper Drive, adjacent northeast;
- the two-story Basis Flagstaff school along Gemini Road to the south;
- the Bungalows on Pinecliff Phase II, approximately 265 feet to the west; and
- the one-story Aspire Transitional Care rehabilitation center along Pine Cliff Drive to the southwest.

The Project's one story and approximately 44,702 square-foot building will be compatible with the scale of the existing surrounding buildings. The building reaches a maximum height of 26'-7", which is significantly smaller than the forty (40) feet in height allowed for properties within Planning Area F of the McMillan Mesa Specific Plan. The Project's building has also been designed to respect the scale, height, proportion and mass of the surrounding uses. In particular, as shown on the building elevations included with this Application, the building includes architectural elements, such as varying plane changes, colors and articulation, to break down the mass of the building and establish a human scale along Jasper Drive and on-site.

Approval of this CUP will therefore accommodate a building that will be compatible with the scale of existing surrounding buildings.

***Continuity.*** *Continuity encompasses patterns of development and scale, but also characteristics such as site development, building forms, textures, materials, details and colors.*

In addition to the new medical building, Project improvements include paving and parking, convenient and safe pedestrian and bicycle access on-site and to/from Jasper Drive, public civic space with pedestrian pathways, peripheral and buffer landscaping, hardscape and lighting. Improvements also include new concrete sidewalks connecting to Cedar Trail to promote pedestrian and bicycle connectivity. These site improvement will create a well-landscaped and park-like setting for the Property and the future Cedar Medical Collaborative campus as a whole. The site improvements are also compatible with properties and uses in the surrounding area.

Building forms, including roof forms, commonly have some variation. That said, while the Project includes design elements appropriate for a medical use, the Project also blends the new with the old by including sloped roof elements, which are indicative of architecture commonly seen in many buildings in Flagstaff. Colors also provide one of the best opportunities to enhance cohesiveness. As such, the Project's building features earth tone colors, which are harmonious with many of the existing buildings in McMillan Mesa.

## **Cedar Medical Collaborative Phase 2 Conditional Use Permit**

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*August 4, 2021*

The proposed building has been designed to include building forms that comply with the Site Planning Design Standards and Architectural Design Standards within the Zoning Code, including the use of building materials (primary and secondary), placement of building materials, building mass and scale, textures, horizontal and vertical shadow lines, and architectural elements. Additionally, the Site Plan includes building forward design with parking areas located to the side and rear of the buildings along with streetscape improvements, public civic space and landscaping features in compliance with the Zoning Code's Site Planning Design Standards.

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Thank you for your time and attention to this Application. We look forward to discussing the Project and Application with you in the near future and respectfully request your approval.

# **Cedar Medical Collaborative Phase 2 Citizen Participation Plan**

*June 8, 2021*

## **Introduction**

Apricus Health (“Apricus” or the “Applicant”) is submitting a Conditional Use Permit application for the approximate 4.77 net acres of property located at 1895 N. Jasper Drive, also known as Coconino County Assessor Parcel Number 101-46-012B (the “Property”).

Apricus is a health care company created by Arizona doctors with the mission of making healthcare affordable, accessible, and convenient. Apricus works with local independent physicians to improve the experience and health care outcome for its patients by bringing coordinated care between both primary care and specialty care. Apricus has established a large network comprised of Arizona’s leading primary care and specialist providers to provide a full spectrum of care for its patients.

This Citizen Participation Plan is being submitted to the City of Flagstaff in accordance with Section 10-20.30.060.C of the Zoning Code to document how the Applicant intends on conducting the neighborhood meeting.

## **Neighborhood Meeting**

In accordance with Section 10-20.30.060.A of the Zoning Code, Apricus will hold a minimum one (1) Neighborhood Meeting on June 28, 2021 at 6:00 p.m. The Neighborhood Meeting will include an introduction and presentation, and conclude with questions/answers. The Neighborhood Meeting will be held via the Zoom virtual meeting platform. Details of the noticing and posting are as follows:

**Mailing Notification.** In accordance with Section 10-20-30.060.D.3-.5 of the Zoning Code, a Notice of Neighborhood Meeting letter will be mailed via first class mail fifteen (15) or more calendar days prior to the Neighborhood Meeting to: (1) each real property owner within 1,000-feet of the Property, as shown on the last assessment of the property; (2) the owner of the Property; (3) property owners’ associations and homeowners’ associations within 1,000-feet of the Property; and (4) individuals, groups, etc. on the City’s “Registry of Persons and Groups,” as provided by the City (collectively, “Affected Parties”). The Notice of Neighborhood Meeting letter will set forth the purpose and substance of the proposed application, the time, date, and virtual meeting access instructions of the Neighborhood Meeting, and contact information for Mr. Patrick St. Clair, City Planning Development Manager assigned to the application, and Gammage & Burnham PLC, the Applicant’s representative.

See Tab A—Notification Letter and Tab B—Affected Parties Mailing List and Map.

# **Cedar Medical Collaborative Phase 2**

## **Citizen Participation Plan**

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*June 8, 2021*

**Site Posting.** In accordance with Section 10-20.30.060.D.6 of the Zoning Code, the Applicant will install one sign along the Jasper Drive frontage setting forth the purpose, time, date, and virtual meeting access instructions for the Neighborhood Meeting, with an attached information tube containing copies of the meeting notice. The site posting will be installed a minimum of ten (10) days prior to the neighborhood meeting.

See Tab C—Site Posting.

### **Opportunities for Input**

Interested parties may call or email Lindsay C. Schube of Gammage & Burnham PLC at (602) 256-4471 or lschube@gblaw.com for more information.

### **Record of Proceedings**

Upon completion of the Citizen Review Process, a Citizen Participation Report will be submitted to the City of Flagstaff in accordance with Section 10-20.30.060.F of the Zoning Code, documenting sign-in sheets/registration from the Neighborhood Meeting(s); results/summary of the Neighborhood Meeting(s); correspondence, telephone calls, meetings, etc. with Affected Parties or other interested citizens; and affidavits/certification of Neighborhood Meeting notification and site posting.

**TAB A**

GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW

40 NORTH CENTRAL AVENUE

20TH FLOOR

PHOENIX, ARIZONA 85004

June   , 2021

Lindsay C. Schube  
lschube@gblaw.com

(602) 256-4471

Dear Property Owner, Neighborhood Association, or Interested Citizen,

We represent Apricus Health (“Apricus”). Apricus is a health care company created by Arizona doctors with the mission of making healthcare affordable, accessible, and convenient. Apricus works with local independent physicians to improve the experience and health care outcome for its patients by bringing coordinated care between both primary care and specialty care. Apricus is proposing to develop the approximate 4.77 acres located at 1895 North Jasper Drive (“Property”) with a single-story combined medical office/micro-hospital (“Facility”). An Aerial Map of the Property is enclosed with this letter for your reference.

In order to facilitate development of the Property, we filed Conditional Use Permit application no. PZ-19-00022-05 (“Application”)) with the City of Flagstaff to allow for the “Hospital” (micro-hospital) use on the Property. Because the Facility will be equipped to provide occasional inpatient (overnight) care, under the City’s Zoning Code this ancillary component of the Facility is classified as a “Hospital,” rather than “Medical Office,” thus requiring a Conditional Use Permit. From a practical standpoint, the Facility will not function like a traditional hospital. Rather, this micro-hospital will include approximately 6-8 emergency rooms for initial triage and examinations, plus approximately 8-10 patient rooms for recovery and stabilization. A medical office is permitted by right under the Property’s existing RD (Research and Development) zoning. This Application is simply to allow the Facility’s ancillary “Hospital” (micro-hospital) use. We have enclosed with this letter a Site Plan and Building Elevations so that you may see the proposed design of the Facility.

We have scheduled a **virtual neighborhood meeting** to discuss the Application and proposed Facility. The meeting details are as follows:

<b>Meeting:</b>	1895 North Jasper Drive Virtual Neighborhood Meeting
<b>Location:</b>	Meeting to be held <u>virtually in Zoom</u> .
<b>Registration Link:</b>	<b><u>www.gblaw.com/1895jasper</u></b>
<b>Date and Time:</b>	<b>Monday, June 28, 2021 at 6:00 PM</b>

**Instructions for Access to Virtual Neighborhood Meeting**. The neighborhood meeting will be held on the Zoom video conferencing platform, which can be accessed through your internet browser or through the Zoom app on your mobile device via the above link. For registration assistance, please contact **Ellie Brundige, Land Use Planner** at (602) 256-4409 or **ebrundige@gblaw.com**.



Please note, to participate in the meeting, you will be required to first access the above **Registration Link**. The meeting registration information will be part of the public record and shared with the City. We will also use this information to keep you informed of future meetings and hearings via email, as well as traditional mail. At the beginning of the neighborhood meeting, we will provide a brief overview of the meeting procedures and instructions for asking questions once the formal presentation has concluded.

Please be advised that a future hearing before the Planning & Zoning Commission will be scheduled to review this case. A specific hearing date has not yet been set. An additional notification letter will be provided identifying the date, time, and location of this hearing.

The City Planner assigned to this case is Patrick St. Clair. Mr. St. Clair can be reached at (928) 213-2612 or pstclair@flagstaffaz.gov. He can answer your questions regarding the City's review and hearing process.

Should you have any questions, please do not hesitate to contact me at (602) 256-4471 or lschube@gblaw.com. Thank you.

Sincerely,

GAMMAGE & BURNHAM, P.L.C.

A handwritten signature in black ink, appearing to read "LCSchube".

By

Lindsay C. Schube

LCS/nas  
Enclosure



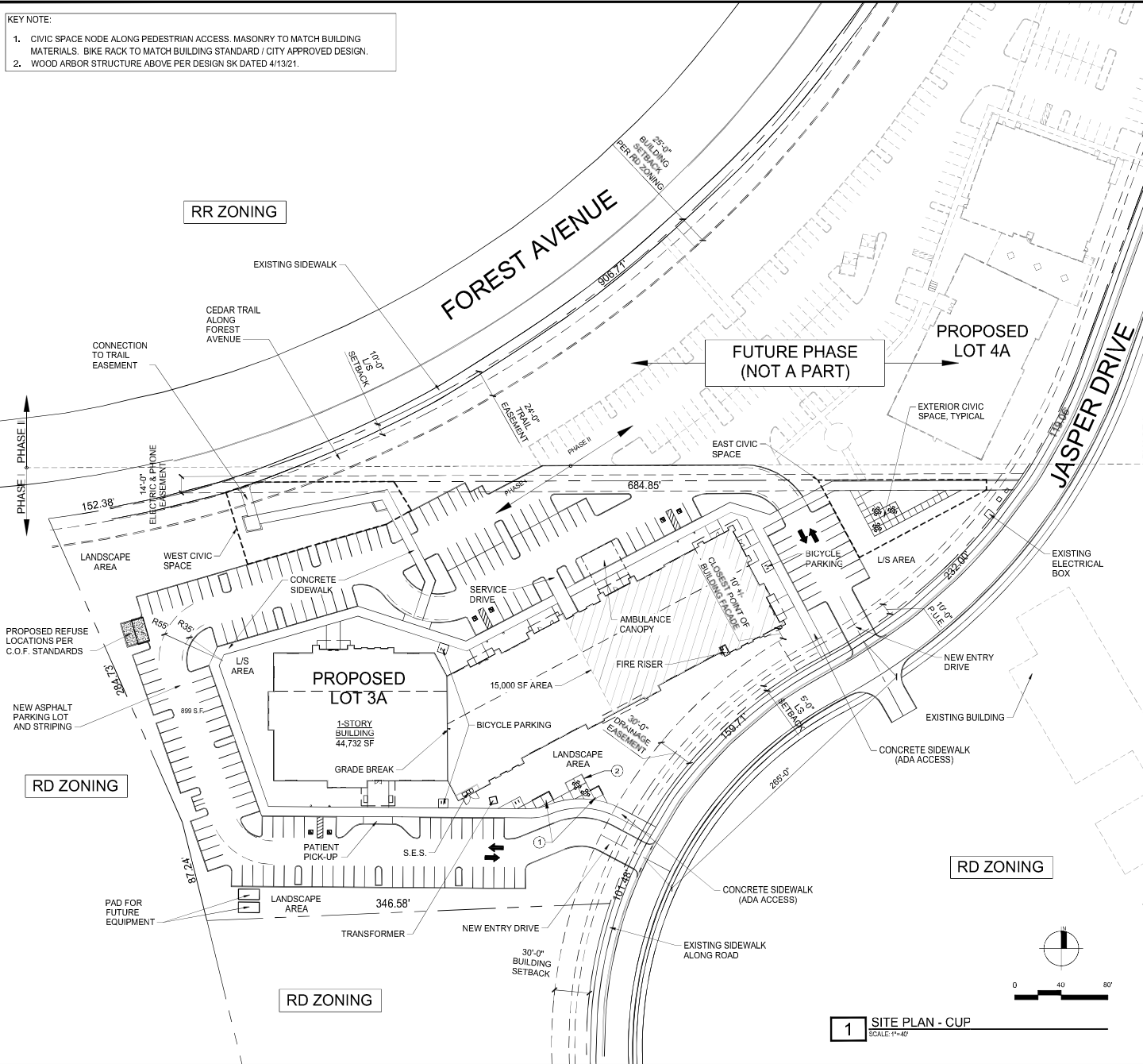
Aerial Map



Subject Property



- KEY NOTE:
1. CIVIC SPACE NODE ALONG PEDESTRIAN ACCESS, MASONRY TO MATCH BUILDING MATERIALS, BIKE RACK TO MATCH BUILDING STANDARD / CITY APPROVED DESIGN.
  2. WOOD ARBOR STRUCTURE ABOVE PER DESIGN SK DATED 4/13/21.



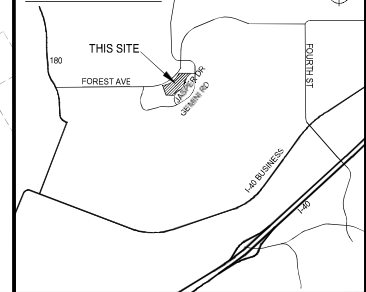
## PROJECT INFORMATION

PROJECT NAME: CEDAR MEDICAL COLLABORATIVE PHASE 2  
PROJECT ADDRESS: 1895 N JASPER DRIVE FLAGSTAFF, AZ  
PROPERTY OWNER: MMV DEVCO LLC  
15300 N 90TH ST #200  
SCOTTSDALE, AZ 85260  
DEVELOPER: CYPRESS WEST PARTNERS, LLC  
JASON ANZALONE  
30021 TOMAS ROAD, SUITE 130  
RANCHO SANTA MARGARITA, CA 92688  
ARCHITECT: DALKE DESIGN GROUP, LLC  
2039 E. RICE DRIVE  
TEMPE, AZ 85283  
480-589-3793  
VINCE@DALKEDESIGNGROUP.COM

## PROJECT DATA

PARCEL NUMBERS: 101-46-012B  
CURRENT ZONING: RD (RESEARCH AND DEVELOPMENT)  
NET SITE AREA: 4.77 ACRES (207,745 S.F.)  
BUILDING AREA: 44,702 S.F.  
LOT COVERAGE: 21.5%  
F.A.R.: .215  
STORIES: ONE  
OCCUPANCY: B  
CONSTRUCTION TYPE: TYPE IIB (NON-COMBUSTIBLE)  
REQUIRED PARKING:  
USE: AREA: RATIO: SPACES:  
MEDICAL OFFICE: 27,732 S.F. 4/1000 111 SPACES  
MICRO HOSPITAL: 17,000 S.F. 2 SPACES PER 3 BEDS 6 SPACES  
9 BEDS / 3 x 2 = 6  
1 PER 3 EMPLOYEE 50 SPACES  
150 / 3 = 50  
TOTAL REQUIRED: 167 SPACES  
PROVIDED PARKING:  
TOTAL REGULAR SPACES: 163 SPACES  
TOTAL ACCESSIBLE SPACES: 6 SPACES  
MOTORCYCLE SPACES: 6 SPACES  
TOTAL PROVIDED: 175 SPACES  
PARKING RATIO: 3.9 CARS/1000 S.F.  
PER PARKING ANALYSIS  
BIKE PARKING REQ.: 175 X .05 = 9 SPACES (12 SPACES PROVIDED)  
CIVIC SPACE QUANTITIES  
TOTAL SITE AREA = 207,745 S.F.  
CIVIC SPACE REQUIRED = 10,387 S.F. (5.0% OF SITE)  
WEST CIVIC SPACE PROVIDED = 7,483 S.F. (3.60% OF SITE)  
EAST CIVIC SPACE PROVIDED = 5,305 S.F. (2.55% OF SITE)  
TOTAL CIVIC SPACE PROVIDED = 12,788 S.F. (6.15% OF SITE)

## VICINITY MAP



2039 E RICE DR., TEMPE  
AZ, 85283  
480-589-3793  
VINCE@DALKEDESIGNGROUP.COM



CEDAR MEDICAL  
COLLABORATIVE PHASE 2  
1895 N. JASPER DRIVE, FLAGSTAFF, AZ

NUMBER	REVISION	DATE



SHEET TITLE: SITE PLAN - CUP  
ISSUE DATE: 5/20/21  
DRAWN: KAW  
CHECKED BY: VDD  
PROJECT NUMBER:  
DRAWING NO.

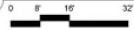
A0.1

REV

# ELEVATION KEYED NOTES:

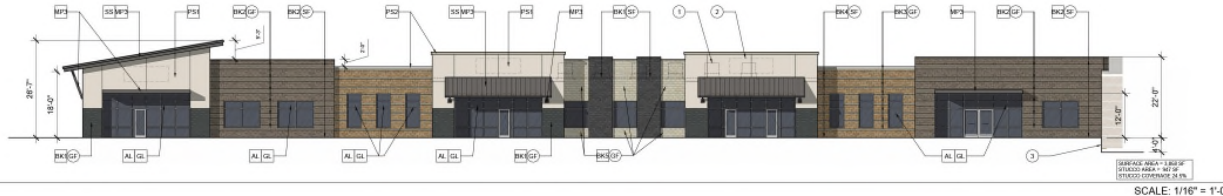
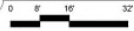
1. HVAC UNIT BEYOND.
2. FUTURE SIGNAGE UNDER SEPARATE PERMIT.
3. EXPOSED STEM WALL NOT TO EXCEED 5'-0".

## 1 NORTHEAST ELEVATION



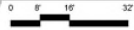
SCALE: 1/16" = 1'-0"

## 2 NORTHWEST ELEVATION



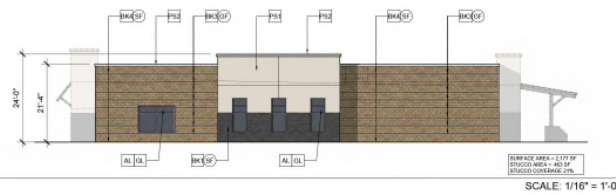
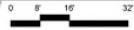
SCALE: 1/16" = 1'-0"

## 3 NORTH ELEVATION



SCALE: 1/16" = 1'-0"

## 4 WEST ELEVATION



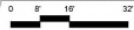
SCALE: 1/16" = 1'-0"

## 5 SOUTH ELEVATION



SCALE: 1/16" = 1'-0"

## 6 SOUTHEAST ELEVATION



SCALE: 1/16" = 1'-0"

# MATERIALS

- BK1 8"X16"X8" INTEGRAL BLOCK BLOCKLITE "EBONY #15"
- BK2 8"X16"X8" INTEGRAL BLOCK BLOCKLITE "BARK #12"
- BK3 8"X16"X8" INTEGRAL BLOCK BLOCKLITE "DOESKIN #4"
- BK4 4"X16"X8" INTEGRAL BLOCK BLOCKLITE "PEBBLE BEACH #319"
- BK5 8"X16"X8" INTEGRAL BLOCK BLOCKLITE "PEBBLE BEACH #319"
- SF SPLIT FACE FINISH
- GF GROUND FACE (HONED) FINISH
- MP METAL - PAINTED "SEE PAINT SCHEDULE FOR COLOR"
- SS MBCI 22 GA. LOK SEAM 16" PANEL ROOFING SYSTEM "SLATE"
- PS PAINTED STUCCO FINISH "SEE PAINT SCHEDULE FOR COLOR"

# STOREFRONT

- AL CLEAR ANODIZED ALUMINUM
- GL SOLAR BAND "GRAY"

# PAINT SCHEDULE

- 1 DUNN EDWARDS - DE6228 "PLAY ON GRAY" LRV - 43
- 2 DUNN EDWARDS - DE6229 "CALICO ROCK" LRV - 28
- 3 DUNN EDWARDS - DE6378 "JET" LRV - 9

# FINISH PERCENTAGES

ELEVATION	QTY
<b>NORTHEAST</b>	
TOTAL AREA MINUS STOREFRONT	1,225
BLOCK	83.0%
STUCCO	17.0%
<b>NORTHWEST</b>	
TOTAL AREA MINUS STOREFRONT	3,858
BLOCK	76.5%
STUCCO	24.5%
<b>NORTH</b>	
TOTAL AREA MINUS STOREFRONT	2,325
BLOCK	84.0%
STUCCO	16.0%
<b>WEST</b>	
TOTAL AREA MINUS STOREFRONT	2,177
BLOCK	79.0%
STUCCO	21.0%
<b>SOUTH</b>	
TOTAL AREA MINUS STOREFRONT	2,635
BLOCK	82.0%
STUCCO	18.0%
<b>SOUTHEAST</b>	
TOTAL AREA MINUS STOREFRONT	4,942
BLOCK	83.0%
STUCCO	17.0%



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480-589-3793  
VINCE@DALKEDESIGNGROUP.COM



**CEDAR MEDICAL  
COLLABORATIVE PHASE 2**  
1895 N. JASPER DRIVE, FLAGSTAFF, AZ

NUMBER REVISION DATE


SEAL



SHEET TITLE COLORED ELEVATIONS

ISSUE DATE 3/31/21  
DRAWN KAW  
CHECKED BY VDD  
PROJECT NUMBER

DRAWING NO.

**A3.2**

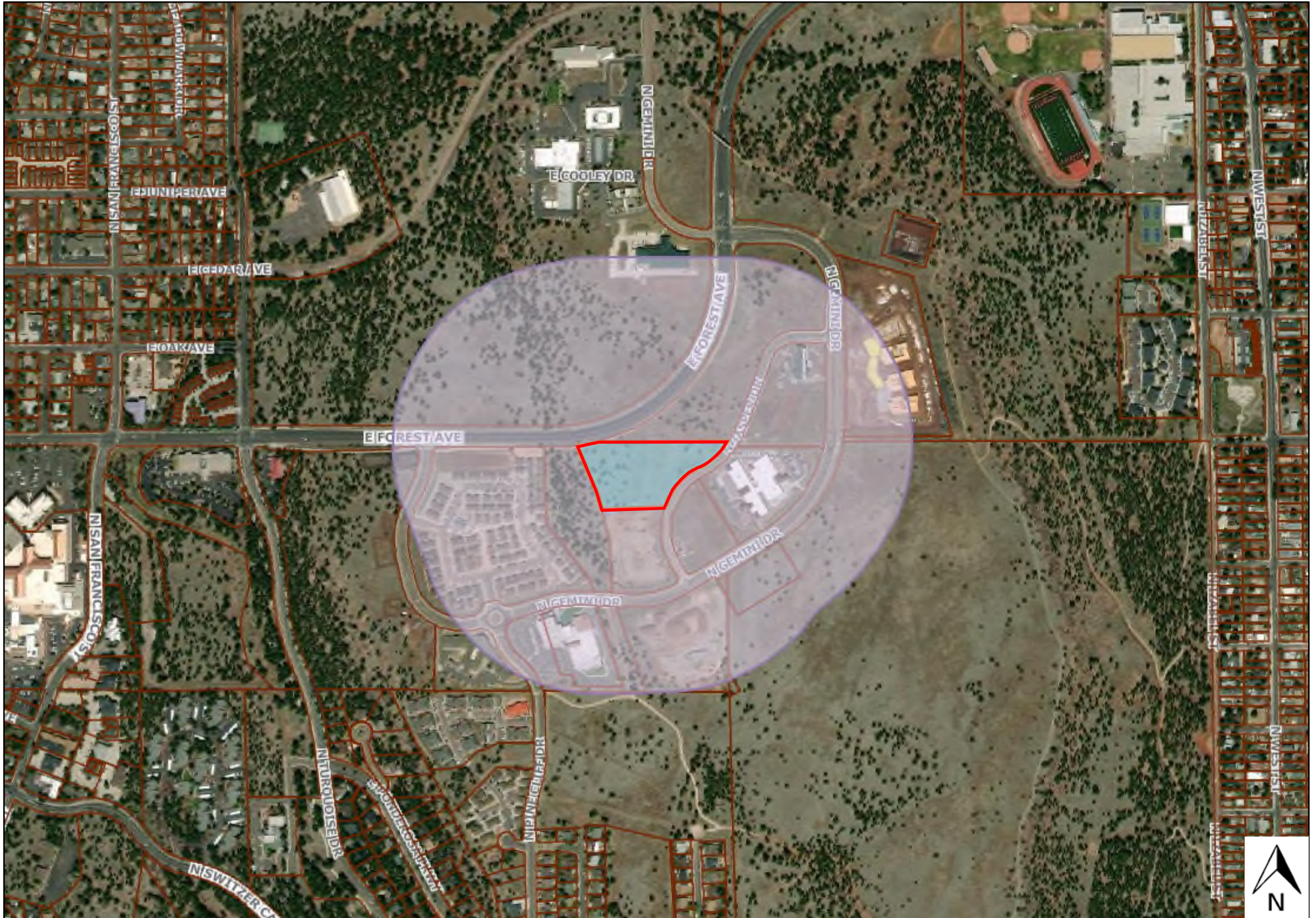
REV



**TAB B**

MAILING NOTIFICATION LIST - PZ-19-00022-05					
PROPERTY OWNERS WITHIN 1,000-FEET					
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP	
FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001	
MMV DEVCO LLC	15300 N 90TH ST NO 200	SCOTTSDALE	AZ	85260	
MPT OF FLAGSTAFF LLC	PO BOX 92129	SOUTHLAKE	TX	76092	
FLAGSTAFF MEDICAL CENTER INC	PO BOX 1268	FLAGSTAFF	AZ	86002	
ARIZONA STATE OF	100 N 15TH AVE	PHOENIX	AZ	85007	
HIGHGATE FLAGSTAFF LLC	1177 W HASTINGS ST NO 2133	VANCOUVER	BC	V6E 2K3 CANADA	
BASIS SCHOOLS INC	7975 N HAYDEN RD NO B-202	SCOTTSDALE	AZ	85258	
CWRP CEDAR FLAGSTAFF MOB OWNER LLC	30021 TOMAS RD NO 130	RANCHO SANTA MARGARITA	CA	92688	
FLAGSTAFF TRANSITIONAL CARE LLC	1107 HAZELTINE BLVD NO 200	CHASKA	MN	55318	
CITY REGISTERED PERSONS OF INTEREST					
ORGANIZATION / CONTACT	MAILING ADDRESS	CITY	STATE	ZIP	EMAIL
FRIENDS OF FLAGSTAFF'S FUTURE	PO BOX 23462	FLAGSTAFF	AZ	86002	INFO@FRIENDSOFFLAGSTAFF.ORG
NAT WHITE	1120 N ROCKRIDGE RD	FLAGSTAFF	AZ	86001	WHITE@LOWELL.EDU
FRIENDS OF FLAGSTAFF'S FUTURE ATTN: MICHELE A. JAMES	PO BOX 23462	FLAGSTAFF	AZ	86002	NOT PROVIDED.
CHARLIE SILVER	720 W ASPEN AVE	FLAGSTAFF	AZ	86001	CWS720@GMAIL.COM
NORTHERN ARIZONA BUILDING ASSOCIATION	1500 E CEDAR AVE, STE 86	FLAGSTAFF	AZ	86004	TBOCIUNG@NAZBA.ORG
BETSY MCKELLAR	330 S ASH LN	FLAGSTAFF	AZ	86004	BIRDVEST8@GMAIL.COM
DAVID CARPENTER	495 S RIVER RUN, STE 100	FLAGSTAFF	AZ	86001	DC@HOPEAZ.COM
NORTHERN ARIZONA ASSOCIATION OF REALTORS ATTN: JEFFREY HERD	1515 E CEDAR AVE, STE C-4	FLAGSTAFF	AZ	86004	NAARFLAG@NAZREALTOR.COM NAARGOVAFFAIRS@OUTLOOK.COM
ARIZONA ARMY NATIONAL GUARD, AZAA-FMO ATTN: DORENDA COLEMAN	5636 E MCDOWELL RD, M5330	PHOENIX	AZ	85008	DORENDA.J.COLEMAN.NFG@MAIL.MIL
TISH BOGAN-OZMUN	5721 MT. PLEASANT DR	FLAGSTAFF	AZ	86004	TISHFLAGSTAFF@GMAIL.COM
US NAVY, INTERGOVERNMENTAL BRANCH ATTN: MARY BETH DREUSIKE	850 PACIFIC HWY, BUILDING 1 5TH FL, STE 513	SAN DIEGO	CA	92132	MARYBETH.DREUSIKE@NAVY.MIL
MARILYN WEISSMAN	1055 E APPLE WAY	FLAGSTAFF	AZ	86001	MISSYMOET@AOL.COM
CELIA BAROTZ	3354 N CREST ST	FLAGSTAFF	AZ	86001	CBAROTZ@GMAIL.COM
COAST AND MOUNTAIN PROPERTIES ATTN: MAURY HERMAN	3 N LEROUX ST	FLAGSTAFF	AZ	86001	MHERMAN@COASTANDMOUNTAIN.COM
NORM WALLEN	3716 N GRANDVIEW	FLAGSTAFF	AZ	86004	NORMWALLENFLG@GMAIL.COM
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JAY CHRISTELMAN	2500 N FORT VALLEY RD, BLDG 1	FLAGSTAFF	AZ	86001-1287	JCHRISTELMAN@COCONINO.AZ.GOV
TYLER DENHAM	800 W FOREST MEADOWS DR, APT 119	FLAGSTAFF	AZ	86001	TYLER.B.DENHAM@GMAIL.COM
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JESS MCNEELY	2500 N FORT VALLEY RD, BLDG 1	FLAGSTAFF	AZ	86001-1287	WMCNEELY@COCONINO.AZ.GOV
FLAGSTAFF LODGING, RESTAURANT, & TOURISM ASSN ATTN: STEVE FINCH	PO BOX 30622	FLAGSTAFF	AZ	86003	SFINCH@FLRTA.ORG
ADRIAN SKABELUND	819 W GRAND CANYON AVE	FLAGSTAFF	AZ	86001	ASKABELUND@AZDAILYSUN.COM
RACHEL BASS	3083 W EASTERDAY LN	FLAGSTAFF	AZ	86001	RSILVERTON@GMAIL.COM
OTHER INTERESTED PARTIES					
ORGANIZATION / CONTACT	MAILING ADDRESS	CITY	STATE	ZIP	EMAIL
CITY OF FLAGSTAFF COMMUNITY DEVELOPMENT DEPT. ATTN: PATRICK ST. CLAIR	211 W ASPEN AVE	FLAGSTAFF	AZ	86001	PSTCLAIR@FLAGSTAFFAZ.GOV
GAMMAGE & BURNHAM, PLC ATTN: MICHAEL T. MAEROWITZ	40 N CENTRAL AVE, 20TH FL	PHOENIX	AZ	85004	MMAEROWITZ@GBLAW.COM

# NOTIFICATION MAP – PROPERTY OWNERS WITHIN 1,000-FEET



Subject Property



1,000-Foot Buffer

**TAB C**



**CITY OF FLAGSTAFF**  
NOTICE OF NEIGHBORHOOD MEETING FOR A  
CONDITIONAL USE PERMIT (PZ-19-00022-05)

MMV Devco LLC / Apricus Health is requesting a Conditional Use Permit for +/- 4.77 acres located at 1895 North Jasper Drive to allow for a "Hospital" (Micro-Hospital) use within the Research & Development—RD zoning district.

When:

June 28, 2021 at 6:00 PM

Where:

**Meeting to be held virtually.** Join Zoom Meeting:  
[www.gblaw.com/1895jasper](http://www.gblaw.com/1895jasper)

Representative  
Contact:

Lindsay C. Schube, Gammage & Burnham PLC  
(602) 256-4471

City Contact:

Patrick St. Clair, Planning Development Manager  
(928) 213-2612

# **Cedar Medical Collaborative Phase 2 Citizen Participation Report**

*July 26, 2021*

## **Introduction**

On May 25, 2021, Apricus Health (the “Apricus” or “Applicant”) submitted Conditional Use Permit Application No. PZ-19-00022-05 for the approximate 4.77 net acres of property located at 1895 N. Jasper Drive, also known as Coconino County Assessor Parcel Number 101-46-012B (the “Property”).

Apricus is a health care company created by Arizona doctors with the mission of making healthcare affordable, accessible, and convenient. Apricus works with local independent physicians to improve the experience and health care outcome for its patients by bringing coordinated care between both primary care and specialty care. Apricus has established a large network comprised of Arizona’s leading primary care and specialist providers to provide a full spectrum of care for its patients.

This Citizen Participation Report is being submitted to the City of Flagstaff in accordance with Section 10-20.30.060.C of the Zoning Code to document neighborhood meeting proceedings.

## **Neighborhood Meeting**

In accordance with Section 10-20.30.060.A of the Zoning Code, Apricus held a Neighborhood Meeting on June 28, 2021 at 6:00 p.m. via the Zoom virtual meeting platform.

Details of the noticing and posting completed prior to the Neighborhood Meeting are as follows:

**Mailing Notification.** In accordance with Section 10-20-30.060.D.3-.5 of the Zoning Code, a Notice of Neighborhood Meeting letter was mailed via first class mail on June 11, 2021, 17 calendar days prior to the Neighborhood Meeting, to: (1) each real property owner within 1,000-feet of the Property, as shown on the last assessment of the property; (2) the owner of the Property; (3) property owners’ associations and homeowners’ associations within 1,000-feet of the Property; and (4) individuals, groups, etc. on the City’s “Registry of Persons and Groups,” as provided by the City (collectively, “Affected Parties”). The Notice of Neighborhood Meeting letter set forth the purpose and substance of the proposed application, the time, date, and virtual meeting access instructions of the Neighborhood Meeting, and contact information for Mr. Patrick St. Clair, City Planning Development Manager assigned to the application, and Gammage & Burnham PLC, the Applicant’s representative.

See Tab A— Notification Letter, Tab B—Affected Parties Mailing List, and Tab C—Affidavit of Neighborhood Meeting Notification.

**Site Posting.** In accordance with Section 10-20.30.060.D.6 of the Zoning Code, the Applicant installed one sign along the Jasper Drive frontage setting forth the purpose, time, date, and virtual meeting access instructions for the Neighborhood Meeting, with an attached

## **Cedar Medical Collaborative Phase 2 Citizen Participation Report**

---

*July 26, 2021*

information tube containing copies of the meeting notice. The site posting was installed on June 11, 2021, 17 days prior to the neighborhood meeting.

See Tab D—Affidavit and Photo of Sign Posting.

**Neighborhood Meeting Summary/Record of Proceedings.** The Neighborhood Meeting consisted of an introduction and presentation of the project by the Applicant's representatives, followed by a question/answer session. Only two members from the public attended the meeting who were not either the Applicant or its representatives or part of City of Flagstaff planning staff (each a "Meeting Participant"). Following the presentation by the Applicant's representatives, one Meeting Participant asked questions primarily relating to the type of medical services that will be provided by physicians at the proposed micro-hospital. The other Meeting Participant did not speak. No substantive issues were raised by any of the Meeting Participants, including, but not limited to compatibility of the proposed micro-hospital use, traffic, noise, lighting or other issues.

See Tab E—Neighborhood Meeting Attendee Registration Sheet.

No additional input was received from the public apart from the two Neighborhood Meeting registrations summarized above.

Pursuant to Section 10-20.30.060 of the Zoning Code, City Staff has waived the requirement for a second neighborhood meeting.

# **TAB A**

## **Notification Letter**



GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW

40 NORTH CENTRAL AVENUE

20TH FLOOR

PHOENIX, ARIZONA 85004

June 11, 2021

Lindsay C. Schube  
lschube@gblaw.com

(602) 256-4471

Dear Property Owner, Neighborhood Association, or Interested Citizen,

We represent Apricus Health (“Apricus”). Apricus is a health care company created by Arizona doctors with the mission of making healthcare affordable, accessible, and convenient. Apricus works with local independent physicians to improve the experience and health care outcome for its patients by bringing coordinated care between both primary care and specialty care. Apricus is proposing to develop the approximate 4.77 acres located at 1895 North Jasper Drive (“Property”) with a single-story combined medical office/micro-hospital (“Facility”). An Aerial Map of the Property is enclosed with this letter for your reference.

In order to facilitate development of the Property, we filed Conditional Use Permit application no. PZ-19-00022-05 (“Application”) with the City of Flagstaff to allow for the “Hospital” (micro-hospital) use on the Property. Because the Facility will be equipped to provide occasional inpatient (overnight) care, under the City’s Zoning Code this ancillary component of the Facility is classified as a “Hospital,” rather than “Medical Office,” thus requiring a Conditional Use Permit. From a practical standpoint, the Facility will not function like a traditional hospital. Rather, this micro-hospital will include approximately 6-8 emergency rooms for initial triage and examinations, plus approximately 8-10 patient rooms for recovery and stabilization. A medical office is permitted by right under the Property’s existing RD (Research and Development) zoning. This Application is simply to allow the Facility’s ancillary “Hospital” (micro-hospital) use. We have enclosed with this letter a Site Plan and Building Elevations so that you may see the proposed design of the Facility.

We have scheduled a **virtual neighborhood meeting** to discuss the Application and proposed Facility. The meeting details are as follows:

<b>Meeting:</b>	1895 North Jasper Drive Virtual Neighborhood Meeting
<b>Location:</b>	Meeting to be held <u>virtually in Zoom</u> .
<b>Registration Link:</b>	<a href="http://www.gblaw.com/1895jasper">www.gblaw.com/1895jasper</a>
<b>Date and Time:</b>	<b>Monday, June 28, 2021 at 6:00 PM</b>

**Instructions for Access to Virtual Neighborhood Meeting**. The neighborhood meeting will be held on the Zoom video conferencing platform, which can be accessed through your internet browser or through the Zoom app on your mobile device via the above link. For registration assistance, please contact **Ellie Brundige, Land Use Planner** at (602) 256-4409 or [ebrundige@gblaw.com](mailto:ebrundige@gblaw.com).

1895 North Jasper Drive  
Neighborhood Meeting Notice  
June 11, 2021  
Page 2

Please note, to participate in the meeting, you will be required to first access the above **Registration Link**. The meeting registration information will be part of the public record and shared with the City. We will also use this information to keep you informed of future meetings and hearings via email, as well as traditional mail. At the beginning of the neighborhood meeting, we will provide a brief overview of the meeting procedures and instructions for asking questions once the formal presentation has concluded.

Please be advised that a future hearing before the Planning & Zoning Commission will be scheduled to review this case. A specific hearing date has not yet been set. An additional notification letter will be provided identifying the date, time, and location of this hearing.

The City Planner assigned to this case is Patrick St. Clair. Mr. St. Clair can be reached at (928) 213-2612 or pstclair@flagstaffaz.gov. He can answer your questions regarding the City's review and hearing process.

Should you have any questions, please do not hesitate to contact me at **(602) 256-4471** or **lschube@gblaw.com**. Thank you.

Sincerely,

GAMMAGE & BURNHAM, P.L.C.

A handwritten signature in black ink, appearing to read "LCSchube".

By

Lindsay C. Schube

LCS/nas  
Enclosure



Aerial Map

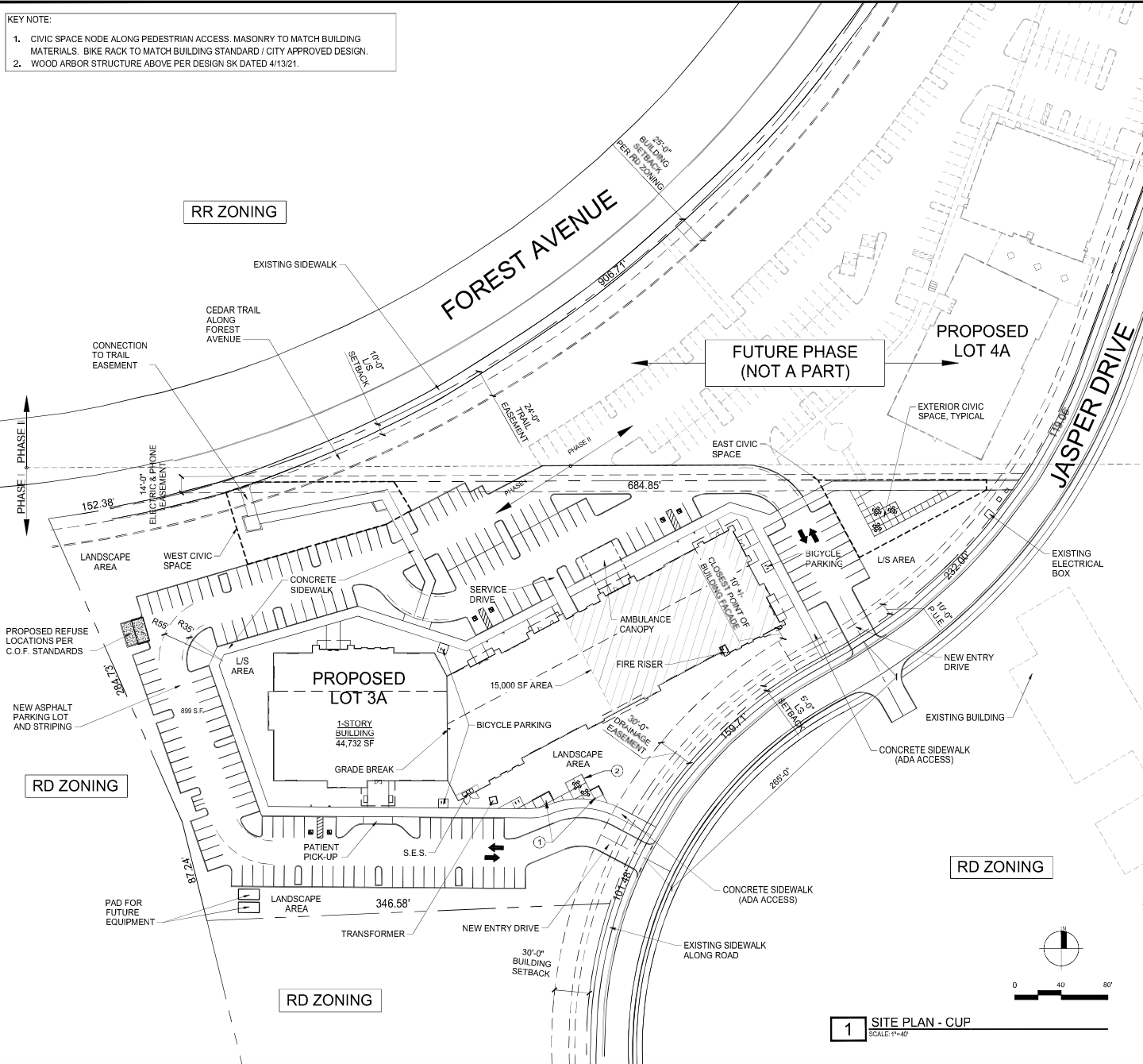


Subject Property



KEY NOTE:

1. CIVIC SPACE NODE ALONG PEDESTRIAN ACCESS, MASONRY TO MATCH BUILDING MATERIALS, BIKE RACK TO MATCH BUILDING STANDARD / CITY APPROVED DESIGN.
2. WOOD ARBOR STRUCTURE ABOVE PER DESIGN SK DATED 4/13/21.



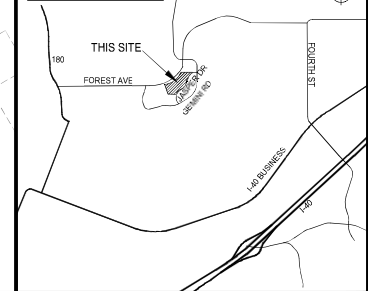
PROJECT INFORMATION

PROJECT NAME: CEDAR MEDICAL COLLABORATIVE PHASE 2  
 PROJECT ADDRESS: 1895 N JASPER DRIVE FLAGSTAFF, AZ  
 PROPERTY OWNER: MMV DEVCO LLC 15300 N 90TH ST #200 SCOTTSDALE, AZ 85260  
 DEVELOPER: CYPRESS WEST PARTNERS, LLC JASON ANZALONE 30021 TOMAS ROAD, SUITE 130 RANCHO SANTA MARGARITA, CA 92688  
 ARCHITECT: DALKE DESIGN GROUP, LLC 2039 E. RICE DRIVE TEMPE, AZ 85283 480-589-3793 VINCE@DALKEDESIGNGROUP.COM

PROJECT DATA

PARCEL NUMBERS: 101-46-0128  
 CURRENT ZONING: RD (RESEARCH AND DEVELOPMENT)  
 NET SITE AREA: 4.77 ACRES (207,745 S.F.)  
 BUILDING AREA: 44,702 S.F.  
 LOT COVERAGE: 21.5%  
 F.A.R.: .215  
 STORIES: ONE  
 OCCUPANCY: B  
 CONSTRUCTION TYPE: TYPE IIB (NON-COMBUSTIBLE)  
 REQUIRED PARKING:  
 USE: AREA: RATIO: SPACES:  
 MEDICAL OFFICE: 27,732 S.F. 4/1000 111 SPACES  
 MICRO HOSPITAL: 17,000 S.F. 2 SPACES PER 3 BEDS 6 SPACES  
 9 BEDS / 3 X 2 = 6  
 1 PER 3 EMPLOYEE 50 SPACES  
 150 / 3 = 50  
 TOTAL REQUIRED: 167 SPACES  
 PROVIDED PARKING:  
 TOTAL REGULAR SPACES: 163 SPACES  
 TOTAL ACCESSIBLE SPACES: 6 SPACES  
 MOTORCYCLE SPACES: 6 SPACES  
 TOTAL PROVIDED: 175 SPACES  
 PARKING RATIO: 3.9 CARS/1000 S.F.  
 PER PARKING ANALYSIS  
 BIKE PARKING REQ.: 175 X .05 = 9 SPACES (12 SPACES PROVIDED)  
 CIVIC SPACE QUANTITIES  
 TOTAL SITE AREA = 207,745 S.F.  
 CIVIC SPACE REQUIRED = 10,387 S.F. (5.0% OF SITE)  
 WEST CIVIC SPACE PROVIDED = 7,483 S.F. (3.60% OF SITE)  
 EAST CIVIC SPACE PROVIDED = 5,305 S.F. (2.55% OF SITE)  
 TOTAL CIVIC SPACE PROVIDED = 12,788 S.F. (6.15% OF SITE)

VICINITY MAP



2039 E RICE DR., TEMPE  
 AZ, 85283  
 480-589-3793  
 VINCE@DALKEDESIGNGROUP.COM



CEDAR MEDICAL  
 COLLABORATIVE PHASE 2  
 1895 N. JASPER DRIVE, FLAGSTAFF, AZ

NUMBER	REVISION	DATE



SHEET TITLE: SITE PLAN - CUP  
 ISSUE DATE: 5/20/21  
 DRAWN: KAW  
 CHECKED BY: VDD  
 PROJECT NUMBER:  
 DRAWING NO.

A0.1

REV

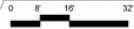
1 SITE PLAN - CUP  
 SCALE: 1"=40'



# ELEVATION KEYED NOTES:

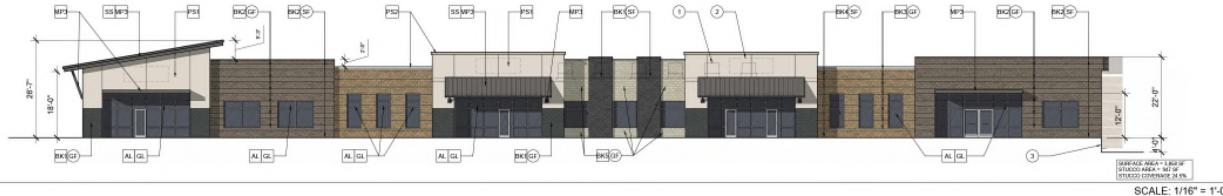
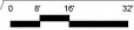
1. HVAC UNIT BEYOND.
2. FUTURE SIGNAGE UNDER SEPARATE PERMIT.
3. EXPOSED STEM WALL NOT TO EXCEED 5'-0".

## 1 NORTHEAST ELEVATION



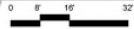
SCALE: 1/16" = 1'-0"

## 2 NORTHWEST ELEVATION



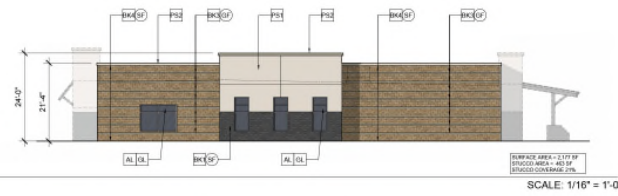
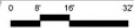
SCALE: 1/16" = 1'-0"

## 3 NORTH ELEVATION



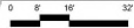
SCALE: 1/16" = 1'-0"

## 4 WEST ELEVATION



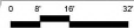
SCALE: 1/16" = 1'-0"

## 5 SOUTH ELEVATION



SCALE: 1/16" = 1'-0"

## 6 SOUTHEAST ELEVATION



SCALE: 1/16" = 1'-0"

# MATERIALS

- BK1 8"X16"X8" INTEGRAL BLOCK BLOCKLITE "EBONY #15"
- BK2 8"X16"X8" INTEGRAL BLOCK BLOCKLITE "BARK #12"
- BK3 8"X16"X8" INTEGRAL BLOCK BLOCKLITE "DOESKIN #4"
- BK4 4"X16"X8" INTEGRAL BLOCK BLOCKLITE "PEBBLE BEACH #319"
- BK5 8"X16"X8" INTEGRAL BLOCK BLOCKLITE "PEBBLE BEACH #319"
- SF SPLIT FACE FINISH
- GF GROUND FACE (HONED) FINISH
- MP METAL - PAINTED "SEE PAINT SCHEDULE FOR COLOR"
- SS MBCI 22 GA. LOK SEAM 16" PANEL ROOFING SYSTEM "SLATE"
- PS PAINTED STUCCO FINISH "SEE PAINT SCHEDULE FOR COLOR"

# STOREFRONT

- AL CLEAR ANODIZED ALUMINUM
- GL SOLAR BAND "GRAY"

# PAINT SCHEDULE

- 1 DUNN EDWARDS - DE6228 "PLAY ON GRAY" LRV - 43
- 2 DUNN EDWARDS - DE6229 "CALICO ROCK" LRV - 28
- 3 DUNN EDWARDS - DE6378 "JET" LRV - 9

# FINISH PERCENTAGES

ELEVATION	QTY
<b>NORTHEAST</b>	
TOTAL AREA MINUS STOREFRONT	1,225
BLOCK	83.0%
STUCCO	17.0%
<b>NORTHWEST</b>	
TOTAL AREA MINUS STOREFRONT	3,858
BLOCK	76.5%
STUCCO	24.5%
<b>NORTH</b>	
TOTAL AREA MINUS STOREFRONT	2,325
BLOCK	84.0%
STUCCO	16.0%
<b>NORTH</b>	
TOTAL AREA MINUS STOREFRONT	2,177
BLOCK	79.0%
STUCCO	21.0%
<b>SOUTH</b>	
TOTAL AREA MINUS STOREFRONT	2,635
BLOCK	82.0%
STUCCO	18.0%
<b>SOUTHEAST</b>	
TOTAL AREA MINUS STOREFRONT	4,942
BLOCK	83.0%
STUCCO	17.0%



2039 E RICE DR., TEMPE  
AZ, 85283  
480-589-3793  
VINCE@DALKEDSIGNGROUP.COM



**CEDAR MEDICAL  
COLLABORATIVE PHASE 2**  
1895 N. JASPER DRIVE, FLAGSTAFF, AZ

NUMBER REVISION DATE


SEAL



SHEET TITLE COLORED ELEVATIONS

ISSUE DATE 3/31/21  
DRAWN KAW  
CHECKED BY VDD  
PROJECT NUMBER

DRAWING NO.

**A3.2**

REV

## **TAB B**

### **Affected Parties Mailing List**

MAILING NOTIFICATION LIST - PZ-19-00022-05					
PROPERTY OWNERS WITHIN 1,000-FEET					
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP	
FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001	
MMV DEVCO LLC	15300 N 90TH ST NO 200	SCOTTSDALE	AZ	85260	
MPT OF FLAGSTAFF LLC	PO BOX 92129	SOUTHLAKE	TX	76092	
FLAGSTAFF MEDICAL CENTER INC	PO BOX 1268	FLAGSTAFF	AZ	86002	
ARIZONA STATE OF	100 N 15TH AVE	PHOENIX	AZ	85007	
HIGHGATE FLAGSTAFF LLC	1177 W HASTINGS ST NO 2133	VANCOUVER	BC	V6E 2K3 CANADA	
BASIS SCHOOLS INC	7975 N HAYDEN RD NO B-202	SCOTTSDALE	AZ	85258	
CWRP CEDAR FLAGSTAFF MOB OWNER LLC	30021 TOMAS RD NO 130	RANCHO SANTA MARGARITA	CA	92688	
FLAGSTAFF TRANSITIONAL CARE LLC	1107 HAZELTINE BLVD NO 200	CHASKA	MN	55318	
CITY REGISTERED PERSONS OF INTEREST					
ORGANIZATION / CONTACT	MAILING ADDRESS	CITY	STATE	ZIP	EMAIL
FRIENDS OF FLAGSTAFF'S FUTURE	PO BOX 23462	FLAGSTAFF	AZ	86002	INFO@FRIENDSOFFLAGSTAFF.ORG
NAT WHITE	1120 N ROCKRIDGE RD	FLAGSTAFF	AZ	86001	WHITE@LOWELL.EDU
FRIENDS OF FLAGSTAFF'S FUTURE ATTN: MICHELE A. JAMES	PO BOX 23462	FLAGSTAFF	AZ	86002	NOT PROVIDED.
CHARLIE SILVER	720 W ASPEN AVE	FLAGSTAFF	AZ	86001	CWS720@GMAIL.COM
NORTHERN ARIZONA BUILDING ASSOCIATION	1500 E CEDAR AVE, STE 86	FLAGSTAFF	AZ	86004	TBOCIUNG@NAZBA.ORG
BETSY MCKELLAR	330 S ASH LN	FLAGSTAFF	AZ	86004	BIRDVEST8@GMAIL.COM
DAVID CARPENTER	495 S RIVER RUN, STE 100	FLAGSTAFF	AZ	86001	DC@HOPEAZ.COM
NORTHERN ARIZONA ASSOCIATION OF REALTORS ATTN: JEFFREY HERD	1515 E CEDAR AVE, STE C-4	FLAGSTAFF	AZ	86004	NAARFLAG@NAZREALTOR.COM NAARGOVAFFAIRS@OUTLOOK.COM
ARIZONA ARMY NATIONAL GUARD, AZAA-FMO ATTN: DORENDA COLEMAN	5636 E MCDOWELL RD, M5330	PHOENIX	AZ	85008	DORENDA.J.COLEMAN.NFG@MAIL.MIL
TISH BOGAN-OZMUN	5271 MT. PLEASANT DR	FLAGSTAFF	AZ	86004	TISHFLAGSTAFF@GMAIL.COM
US NAVY, INTERGOVERNMENTAL BRANCH ATTN: MARY BETH DREUSIKE	850 PACIFIC HWY, BUILDING 1 5TH FL, STE 513	SAN DIEGO	CA	92132	MARYBETH.DREUSIKE@NAVY.MIL
MARILYN WEISSMAN	1055 E APPLE WAY	FLAGSTAFF	AZ	86001	MISSYMOET@AOL.COM
CELIA BAROTZ	3354 N CREST ST	FLAGSTAFF	AZ	86001	CBAROTZ@GMAIL.COM
COAST AND MOUNTAIN PROPERTIES ATTN: MAURY HERMAN	3 N LEROUX ST	FLAGSTAFF	AZ	86001	MHERMAN@COASTANDMOUNTAIN.COM
NORM WALLEN	3716 N GRANDVIEW	FLAGSTAFF	AZ	86004	NORMWALLENFLG@GMAIL.COM
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JAY CHRISTELMAN	2500 N FORT VALLEY RD, BLDG 1	FLAGSTAFF	AZ	86001-1287	JCHRISTELMAN@COCONINO.AZ.GOV
TYLER DENHAM	800 W FOREST MEADOWS ST, APT 119	FLAGSTAFF	AZ	86001	TYLER.B.DENHAM@GMAIL.COM
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JESS MCNEELY	2500 N FORT VALLEY RD, BLDG 1	FLAGSTAFF	AZ	86001-1287	WMCNEELY@COCONINO.AZ.GOV
FLAGSTAFF LODGING, RESTAURANT, & TOURISM ASSN ATTN: STEVE FINCH	PO BOX 30622	FLAGSTAFF	AZ	86003	SFINCH@FLRTA.ORG
ADRIAN SKABELUND	819 W GRAND CANYON AVE	FLAGSTAFF	AZ	86001	ASKABELUND@AZDAILYSUN.COM
RACHEL BASS	3083 W EASTERDAY LN	FLAGSTAFF	AZ	86001	RSILVERTON@GMAIL.COM
OTHER INTERESTED PARTIES					
ORGANIZATION / CONTACT	MAILING ADDRESS	CITY	STATE	ZIP	EMAIL
CITY OF FLAGSTAFF COMMUNITY DEVELOPMENT DEPT. ATTN: PATRICK ST. CLAIR	211 W ASPEN AVE	FLAGSTAFF	AZ	86001	PSTCLAIR@FLAGSTAFFAZ.GOV
GAMMAGE & BURNHAM, PLC ATTN: MICHAEL T. MAEROWITZ	40 N CENTRAL AVE, 20TH FL	PHOENIX	AZ	85004	MMAEROWITZ@GBLAW.COM

## **TAB C**

### **Affidavit of Neighborhood Meeting Notification**



## Affidavit of Neighborhood Meeting Notification

Case Number: PZ-19-00022-05

Project Name: Cedar Medical Collaborative Phase II

Applicant Name: Apricus Health

Location: 1895 North Jasper Drive

On behalf of the applicant, I hereby confirm that the neighborhood meeting notification was completed as detailed in Section 10-20.30.060 of the City of Flagstaff Zoning Code.

Applicant's/Representative's Signature:

Michael Maerowitz

SUBSCRIBED AND SWORN before me this 21<sup>st</sup> day of July, 2021 by: Michael  
Sheridan Romine Maerowitz  
Notary Public



SHERIDAN ROMINE  
Notary Public - Arizona  
Maricopa Co. / #566111  
Expires 05/31/2023

My Commission Expires:

5/31/2023

## **TAB D**

### **Affidavit and Photo of Sign Posting**

## Affidavit of Neighborhood Meeting Sign Posting

Case Number: PZ-19-00022-05

Project Name: Cedar Medical Collaborative Phase II

Applicant Name: Apricus Health

Location: 1895 North Jasper Drive

On behalf of the applicant, I hereby confirm that the site has been posted as detailed in Section 10-20.30.060 of the City of Flagstaff Zoning Code.

Applicant's/Representative's Signature: Michael Maerowitz

SUBSCRIBED AND SWORN before me this 21<sup>st</sup> day of July, 2021 by: Michael Maerowitz  
Sheridan Romine  
Notary Public



SHERIDAN ROMINE  
Notary Public - Arizona  
Maricopa Co. / #566111  
Expires 05/31/2023

My Commission Expires:

5/31/2023







Name: Gammage & Burnham

Date: 06.10.2021

Quote #: 00000

Rev # 0

#### CUSTOMER'S APPROVAL

- ☐ Approved  
☐ Approved With Changes  
☐ Revise and Proof Again

Signature \_\_\_\_\_

Date \_\_\_\_\_

#### PROPERTY MANAGER'S APPROVAL

- ☐ Approved  
☐ Approved With Changes  
☐ Revise and Proof Again

Signature \_\_\_\_\_

Date \_\_\_\_\_

#### PRODUCTION STAGES

- ☐ Design ☐ Material  
☐ Printed/ Cut  
☐ Production ☐ Install

☐ **DONE** Signature \_\_\_\_\_

Date \_\_\_\_\_

**Signarama**  
FLAGSTAFF

2333 E. Spruce Avenue,  
Flagstaff, AZ 86004

Ph: (928) 714-0740

Email: [signarama@sarflagstaff.com](mailto:signarama@sarflagstaff.com)

Web: [www.SARflagstaff.com](http://www.SARflagstaff.com)

48 in

48 in

<p align="center"><b>CITY OF FLAGSTAFF</b>  NOTICE OF NEIGHBORHOOD MEETING FOR A  CONDITIONAL USE PERMIT (PZ-19-00022-05)</p>	
<p align="center">MMV Devco LLC / Apricus Health is requesting a Conditional Use Permit for  +/- 4.77 acres located at 1895 North Jasper Drive to allow for a "Hospital"  (Micro-Hospital) use within the Research &amp; Development—RD zoning  district.</p>	
When:	June 28, 2021 at 6:00 PM
Where:	<b><u>Meeting to be held virtually.</u></b> Join Zoom Meeting: <a href="http://www.gblaw.com/1895jasper">www.gblaw.com/1895jasper</a>
Representative Contact:	Lindsay C. Schube, Gammage & Burnham PLC (602) 256-4471
City Contact:	Patrick St. Clair, Planning Development Manager (928) 213-2612
<p align="center">Planning &amp; Development Services Department  (928) 213-2600</p>	
<p align="center">Site Posting—June 11, 2021</p>	

Single sided coroplast sign with latex printed calendar vinyl graphic and grommets on the sides. [Qty. 1]

This design and drawing submitted for your review and approval is the exclusive property of SIGNARAMA. It may not be reproduced, copied, exhibited or utilized for any purpose, in part or in whole by any individual inside out outside without written consent of SIGNARAMA.

Color :



PMS 0000



PMS 0000



PMS 0000



PMS 0000

Notes:

## **TAB E**

### **Neighborhood Meeting Attendee Registration Sheet**

June 28, 2021 Neighborhood Meeting Attendees						
Name	Mailing Address	City	State	ZIP	Phone	Email
Denise Kann	1851 Gemini Drive	Flagstaff	86001	AZ	(602) 432-2809	Denisekann@ernesthealth.com
Angela Kaufmann	617 North Humphries Street	Flagstaff	86005	AZ	(928) 606-9900	Angelalyons6@yahoo.com
Patrick St. Clair	211 West Aspen Avenue	Flagstaff	86001	AZ	(928) 213-2612	pstclair@flagstaffaz.gov

## NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the City of Flagstaff Planning and Zoning Commission will hold a Public Hearing on, August 25, 2021 at 4:00 p.m. to consider the following:

1. PZ-19-00022-05; A Conditional Use Permit request from Apricus Health, to establish a Hospital use within 17,000 square feet of a 44,702 square foot medical office building under construction on a 4.66-acre parcel within the City of Flagstaff. The subject property is located at 1895 N Jasper Drive within the Research and Development (RD) zone and within Development Area "F" of the McMillan Mesa Village Specific Plan.

Interested persons may file comments in writing regarding the proposed permits or be heard at the hearing date herein set forth.

Due to the COVID-19 pandemic, All Planning and Zoning Commission meetings are currently being held virtually. For instructions on the virtual meetings visit the following link:

<https://www.flagstaff.az.gov/2845/Planning-Zoning-Commission>

Contact the Planning Development Manager, Patrick St. Clair, for maps and information regarding the proposed Conditional Use Permit.

Alaxandra Pucciarelli  
Interim Planning Director/Current Planning Manager  
Liaison, Planning and Zoning Commission

For Information Contact:

Patrick St. Clair, Planning Development Manager  
(928) 213-2612  
pstclair@flagstaffaz.gov

Publish August 7, 2021



## Patrick St. Clair

---

**From:** Tim Bonatus <timbonatus@gmail.com>  
**Sent:** Sunday, August 29, 2021 6:07 PM  
**To:** Patrick St. Clair  
**Subject:** Conditional Use Permit (PZ-19-0022-05).  
**Attachments:** P&Z re Microhospital.docx

Re: Cedar Medical Phase II 1895 N Jasper Drive 9/9/2021 Hearing

Dear Planning & Zoning

I am writing to SUPPORT a Conditional Use Permit for a Micro Hospital as part of this medical development. Changes in medical care delivery models and the need for a high quality, highly efficient, low-cost facility to serve the needs of the greater Flagstaff Community necessitate this facility.

For decades, Flagstaff Medical Center (now Northern Arizona Healthcare (NAH)) was worked WITH Community Leaders, Physicians and other Health Care Providers. I have worked as a surgeon at Flagstaff Medical Center for 30 years and was very supportive of the development of FMC as a Trauma and tertiary care referral center for Northern Arizona. NAH is financially successful and with the community values of Flagstaff, has attracted an excellent hospital and medical staffs. Historically, NAH partnered with private practice community physicians in a very successful model.

The current hospital administration in their words "is going in a different direction." Their goal is to control the delivery of care in Northern AZ. NAH has risked the purchase and development of a large campus along I-17 which will be very expensive to develop and plans to serve the "60%" of patients who come from out of town. This will be a worthwhile venture for some patient care needs but the cost (far in excess of the stated \$750 million) will be largely born by the businesses and citizens of Flagstaff. Health care costs are already skyrocketing across the country and this move will be inflationary to the service area.

NAH has taken on a strategy of employing its medical staff which has been predatory to and competitive with the private practice community which has long served our health care needs. A progressively increasing number of respected physicians have been forced to close practices, retire early or leave town. Health care delivery models are changing, and patients pay a higher percentage of their health care costs out of pocket. There is now a large outmigration of elective care to Phoenix where hospital care is much more affordable.

The proposed micro hospital was designed by and supported by local physicians who see the benefit of and have a hand in enhancing health care services in a highly efficient, high quality and low-cost manner. This will be a boon to local citizens and employers as well as independent health care practitioners. This is a facility by the community for the greater Flagstaff Community. Business leaders and healthcare providers are strongly supportive of this new, agile and cost-effective alternative for hospital care.

Respectfully,

Timothy J Bonatus, DO  
Orthopaedic Surgeon

## Patrick St. Clair

---

**From:** Darius Moezzi <skipowpow@hotmail.com>  
**Sent:** Wednesday, September 1, 2021 6:41 AM  
**To:** Patrick St. Clair  
**Subject:** Conditional Use Permit (PZ-19-0022-05)

I am writing this letter to express my support for the Conditional Use Permit request from Apricus Health for a Hospital use at 1895 N Jasper Drive.

As the senior partner at Flagstaff Bone and Joint, and a resident of Flagstaff for over 17 years, I believe a Hospital is an appropriate land use for the property that will be compatible with surrounding properties. There are a variety of existing medical uses near the property that have proven to be compatible with surrounding uses and properties. The property is already zoned for and being developed as a medical office. I do not believe the incorporation of a small 6 to 8 emergency room Hospital into the medical office building will have a detrimental impact on surrounding properties. Rather, the approval of the Conditional Use Permit will allow for a Hospital use that is compatible with surrounding uses and development patterns.

Understanding that the issue at hand at this point is simply the conditional use permit, I would add that our community deserves choice with their medical care. Northern Arizona Healthcare is both monopolistic and divisive. Another hospital system within our community is strongly supported by the majority of the medical staff, despite what you may hear from NAH leadership. Their narrative presented to the city as well as to their board is simply, in a word, false. Competition within the medical field results in higher quality care, and physician led care results in such higher quality care and delivery at less cost. I believe that this is what our community has needed for some time.

Thank you,

Darius M. Moezzi, MD  
Flagstaff Bone and Joint  
(c) 928 310 6226

## Patrick St. Clair

---

**From:** Megan Engbring <mengbring@peakheart.com>  
**Sent:** Wednesday, September 1, 2021 8:51 AM  
**To:** Patrick St. Clair  
**Subject:** Case #PZ-19-0022-05 Cedar Medical

Dear Mr. St. Clair,

I am writing this letter to express my support for the Conditional Use Permit request from Apricus Health for a Hospital use at 1895 N Jasper Drive.

As a long time resident and health care provider in Flagstaff, I believe a small Hospital is an appropriate land use for the property that will be compatible with surrounding properties. There are a variety of existing medical uses near the property that have proven to be compatible with surrounding uses and properties. The property is already zoned for and being developed as a medical office. I do not believe the incorporation of a small 6 to 8 bed emergency room Hospital into the medical office building will have a detrimental impact on surrounding properties, in fact I think it will be quite an asset for the senior living communities and schools in close proximity. I am aware that Flagstaff Medical Center is often at capacity with long wait times for our community to receive medical care. The Conditional Use Permit will serve a need in the community by making medical care more accessible and convenient.

In Health,



**Megan Engbring, DNP, FNP-C**

DOCTOR OF NURSING PRACTICE

O 928-929-PEAK (7325) | F 480-500-8430

[mengbring@peakheart.com](mailto:mengbring@peakheart.com)

1501 S Yale St Bldg 2 Ste 152 | Flagstaff AZ 86001

[peakheart.com](http://peakheart.com)





## Patrick St. Clair

---

**From:** Ronald Getto <ron@starlitelanes.com>  
**Sent:** Wednesday, September 1, 2021 3:44 PM  
**To:** Patrick St. Clair  
**Subject:** Quality Healthcare Options

Patrick, I am writing this letter today to express my support for the Conditional Use Permit request from Apricus Health for a Hospital use at 1895 N Jasper Drive.

I live in and operate a small business here in Flagstaff and am supportive of having another Hospital in this area of the City. Flagstaff Medical Center is often at capacity with unacceptably long wait times for me, my employees and family to receive medical care. I absolutely believe there should be more accessibility to receive medical care here in the City of Flagstaff. The Conditional Use Permit will serve a need in the community by making medical care more accessible and convenient.

Thank you for your consideration. I trust you will make an informed decision.

Sincerely,

Ron Getto  
Starlite Lanes  
928-526-1138