

COMBINED SPECIAL MEETING/WORK SESSION AGENDA

COMBINED SPECIAL MEETING/WORK SESSION
TUESDAY
SEPTEMBER 28, 2021

COUNCIL CHAMBERS
211 WEST ASPEN AVENUE
3:00 P.M.

ATTENTION

IN-PERSON AUDIENCES AT CITY COUNCIL MEETINGS HAVE RESUMED WITH LIMITED CAPACITY

The meetings will continue to be live streamed on the city's website
(<https://www.flagstaff.az.gov/1461/Streaming-City-Council-Meetings>)

*****PUBLIC COMMENT*****

WE ARE NO LONGER USING TELEPHONE COMMENTS

All verbal public comments will be given through a virtual public comment platform

If you want to provide a verbal comment during the Council Meeting, use the link below to join the virtual public comment room.

VIRTUAL PUBLIC COMMENT WAITING ROOM

Written comments may be submitted to publiccomment@flagstaffaz.gov. All comments submitted via email will be considered written comments and will be documented into the record as such.

AGENDA

1. Call to Order

NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION

Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the City Council and to the general public that, at this work session, the City Council may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the City's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).

2. ROLL CALL

NOTE: One or more Councilmembers may be in attendance telephonically or by other technological means.

MAYOR DEASY
VICE MAYOR DAGGETT
COUNCILMEMBER ASLAN
COUNCILMEMBER MCCARTHY

COUNCILMEMBER SALAS
COUNCILMEMBER SHIMONI
COUNCILMEMBER SWEET

3. **Pledge of Allegiance and Mission Statement**

MISSION STATEMENT

The mission of the City of Flagstaff is to protect and enhance the quality of life for all.

4. **Recognition:** Flagstaff Olympic Athletes

5. **Appeal of the Denial by the Planning Commission of PZ-19-00204-03:** Appeal of the denial of a Conditional Use Permit request from Miramonte Presidio LLC to establish a Planned Residential Development (PRD) on Tract M within the Presidio in the Pines master planned development. The PRD consists of 39 multi-family residential units on 2.77 acres located at 2940 S Woody Mountain Road within the Highway Commercial (HC) zone.

STAFF RECOMMENDED ACTION:

Staff does not have a recommended action, other than for Council to hear and decide the appeal.

6. **Adjournment**

WORK SESSION

1. **Call to Order**

NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION

Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the City Council and to the general public that, at this work session, the City Council may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the City's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).

2. **Public Participation**

Public Participation enables the public to address the council about items that are not on the prepared agenda. Public Participation appears on the agenda twice, at the beginning and at the end of the work session. You may speak at one or the other, but not both. Anyone wishing to comment at the meeting is asked to fill out a speaker card and submit it to the recording clerk. When the item comes up on the agenda, your name will be called. You may address the Council up to three times throughout the meeting, including comments made during Public Participation. Please limit your remarks to three minutes per item to allow everyone to have an opportunity to speak. At the discretion of the Chair, ten or more persons present at the meeting and wishing to speak may appoint a representative who may have no more than fifteen minutes to speak.

3. **Review of Draft Agenda for the October 5, 2021 City Council Meeting**

Citizens wishing to speak on agenda items not specifically called out by the City Council may submit a speaker card for their items of interest to the recording clerk.

4. **Update and Review of Flagstaff's Draft 10-Year Housing Plan**

DESIRED OUTCOME:

Informational only.

5. **Advancing Resilience in Flagstaff: Preliminary Discussion**

STAFF RECOMMENDED ACTION:

This is an informational update for discussion.

6. **Public Participation**

7. **Informational Items To/From Mayor, Council, and City Manager; future agenda item requests**

8. **Adjournment**

CERTIFICATE OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on _____, at _____ a.m./p.m. in accordance with the statement filed by the City Council with the City Clerk.

Dated this _____ day of _____, 2021.

Stacy Saltzburg, MMC, City Clerk

CITY OF FLAGSTAFF

STAFF SUMMARY REPORT

To: The Honorable Mayor and Council
From: Tiffany Antol, Planning Development Manager
Date: 09/11/2021
Meeting Date: 09/28/2021



TITLE

Appeal of the Denial by the Planning Commission of PZ-19-00204-03: Appeal of the denial of a Conditional Use Permit request from Miramonte Presidio LLC to establish a Planned Residential Development (PRD) on Tract M within the Presidio in the Pines master planned development. The PRD consists of 39 multi-family residential units on 2.77 acres located at 2940 S Woody Mountain Road within the Highway Commercial (HC) zone.

STAFF RECOMMENDED ACTION:

Staff does not have a recommended action, other than for Council to hear and decide the appeal.

EXECUTIVE SUMMARY:

Conditional Use Permit PZ-19-00204-03 was proposed to allow a Planned Residential Development consisting of 39 multi-family residential units on 2.77 acres located at 2490 S Woody Mountain Road within the Highway Commercial (HC) zone.

Section 10-40.30.040.B of the Flagstaff Zoning Code (Page 40.30-15), *Allowed Uses*, identifies Planned Residential Development (PRD) as an allowed land use in the Highway Commercial (HC) zone subject to the approval of a Conditional Use Permit (CUP) by the Planning and Zoning Commission. In addition, Section 10-40.60.280 of the Flagstaff Zoning Code (Page 40.60-52), *Planned Residential Development*, lists additional requirements for the PRD related to building types and open space.

Council's role is to review the information presented, hear from the applicant and the public, and make a decision on the CUP application in accordance with the findings.

INFORMATION:

I. Required Findings

The City Council may approve the Conditional Use Permit only after making a finding that:

A. Finding #1:

The conditional use is consistent with the objectives of the Zoning Code and the purpose of the Zone in which the site is located.

"The Highway Commercial (HC) zone applies to areas of the City appropriate for a full range of automobile-oriented services. The development of commercial uses in addition to residential uses is encouraged in the HC zone to provide diversity in housing choices; provided, that residential uses are located above or behind commercial buildings so that they are buffered from adjoining highway

corridors. The provisions of this zone are also intended to provide for convenient, controlled access and parking, without increasing traffic burdens upon the adjacent streets and highways. This zone is designated primarily at the commercial corridors of the City, with the intention of making the City more attractive as a tourist destination while providing needed commercial activity.”

The proposed Planned Residential Development land use is a permitted use in the Highway Commercial (HC) zone with the issuance of a Conditional Use Permit. The residential uses are not part of a mixed-use development (which would be permitted without a CUP) and are not located above or behind a commercial building on this site. The buildings are buffered from the adjacent highway and arterial road corridor through the integration of the site into the Presidio in the Pines development creating a buffer for the proposed residential development. Because access to the arterial corridor is limited for this site, the viability of the site being developed for commercial uses is limited.

B.Finding #2

That granting the conditional use will not be detrimental to the public health, safety, or welfare.

If the proposed project is developed in accordance with City codes, standards, and requirements, the project should not be detrimental to the public health, safety, or welfare.

C.Finding #3

The characteristics of the conditional use as proposed, and as it may be conditioned, are reasonably compatible with the types of uses permitted in the surrounding area. The Conditional Use Permit shall be issued only when the Planning Commission finds that the Applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area (Flagstaff Zoning Code Section 10-20.40.050.E.3):

- *Access, traffic, and pedestrian, bicycle, and vehicular circulation;*
- *Adequacy of site and open space provisions, including resource protection standards, where applicable;*
- *Noise, light, visual, and other pollutants;*
- *Proposed style and siting of structure(s), and relationship to the surrounding neighborhood;*
- *Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements;*
- *Impact on public utilities;*
- *Signage and outdoor lighting;*
- *Dedication and development of streets adjoining the property; and*
- *Impacts on historical, prehistoric, or natural resources.*

1.Access and Traffic; Pedestrian, Bicycle, and Vehicular Circulation

Access to the site is provided from Presidio Drive South. No traffic impact analysis was required for this development as the density falls within the range of the of the original development approvals for Presidio in the Pines which already mitigated its anticipated traffic impacts. Pedestrian walkways are provided from the sidewalk along Presidio Drive South to each of three proposed buildings as well as to the other features on site including parking and trash facilities.

The project is required to provide 73 off-street parking spaces; 74 spaces are provided on the site plan. The project must also provide four (4) ADA accessible spaces and two (2) EV-ready spaces as part of the 74 total spaces. The project is providing 12 bicycle parking spaces, which at 16% of the required off-street parking spaces is greater than the 5% required by the Zoning Code. The bike racks are distributed evenly across the three buildings (four racks per building).

2.Adequacy of Site/Open Space/Resource Provisions

The development has a proposed density of 14.09 units per acre, which exceeds the minimum ten (10) dwelling units per acre required by the Zoning Code and falls under the maximum allowed density of 29 units per acre. As previously mentioned, this development is proposed to use the T4N.2 development standards through the Planned Residential Development option. Section 10-40.40.080.A of the Zoning Code (Page 40.40-25) indicates that the primary intent is to create new walkable urban neighborhoods that are in character with established neighborhoods through the integration of small footprint, medium density building types that are likely smaller than those found in other zones.

Section 10-50.110.150 of the Zoning Code (Page 50.110-20) establishes specific development standards for Courtyard Apartments within a transect zone. These standards include setbacks that are reduced from the traditional zoning districts. This development proposal meets the criteria of the Courtyard Apartment standards.

In accordance with Section 10-50.90.020.A of the Zoning Code (Page 50.90-2), the subject property is located within the established Resource Protection Overlay (RPO) zone. When Presidio in the Pines was initially entitled and platted, a Tree Resource Plan was submitted to and approved by the City. Specific resources were not identified for this site and a specific resource protection plan for this site was provided in conjunction with the site plan for this application. The development is required to preserve 30% of the resource trees; the approved resource protection plan shows the applicant will preserve 35.11% of the tree resources on site.

3.Noise, Light, Visual, and Other Pollutants

In accordance with Section 10-50.70.040.B of the Zoning Code (Page 50.70-4), this development is located within Lighting Zone 2. In accordance with Table 10-50.70.050.A of the Zoning Code (Page 50.70-6), the maximum total lumens within Zone 2 is 50,000 lumens per acre. Lighting compliance will be ensured during the building permit review process. A preliminary lighting plan has been provided and is attached to this report.

It is not anticipated that the proposed development will generate noise, light, visual, or other pollutants.

4.Style and Siting of Structure(s) and Relationship to Surrounding Neighborhood

The approved Site Plan (PZ-19-00204-01) for Tract M proposes 39 residential units distributed across three (3) 5,000 square foot, 3-story buildings. The project will be developed as a Planned Residential Development, which requires the applicant to apply Transect Zone, Building Type, and Private Frontage Type standards. The project will use T4N.2 Transect Zone, Courtyard Apartment Building Type, and Forecourt Private Frontage Type standards.

The 39 units result in a density of 14.09 units per acre, which is within the permitted range of 10-22 units per acre for properties in the HC Zone with the Resource Protection Overlay. There are 13 units per building, which range from approximately 500 to 1,300 square feet:

- Studio: 1 unit per building / 3 units total
- 1 BR: 4 units per building / 12 units total
- 2 BR: 6 units per building / 18 units total
- 3 BR: 2 units per building / 6 units total

The three proposed buildings are located on the northwestern half of the property with the parking areas located internal to the site. The Site Plan also identifies land shown in the Regional Plan for future ADOT right of way to allow on/off ramps at I-40 and Woody Mountain Road. No housing or parking is proposed to be in that area. The site is located at the southernmost entrance to the Presidio in the Pines master planned development. The site obtains access through the Presidio development off Presidio Drive South. The surrounding neighborhood consists of attached and detached single-family residential

units that are no more than 2-stories in height.

5.Landscaping and Screening

The site is proposed to be landscaped in accordance with the requirements of the Zoning Code. Fencing already exists at the back of the adjacent single-family residential units. Additional landscaping was requested at one of the neighborhood meetings. The applicant followed up with a revised landscape plan at the second neighborhood meeting. This additional landscaping should be included as a condition of approval as it was not considered during the site plan review process.

6.Impact on Public Utilities

The proposed development has no additional impact to City utilities that was not previously accounted for in the master planning and development of Presidio in the Pines.

7.Signage and Outdoor Lighting

No signage is proposed for this use. Outdoor lighting will be reviewed through a separate permit in conjunction with the building permit application should this Conditional Use Permit be approved.

8.Dedication and Development of Streets

No dedication or development of public streets is required.

9.Impacts on Resources

This site is not currently listed on any state or federal historic registry, nor does the site have any other historical significance. As previously mentioned, the site is located within the Resource Protection Overlay zone.

Conditions of approval will only be imposed if they are necessary to ensure the intent and purpose of the Zoning Code are met; to ensure compatible and complementary development of the property; and to ensure the provision of appropriate off-site improvements will be fulfilled.

Attachments:	<u>Planning Commission Staff Report</u>
	<u>Draft CUP</u>
	<u>Draft P&Z Notice of Decision</u>
	<u>Prop 207 Waiver</u>
	<u>Site Plan Approval Letter</u>
	<u>Site Plan Conditions of Approval</u>
	<u>Public Comments</u>
	<u>Public Comments.2</u>
	<u>Application and Narrative</u>
	<u>Neighborhood Meeting Plan</u>
	<u>Public Participation Report</u>
	<u>Civil Site Plan</u>
	<u>Landscape Plan</u>
	<u>Building Elevations</u>
	<u>Floor Plans</u>
	<u>Preliminary Lighting Plan</u>
	<u>Letter from Applicant</u>

PLANNING AND DEVELOPMENT SERVICES REPORT
CONDITIONAL USE PERMIT

PUBLIC HEARING
PZ-19-00204-03

DATE: **August 5, 2021**
MEETING DATE: **August 25, 2021**
REPORT BY: **Tiffany Antol, AICP**

REQUEST:

A Conditional Use Permit request from Miramonte Presidio LLC to establish a Planned Residential Development (PRD) on Tract M within the Presidio in the Pines master planned development. The PRD consists of 39 multi-family residential units on 2.77 acres located at 2940 S Woody Mountain Road within the Highway Commercial (HC) zone.

STAFF RECOMMENDATION:

In accordance with the findings presented in this report, staff recommends approval of PZ-19-00204-03 with conditions.

PRESENT LAND USE:

Undeveloped.

PROPOSED LAND USE:

A Planned Residential Development (PRD) consisting of 39 multi-family residential units.

NEIGHBORHOOD DEVELOPMENT:

North: Presidio in the Pines master planned development, High Density Residential

East: Presidio in the Pines master planned development, High Density Residential

South: Interstate 40

West: Timber Sky master planned development, Residential Single-Family

I. Project Introduction

A. Background/Introduction

Section 10-40.30.040.B of the Flagstaff Zoning Code (Page 40.30-15), *Allowed Uses*, identifies Planned Residential Development (PRD) as an allowed land use in the Highway Commercial (HC) zone subject to the approval of a Conditional Use Permit (CUP) by the Planning and Zoning Commission. In addition, Section 10-40.60.280 of the Flagstaff Zoning Code (Page 40.60-52), *Planned Residential Development*, lists additional requirements for the PRD related to building types and open space.

The subject property is currently zoned Highway Commercial (HC). Presidio in the Pines was planned and developed using the Traditional Neighborhood District (TND) standards found within the previous Land Development Code. When the Zoning Code was adopted, the TND standards were carried forward in the form of transect zones. While multi-family residential is not specifically permitted within the HC zone, it is permitted as part of a Planned Residential Development (PRD) with the issuance of a CUP. The Zoning Code established the PRD as a mechanism to allow the development of specific transect zone building types (i.e., townhouse, duplex, courtyard apartments, etc.) in non-transect zones. These specific building types, however, are dependent on transect development standards. As such,

this development proposes the use of T4 Neighborhood 2 (T4N.2) transect zone development standards.

Staff recognizes that the proposed courtyard apartments are a departure from the master plan; however, it must be noted that Presidio was the first project within Flagstaff to utilize and implement new urbanism designs. A traditional component of new urbanism design is the designation of commercial development internal to a project. Throughout the country some of these commercial areas were developed and, based on many factors, it was found that over time most internal commercial developments were not economically successful. The largest contribution factor was the lack of sustained traffic, both vehicular and pedestrian, to support the uses. This created a lot of discussion within the new urbanism community. Subsequently, the Congress of New Urbanism (CNU) concluded that such commercial uses/form should continue to be included in new urbanism designs but should be located on the exterior of the development when abutting major transportation corridors. In response, the CNU made changes to the Smart Code principles to implement this revised strategy.

While this location is located on the periphery of the Presidio in the Pines master planned development along a future arterial corridor, access to the site is only possible from the internal residential street due to the preservation of required resources and possible right-of-way acquisition for a future interchange. Commercial development is best focused with the Urban Activity Center located at the intersection of Woody Mountain Road and W Route 66. Staff believes this minor change in land use within Presidio continues the principles of mixed-use new urbanism by including multi-family residential which typically includes mixed land uses, compact urban form, infill, minimum densities, walkable neighborhoods, affordable/mixed income housing, neighborhood conservation, and multi-modal transportation.

On May 18, 2004, the City Council approved Ordinance No. 2004-05 that rezoned approximately 91 acres of property from the Rural Residential (RR) Zone as follows: approximately 77 acres to the High Density Residential (HR) Zone, approximately 1 acre to the Single-Family Residential (R1) Zone (formerly known as Urban Residential (UR) Zone), and approximately 13 acres to the Highway Commercial (HC) Zone (formerly known as Urban Commercial (UC) Zone).

On May 18, 2004, the City Council approved Resolution No. 2004-40 that entered the City into a Development Agreement that included the Presidio in the Pines Development Master Plan. A copy of the recorded Development Agreement, with included Development Master Plan, is on file and available for inspection with the Community Development Department. Subsequently, the Development Agreement has been amended four times by the City Council. The most recent amendment entitled the "Fourth Supplement to the Development Agreement" was approved December 2, 2020. This amendment changed the required land use of Tract M from Church or other Community Use to allow for additional residential development. This amendment consisted of three main points: 1) Tract M will be developed as for-sale, condominium, multi-family development as set forth in the approved Presidio in the Pines Tract M Site Plan, subject to the requirement for a Conditional Use Permit and other requirements of City Code; 2) Developer agrees to form a homeowners' association (HOA) for the project; the Condominium Declarations will include a provision requiring any lease period to be a minimum of thirty (30) days; and 3) Developer agrees to designate a minimum of 10% of the total units to be sold at or below 100% of the Area Median Income ("AMI").

The Final Plat of Presidio in the Pines, which included Tract M, was approved by the City Council and was recorded on May 19, 2005. Development was anticipated to include 470 residential units, construction of the entire on-site private and public roadway system, construction of the required improvements to Woody Mountain Road, construction of the entire on-site public water and sewer systems, construction of the required off-site public water and sewer improvements, and construction of the entire stormwater detention system.

Residential development is permitted within the Highway Commercial (HC) zoning district either as a mixed-use project or as a Planned Residential Development with the issuance of a Conditional Use Permit (CUP) by the Planning

& Zoning Commission. The Planned Residential Development option allows the property owner to propose a wide range of residential development in accordance with the Zoning Code. The property owner, based on current market conditions and existing surrounding uses, is proposing the development of 39 multi-family residential units in three (3), three (3) story courtyard apartment buildings. The applicant intends to submit a condominium plat for the 39-units if the Conditional Use Permit is approved.

II. Required Findings

The Planning Commission may approve the Conditional Use Permit only after making a finding that:

A. Finding #1:

The conditional use is consistent with the objectives of the Zoning Code and the purpose of the Zone in which the site is located.

“The Highway Commercial (HC) zone applies to areas of the City appropriate for a full range of automobile-oriented services. The development of commercial uses in addition to residential uses is encouraged in the HC zone to provide diversity in housing choices; provided, that residential uses are located above or behind commercial buildings so that they are buffered from adjoining highway corridors. The provisions of this zone are also intended to provide for convenient, controlled access and parking, without increasing traffic burdens upon the adjacent streets and highways. This zone is designated primarily at the commercial corridors of the City, with the intention of making the City more attractive as a tourist destination while providing needed commercial activity.”

The proposed Planned Residential Development land use is a permitted use in the Highway Commercial (HC) zone with the issuance of a Conditional Use Permit. The residential uses are not part of a mixed-use development (which would be permitted without a CUP) and are not located above or behind a commercial building on this site. The buildings are buffered from the adjacent highway and arterial road corridor through the integration of the site into the Presidio in the Pines development creating a buffer for the proposed residential development. Because access to the arterial corridor is limited for this site, the viability of the site being developed for commercial uses is limited.

B. Finding #2

That granting the conditional use will not be detrimental to the public health, safety, or welfare.

If the proposed project is developed in accordance with City codes, standards, and requirements, the project should not be detrimental to the public health, safety, or welfare.

C. Finding #3

The characteristics of the conditional use as proposed, and as it may be conditioned, are reasonably compatible with the types of uses permitted in the surrounding area. The Conditional Use Permit shall be issued only when the Planning Commission finds that the Applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area (Flagstaff Zoning Code Section 10-20.40.050.E.3):

- *Access, traffic, and pedestrian, bicycle, and vehicular circulation;*
- *Adequacy of site and open space provisions, including resource protection standards, where applicable;*
- *Noise, light, visual, and other pollutants;*
- *Proposed style and siting of structure(s), and relationship to the surrounding neighborhood;*
- *Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable*

minimum requirements;

- *Impact on public utilities;*
- *Signage and outdoor lighting;*
- *Dedication and development of streets adjoining the property; and*
- *Impacts on historical, prehistoric, or natural resources.*

1. Access and Traffic; Pedestrian, Bicycle, and Vehicular Circulation

Access to the site is provided from Presidio Drive South. No traffic impact analysis was required for this development as the density falls within the range of the of the original development approvals for Presidio in the Pines which already mitigated its anticipated traffic impacts. Pedestrian walkways are provided from the sidewalk along Presidio Drive South to each of three proposed buildings as well as to the other features on site including parking and trash facilities.

The project is required to provide 73 off-street parking spaces; 74 spaces are provided on the site plan. The project must also provide four (4) ADA accessible spaces and two (2) EV-ready spaces as part of the 74 total spaces. The project is providing 12 bicycle parking spaces, which at 16% of the required off-street parking spaces is greater than the 5% required by the Zoning Code. The bike racks are distributed evenly across the three buildings (four racks per building).

2. Adequacy of Site/Open Space/Resource Provisions

The development has a proposed density of 14.09 units per acre, which exceeds the minimum ten (10) dwelling units per acre required by the Zoning Code and falls under the maximum allowed density of 29 units per acre. As previously mentioned, this development is proposed to use the T4N.2 development standards through the Planned Residential Development option. Section 10-40.40.080.A of the Zoning Code (Page 40.40-25) indicates that the primary intent is to create new walkable urban neighborhoods that are in character with established neighborhoods through the integration of small footprint, medium density building types that are likely smaller than those found in other zones.

Section 10-50.110.150 of the Zoning Code (Page 50.110-20) establishes specific development standards for Courtyard Apartments within a transect zone. These standards include setbacks that are reduced from the traditional zoning districts. This development proposal meets the criteria of the Courtyard Apartment standards.

In accordance with Section 10-50.90.020.A of the Zoning Code (Page 50.90-2), the subject property is located within the established Resource Protection Overlay (RPO) zone. When Presidio in the Pines was initially entitled and platted, a Tree Resource Plan was submitted to and approved by the City. Specific resources were not identified for this site and a specific resource protection plan for this site was provided in conjunction with the site plan for this application. The development is required to preserve 30% of the resource trees; the approved resource protection plan shows the applicant will preserve 35.11% of the tree resources on site.

3. Noise, Light, Visual, and Other Pollutants

In accordance with Section 10-50.70.040.B of the Zoning Code (Page 50.70-4), this development is located within Lighting Zone 2. In accordance with Table 10-50.70.050.A of the Zoning Code (Page 50.70-6), the maximum total lumens within Zone 2 is 50,000 lumens per acre. Lighting compliance will be ensured during the building permit review process. A preliminary lighting plan has been provided and is attached to this report.

It is not anticipated that the proposed development will generate noise, light, visual, or other pollutants.

4. Style and Siting of Structure(s) and Relationship to Surrounding Neighborhood

The approved Site Plan (PZ-19-00204-01) for Tract M proposes 39 residential units distributed across three (3) 5,000 square foot, 3-story buildings. The project will be developed as a Planned Residential Development, which requires the applicant to apply Transect Zone, Building Type, and Private Frontage Type standards. The project will use T4N.2 Transect Zone, Courtyard Apartment Building Type, and Forecourt Private Frontage Type standards.

The 39 units result in a density of 14.09 units per acre, which is within the permitted range of 10-22 units per acre for properties in the HC Zone with the Resource Protection Overlay. There are 13 units per building, which range from approximately 500 to 1,300 square feet:

- Studio: 1 unit per building / 3 units total
- 1 BR: 4 units per building / 12 units total
- 2 BR: 6 units per building / 18 units total
- 3 BR: 2 units per building / 6 units total

The three proposed buildings are located on the northwestern half of the property with the parking areas located internal to the site. The Site Plan also identifies land shown in the Regional Plan for future ADOT right of way to allow on/off ramps at I-40 and Woody Mountain Road. No housing or parking is proposed to be in that area. The site is located at the southernmost entrance to the Presidio in the Pines master planned development. The site obtains access through the Presidio development off Presidio Drive South. The surrounding neighborhood consists of attached and detached single-family residential units that are no more than 2-stories in height.

5. Landscaping and Screening

The site is proposed to be landscaped in accordance with the requirements of the Zoning Code. Fencing already exists at the back of the adjacent single-family residential units. Additional landscaping was requested at one of the neighborhood meetings. The applicant followed up with a revised landscape plan at the second neighborhood meeting. This additional landscaping should be included as a condition of approval as it was not considered during the site plan review process.

6. Impact on Public Utilities

The proposed development has no additional impact to City utilities that was not previously accounted for in the master planning and development of Presidio in the Pines.

7. Signage and Outdoor Lighting

No signage is proposed for this use. Outdoor lighting will be reviewed through a separate permit in conjunction with the building permit application should this Conditional Use Permit be approved.

8. Dedication and Development of Streets

No dedication or development of public streets is required.

9. Impacts on Resources

This site is not currently listed on any state or federal historic registry, nor does the site have any other

historical significance. As previously mentioned, the site is located with the Resource Protection Overlay zone.

Conditions of approval will only be imposed if they are necessary to ensure the intent and purpose of the Zoning Code are met; to ensure compatible and complementary development of the property; and to ensure the provision of appropriate off-site improvements will be fulfilled.

III. Citizen Participation

The applicant held the required neighborhood meetings to discuss the proposed Conditional Use Permit application on May 10, 2021, and June 7, 2021, using the Zoom platform. The applicant posted a sign on the property regarding the meeting and sent letters to all neighboring property owners within the Presidio in the Pines development, in addition to the City Registry of Interested Persons. There were 25 attendees at the first meeting and 40 attendees at the second meeting. A summary of the meeting and comments received is attached to this report. Staff has received 14 written comments in opposition to this case and a petition with 60 signatures opposing the application, all of which are attached to this report. Concerns presented to staff focused on lack of parking, traffic congestion, the buildings not fitting the neighborhood because of the height, introduction of college students, community was promised a church or community facility and the proposed project does not serve the community, short term rentals and drainage issues.

IV. Recommendation:

The Inter-Division Staff (IDS) team approved the site plan for this project on September 25, 2021 (conditions attached). Staff recommends that the request for the CUP be granted by the Planning and Zoning Commission with the requirements included in Conditional Use Permit No. PZ-19-00204-03 and as follows:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application and with the Site Plan as approved by the Inter-Division Staff on September 25, 2020. Modifications to the approved site plan shall require additional review by the IDS team.
2. Additional landscaping along the eastern boundary of the property shall be installed as was presented in the required neighborhood meeting.
3. All parking shall be assigned to the individual condominium units. All parking on adjacent private streets shall be subject to the Homeowners Association parking requirements and violations.

V. Attachments:

The draft documents have been prepared in accordance with the staff recommendation and do not indicate the Commission's final decision. These documents will be updated after the public hearing on this case to reflect the Commission's decision.

- Draft Conditional Use Permit No. PZ-19-00204-03
- Draft Notice of Decision
- Proposition 207 waiver
- Site Plan Conditions of Approval
- Public Comments
- Conditional Use Permit Application
 - Narrative
 - Public Participation Plan
 - Public Participation Report
 - Site Plan
 - Landscape Plan
 - Building Elevation
 - Floor Plans

PZ-19-00204-03
August 5, 2021

- Preliminary Lighting Plan

**COCONINO COUNTY, ARIZONA RECORDER
CONDITIONAL USE PERMIT
FROM GRANTOR: CITY OF FLAGSTAFF
COCONINO COUNTY, ARIZONA
OFFICE OF PLANNING AND ZONING
TO GRANTEE: MIRAMONTE PRESIDIO LLC**

Permit No. PZ-19-00204-03
September 4, 2021

Permission is hereby granted to Miramonte Presidio LLC to establish a Planned Residential Development (PRD) use pursuant to Section 10-40.30.040.B of the *Flagstaff Zoning Code* on Tract M within the Presidio in the Pines master planned development. The PRD consists of 39 multi-family residential units on approximately 2.77 acres located at 2940 S Woody Mountain Road in the Highway Commercial Zone, and legally described as Coconino County Assessor parcel number 112-62-483 in the city of Flagstaff, Arizona.

After a public hearing held on August 25, 2021, the Planning and Zoning Commission voted to grant this Conditional Use Permit subject to the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application and with the Site Plan as approved by the Inter-Division Staff on September 25, 2020. Modifications to the approved site plan shall require additional review by the IDS team.
2. Additional landscaping along the eastern boundary of the property shall be installed as was presented in the required neighborhood meeting.
3. All parking shall be assigned to the individual condominium units. All parking on adjacent private streets shall be subject to the Homeowners Association parking requirements and violations.

Furthermore, this permit is issued on the express condition that the use permitted herein shall conform in all relevant respects to the ordinances of the City of Flagstaff and the laws of the State of Arizona.

Any and all conditions endorsed on this permit are subject to periodic review by the City of Flagstaff's Planning Director. Following review, the Planning and Zoning Commission shall be notified when the conditions of operation imposed in the approval and issuance of this permit have not been or are not being complied with.

The Planning and Zoning Commission shall consider the matter of revocation and set the permit for public hearing. If the Planning and Zoning Commission finds, following the public hearing, that the conditions imposed in the issuance of this permit are not being complied with, this permit may be revoked and further operation of the use for which this permit was approved shall constitute a violation of the Zoning Code.

This Conditional Use Permit shall become null and void one (1) year from the effective date of September 4, 2021, unless the following shall have occurred:

1. A building permit has been issued and construction begun and diligently pursued; or
2. The approved use has been established; or
3. An extension has been granted by the Planning and Zoning Commission. Such extension shall be for a maximum of one hundred eighty (180) days and no extension may be granted which would extend the validity of the permit more than eighteen (18) months beyond the date of approval of the permit.
4. Property Owner shall sign Consent to Conditions/Waiver for Diminution of Value form as a condition of issuance of the Conditional Use Permit by the City.
5. Development of the use shall not be carried out until the applicant has secured all other permits and approvals required by the Zoning Code, the City, or applicable regional, State, and federal agencies.

This document ___ does modify, or X does not modify the provisions of a previous Conditional Use Permit recorded in docket _____, Office of the Coconino County, Arizona, Recorder.

Planning Director, City of Flagstaff

By: _____
Applicant (if other than the property owner)

STATE OF ARIZONA)
) ss
County of _____)

Before me, the undersigned Notary Public, personally appeared _____ who executed the foregoing document for the purposes contained therein.

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2021.

Notary Public

My Commission expires: _____

By: _____
Property Owner

STATE OF ARIZONA)
) ss
County of _____)

Before me, the undersigned Notary Public, personally appeared _____ who
executed the foregoing document for the purposes contained therein.

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2021.

Notary Public

My Commission expires: _____



City of Flagstaff

August 26, 2021

Mr. Chris Kemmerly
Miramonte Presidio LLC
102 S Mikes Pike
Flagstaff, AZ 86001

RE: **NOTICE OF DECISION** – Conditional Use Permit No. PZ-19-00204-03

Dear Mr. Kemmerly:

The Planning Commission, in accordance with Section 10-20.40.050 of the Flagstaff Zoning Code, has considered the request of Miramonte Presidio LLC for a Conditional Use Permit on the property at 2940 S Woody Mountain Road (APN 112-62-483) in the HC, Highway Commercial Zoning District, to allow the establishment of 39 multi-family residential units square through the Planned Residential Development use as provided in Section 10-40.30.040.B of the City of Flagstaff Zoning Code.

The Planning Commission held a public hearing on August 25, 2021, regarding this Conditional Use Permit. The Commission found and determined that, based on the information provided in the staff report dated August 5, 2021, and at the public hearing, the facts exist as required by Section 10-20.40.050.F of the Zoning Code to justify **granting/denying** the Conditional Use Permit.

Based upon the aforementioned findings, the Commission **approved/denied** a Conditional Use Permit by a vote of () for the use and location described above subject to the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application and with the Site Plan as approved by the Inter-Division Staff on September 25, 2020. Modifications to the approved site plan shall require additional review by the IDS team.
2. Additional landscaping along the eastern boundary of the property shall be installed as was presented in the required neighborhood meeting.
3. All parking shall be assigned to the individual condominium units. All parking on adjacent private streets shall be subject to the Homeowners Association parking requirements and violations.

The above conditions are deemed by the Commission to be required to assure that the requested use will be compatible with neighboring uses and the growth and development of the area.

This action becomes final and effective ten (10) calendar days after the posting of this Notice of Decision on September 4, 2021, unless during these ten (10) days a written appeal to the City Clerk is filed or the City Council elects to review the application. Either appeal or City Council review shall stay the Conditional Use Permit until the City Council holds the required public hearing to consider the request.

Should you have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely,

Tiffany Antol, Planning Development Manager
Planning & Development Services
P. 928-213-2605
tantol@flagstaffaz.gov

cc: Current Planning Manager, City Clerk, City Council

211 West Aspen Avenue, Flagstaff, Arizona 86001

When recorded, mail to:
City Clerk
City of Flagstaff
211 W. Aspen Avenue
Flagstaff, Arizona 86001

CONSENT TO CONDITIONS/WAIVER FOR DIMINUTION OF VALUE

The undersigned is the owner of certain real property legally described as Coconino County Assessor parcel number 112-62-483 in the city of Flagstaff, Arizona, that is the subject of Conditional Use Permit Application No. PZ-19-00204-03. By signing this document, the undersigned agrees and consents to all of the conditions imposed by the City of Flagstaff in conjunction with the approval of Conditional Use Permit No. PZ-19-00204-03 and waives and fully releases any and all claims and causes of action that the owner may have, now or in the future, for any "diminution in value" and for any "just compensation" under the Private Property Rights Protection Act, Arizona Revised Statutes § 12-1131, et seq., that may now or in the future exist as a result of the approval of Conditional Use Permit No. PZ-19-00204-03. Within ten (10) days after the execution of this Consent to Conditions/Waiver for Diminution of Value by the undersigned, the City Clerk shall cause this document to be recorded in the official records of Coconino County, Arizona.

Dated this _____ day of _____, 2021

PROPERTY OWNER:

Print Name

Sign Name

State of Arizona)
) ss
County of _____)

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2021, by:

Notary Public

My commission expires: _____



City of Flagstaff

Community Development

September 25, 2020

Jack Kemmerly
Miramonte Presidio LLC
4575 N. 1st Ave, #160
Tucson, AZ 85718

RE: Presidio in the Pines Tract M Site Plan Approval (PZ-19-00204-01)

Dear Jack:

As of the date of this correspondence, the City of Flagstaff Inter-Division Staff (IDS) has approved Project No. PZ-19-00204-01 for the proposed development of three buildings (19,650 square feet total) as multifamily housing using Planned Residential Development standards. The project is located at 2940 S. Woody Mountain Rd. and the Coconino County Assessor Parcel Number for the subject property is 112-62-483. The approval is subject to the attached Conditions of Approval, in addition to the following: 1) City Council approval of a resolution to modify the original Development Agreement for this site to allow a multi-family housing use; and 2) Planning and Zoning Commission approval of Conditional Use Permit to allow the multi-family housing use proposed in this site plan.

Unless modified to comply with the Conditions of Approval, development shall substantially conform to the Site Plan Review Submittal and the approved drawings as follows:

- Site Plan prepared by Mogollon Engineering & Surveying, Inc. dated April 6, 2020, and updated September 17, 2020.
- Landscape & Irrigation Plan prepared by Acuña Coffeen Landscape Architects dated September 17, 2020.
- Floor plans prepared by GLHN Architects & Engineers, Inc. dated January 24, 2020.
- Building Elevations prepared by GLHN Architects & Engineers, Inc. dated April 18, 2019.

This approval shall be valid for a period of one year following the above date, September 24, 2021. If, at the expiration of this period, the property has not been improved for the approved development; or a certificate of occupancy has not been issued; or the site has not been occupied per Zoning Code section 10-20.40.140, the Site Plan approval shall expire. A request for extension may be made at least 30 days prior to the date of expiration.

Any future alterations of the approved development will require approval from the Current Planning staff. This may include a Minor Modification to Development Approval, a Minor Improvement Permit, or a new Concept Plan Review; as well as any additional permits required.

The next step in the development process is to amend the Development Agreement and obtain a Conditional Use Permit. Once these items are approved, the project will move to Civil Improvement Plan ("Civil") review. Prior to Civil submittal, please contact the Development Engineering Project Manager assigned to the project, Dana Cole, to schedule a meeting to discuss the application submittal requirements, the review process, and timing of reviews. Dana can be reached at (928) 213-2703 or via e-mail at dcole@flagstaffaz.gov.

I look forward to working with you and your development team through the process to update the Development Agreement, and obtain a Conditional Use Permit, followed by the Civil review process, Building Permit review process, and construction/completion of the approved project. Should you have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely;



Genevieve Pearthree
Planning Development Manager
City of Flagstaff Current Planning
928-213-2603
gpearthree@flagstaffaz.gov

Attachment: Conditions of Approval



City of Flagstaff Community Development Site Plan Review Comments

Project Name: Presidio in the Pines Tract M
Project No.: PZ-19-00204-01
Project Address: 2940 S. Woody Mountain Rd.

Date: September 25, 2020

Application Type: Site Plan
Review Type: Substantive
Review Number: 2

Project Manager: Genevieve Pearthree
E-mail: gpearthree@flagstaffaz.gov
Phone: 928-213-2603

Status of Review: Approved with Conditions
The Inter-Division Staff (IDS) Review has approved the Site Plan application for Presidio in the Pines Tract M subject to the conditions and comments listed below. These comments are delivered to the applicant on day 15 of the 22-day Substantive Review Period in accordance with ARS 9-835(J).

Project Summary

The applicant proposes to build a 39-unit multifamily residential project on 2.77 acres in the HC (Highway Commercial) Zone at 2940 S. Woody Mountain Rd. (APN 112-62-483). This project is located on Tract M of the Presidio in the Pines VI subdivision. The applicant proposes to use the Planned Residential Development (PRD) mechanism to develop three 3-story apartment buildings, some of which are split-level, using the following standards: T4.N2 Transect Zone, Apartment Building Type, and Forecourt Private Frontage Type. The buildings total 19,650 sq. ft., and residential units will range from 514 – 1,064 sq. ft., the density per acre is 14.09 units, and the lot coverage is 12.6%. The applicant intends to plat these units as condominiums.

A PRD in the HC zone requires the applicant to obtain a Conditional Use Permit (CUP) as a condition of Site Plan approval. Further, the original Development Agreement for the Presidio in the Pines subdivision identified the subject parcel as a Church Site, but stated “in the event that the Church Site... is not developed as a church use, alternative development of the Church Site shall be limited to neighborhood indoor uses permitted in the Urban Commercial zoning district as defined in Section 10-03-002-0004(B) of the Land Development Code.” This means that City Council must approve an amendment to the original Development Agreement to accommodate the new multifamily residential use.

The property is in a Resource Protection Overlay Zone and has an existing Tree Resource Preservation Easement from the original subdivision plat that will not be disturbed as part of the construction of this project. Further, the Regional Plan shows a traffic interchange at Woody Mountain Rd. and I-40. Thus, the applicant is showing potential future ADOT right of way and has located all development outside that area.



City of Flagstaff
Community Development
Site Plan Review Comments

CONDITIONS/COMMENTS:

Current Planning:

Second Review, **Approved with Conditions**, 9/25/20

Genevieve Pearthree, Planning Development Manager

Conditions of Approval

1. Staff approval of this project is contingent on the following:
 - a. City Council approval of a resolution to modify the original Development Agreement for this site to allow a multi-family housing use.
 - b. Planning and Zoning Commission approval of Conditional Use Permit to allow multifamily housing (as a Planned Residential Development) to be built on this HC-zoned site.
2. Please address the following at Civil Plans:
 - a. Landscaping Standards ([10-50.60](#)):
 - i. Parking Area interior landscaping
 1. Provide 1 tree, two shrubs, and two ground cover in the parking lot peninsula next to the ADA spaces by building 1. Landscaping requirements are for each parking lot peninsula to have this amount of landscaping.
 - ii. Staff encourages planting a few more trees and/or shrubs and/or groundcover in the center parking lot island, since there is quite a large bare spot on the side closest to buildings 2 and 3.
3. Please address the following at Building Permit:
 - a. Architectural Design Standards ([10-50.20](#))
 - i. The windows still are required to be recessed. Ideally, they would be at least 1.5" back from building face, so that the windows are recessed in proportion to the building size as required in the Architectural Design Standards. However, Staff understands that recessed windows can be tricky given modern window construction. Therefore, Staff is willing to work with you to be creative to meet the intent of this section of the Zoning Code, such as using thicker trim.
 - ii. So, please propose how you intend to meet this requirement.
 - b. Building Floor Plans
 - i. Clarify/correct the general function or use of each room with building permit for rooms that are mislabeled (for example, some of the rooms are labeled study when they should be bedroom, greatroom, etc.)
 - c. Building Elevations
 - i. All four elevation sheets that were submitted meet the Architectural Design Standards and are approvable.
 - ii. Clarify the building floor plans and elevations that correspond to each building on site (label them Building 1, 2, and 3). Remove the set of elevations that does not correspond to a specific building.

General Comments

1. Fences and Screening ([10-50.50](#))
 - a. All ground and rooftop mounted mechanical and electrical equipment must be screened from public view to the height of the tallest equipment or be enclosed in a building.



City of Flagstaff Community Development Site Plan Review Comments

- i. If there will be any rooftop mounted equipment, the screening materials must be materials architecturally compatible with the finishes and character of the principal structures as shown in Figure 10-50.50.040B, Rooftop Equipment Screening.
 - b. Refuse and recycling containers shall be screened by solid fences or walls constructed to a minimum height of six feet and designed to match the building materials of the primary building on the site and the Engineering Standards.
 - c. All fences and walls not covered under a building permit shall require an approved [Minor Improvement Permit](#) prior to installation.
2. Outdoor Lighting Standards ([10-50.70](#))
 - a. All exterior lighting shall meet the requirements of the City of Flagstaff Outdoor Lighting Standards for shielding, lamp type, and maximum lumen output.
 - i. This project is in Lighting Zone 2, which permits a maximum of 50,000 lumens per acre (or 34,965 lumens per acre if using all LED or NSALED [Narrow-Spectrum Amber LED] luminaires).
 - ii. No more than 10% of the total allowed lumens may be from non NSALED (Narrow Spectrum Amber LED) or non-LPS (Low Pressure Sodium) luminaires.
 - iii. No more than 11% of the total allowed lumens may be partially-shielded. No unshielded lumens are allowed.
 - b. The applicant shall apply for an Outdoor Lighting Permit with Building Permit submittal, and shall have an approved Outdoor Lighting Permit prior to installing outdoor lighting.
3. Sign Standards ([10-50.100](#))
 - a. All signage shall comply with the requirements of this section.
 - b. The applicant will need to obtain an approved Permanent Sign Permit prior to installing any permanent signage.
 - c. Note that freestanding signs that meet the following requirements also need an approved Building Permit prior to installation:
 - i. Ground or pole mounted signs more than 6 feet in height measured from grade to top of sign
 - ii. The aggregate area of all signs on the sign structure measures more than 35 square feet
 - iii. There are electrical (the sign is illuminated).

Future Submittal Requirements/Process

1. Development Agreement amendment (City Council approval)
2. Conditional Use Permit
3. Civil Plans
 - a. Include the bike-rack detail with civil plans
4. Grading Permit
5. Public Improvements Permit
6. Building Permits (can submit concurrently with Civil Plans)
 - a. Submit Outdoor Lighting Permit concurrently
7. Permanent Sign Permit (if applicable)
8. Minor Improvement Permit (if applicable)



City of Flagstaff Community Development Site Plan Review Comments

Building & Safety:

First Review, **Approved**, 4/28/20
Victoria St. Clair, Building Plans Examiner

Engineering:

Second Review, **Approved with Conditions**, 9/24/20
Dana Cole, Development Engineering Project Manager

Conditions of Approval

1. Provide Phase 1 report prior to, or with, the p-plat submittal.

General Comments

1. None

Future Submittal Requirements

1. None

Fire Prevention:

First Review, **Approved with Conditions**, 4/30/20
Kent Snide, Fire Inspector II

Conditions of Approval

1. Additional fire hydrant required in front of Bldg. #1. Hydrant shall be located on the same side of driveway as building #1.

General Comments

1. None

Future Submittal Requirements

1. None

Public Works:

First Review, **Approved**, 4/28/20
Scott Overton, Streets Section Director—Public Works

Water Services:

Second Review, **Approved**, 9/21/20
Jim Davis, Water Services Plan Reviewer

Traffic:

First Review, **Approved**, 4/24/20
Reid Miller, Traffic Engineering Project Manager

Stormwater:

Second Review, **Approved**, 9/23/20



City of Flagstaff Community Development Site Plan Review Comments

Douglas Slover, Project Manager

Housing:

First Review, **Approved**, 4/27/20

Jennifer Mikelson, Housing Analyst

Heritage Preservation/Community Design

First Review, **Approved**, 4/28/20

Mark Reavis, Neighborhood Planner – Heritage Preservation Officer

Conditions of Approval

1. None

General Comments

1. A cultural resource survey had been completed for entire area inclusive of this project area.

Future Submittal Requirements

1. None

Parks:

First Review, **Approved**, 5/6/20

Amy Hagin, Parks Manager

Sustainability

First Review, **Approved**, 5/6/20

Jenny Neimann, Sustainability Specialist

Conditions of Approval

1. None

General Comments

1. The applicant is encouraged to consider the installation of solar panels (also known as photovoltaic, or PV panels), on available roof space. Large buildings such as these residential buildings are the Flagstaff community's best opportunity for the installation of solar infrastructure within city limits. This building's location near the highway to the south and significant height means it has significant solar potential. Solar can benefit developments in several ways, including additional revenue, and tax incentives may be available. APS also currently has programming that may be available to the applicant to support solar installation and provide financial benefits. COF sustainability staff is happy to support the applicant in this process if desired -- feel free to contact us.

Future Submittal Requirements

1. None

Tiffany Antol

From: Andy flagstache <flagstache@gmail.com>
Sent: Saturday, June 5, 2021 5:48 PM
To: cleo@miramontehomes.com
Cc: Tiffany Antol
Subject: Presidio In the Pines-Tract M

Hi,

I have a question about the orientation of the buildings for this project, for the upcoming virtual meeting on June 7.

From the plat, it appears that the walkways and entrances to Buildings 2 and 3 are adjacent to the parking area. Building 1 orientation appears to be a 180 degree opposite of Buildings 2 and 3.

My question: Because of the odd orientation of Building 1, will this encourage residents of Building 1 to use Presidio Dr for parking, rather than the parking area?

Thanks,
Andy Herrock
Email: flagstache@gmail.com

Sent from my BlackBerry - the most secure mobile device

Tiffany Antol

From: Erik Mrdak <erikmrdak90@gmail.com>
Sent: Thursday, June 3, 2021 6:06 PM
To: Tiffany Antol
Subject: Conditional Use Permit - Do Not Support

Good evening,

My name is Erik Mrdak. I live with my wife Ashlynn Mrdak at 2886 W. Presidio Dr. here in Presidio, we closed on our property last year in December. We heard about the Citizen Participation Neighborhood Meeting re: the horrible plan of Miramontes to build three (3) apartment complexes down the street from us.. I can only imagine how the immediate neighbors are digesting this revenue driving venture. We object profusely to a Conditional Use Permit and plan to support those in favor of denying this radical idea. There is already a lack of space, parking and overall rampant congestion throughout Presidio just to name a few of the reasons additional traffic on such a small parcel of land is a bad idea. In addition, could I please be added to the HOA email list as I did not receive this email directly from the HOA or planning developers. My email is erikmrdak90@gmail.com

Have a great weekend
Thank you

Erik Mrdak, CFBE
Executive Director of Food and Beverage
erikmrdak90@gmail.com
P (830) 872-9836

Tiffany Antol

From: Bruce J Higgins <bh021552@gmail.com>
Sent: Thursday, June 3, 2021 12:47 PM
To: Tiffany Antol
Cc: Bruce J Higgins; Bonnie Higgins
Subject: CUP application in Presidio in the Pines

Hi, Tiffany:

I am offering some concerns related to Miramonte's proposal to build 3 condo-style buildings in Presidio in the Pines. I am unable to attend their information meeting next week as I will be working at that time.

1. Miramonte's proposal does not state how many bedrooms are in these three buildings. My best estimate is that there will be 75. Yet there are only 70 parking spaces in the drawing. It is unrealistic to expect there to be less than 75 automobiles associated with this development, let alone 70. A more realistic number of vehicles is probably 100.

Since residents and renters (even in Air BnBs) are required to park off-street, granting this CUP as proposed will guarantee seriously exacerbating a problem we already have here. This problem exists even when snow removal is not ongoing. It is quite likely to lead to even more sidewalks being blocked by vehicles - a daily/nightly parking violation the City has never enforced since we have lived here.

This proposal should accommodate at least 100 parking spaces, or 125% of whatever bed capacity the development will include. And the City should commit to regular enforcement of parking violations that block sidewalks along City streets.

2. My understanding is that there are plans to put on/off ramps at I-40 and Woody Mountain. If so, does this development make that less economical? Raw land is much cheaper to purchase than a new apartment building.

3. If number 2 is not the case, then presumably all the traffic from this development will head out Woody Mountain Road or Kilde Lane to Flag Ranch Rd, with some also going out via Woody Way. The latter case will exacerbate an ongoing issue the City is currently addressing. How will increased traffic on this route affect the City's current plans?

Thanks for your time, Tiffany.
Bruce Higgins

Tiffany Antol

From: Richard Tutwiler <ttutwiler@gmail.com>
Sent: Sunday, June 6, 2021 2:20 PM
To: cle@miramontehomes.com; Tiffany Antol
Subject: Presidio Tract M Public Comment

I am writing to voice my opposition to the proposed development of 39 condominium units on Tract M of the Presidio in the Pines neighborhood.

As a current homeowner in the area, I am rather shocked and appalled that Miramonte would propose to build 3 towers in the middle of a single-family home neighborhood. As the Presidio in the Pines development approaches completion, the addition of high capacity and unsightly "towers" in the middle of our neighborhood screams of a last-second money grab.

These towers do not at all fit the theme and layout of the neighborhood, and the addition of so much additional vehicles poses a serious problem for the area's limited infrastructure (especially when considering the *other* high-cap development across Woody Mountain Road that was fast-tracked), as well as the safety of the children who play and reside in the area. These apartment buildings (or "condominiums," as both the information packet and citizen participation meeting email calls them different things for some reason) are no doubt intended to bring in college students, who will no doubt race through the neighborhood at breakneck speed, and care little about the long-term health and beautification of the neighborhood, as they'll be moving out of it in a couple years anyway.

I'm honestly shocked that the City of Flagstaff Planning Department, and the City Council they report to, would agree to hear this plan. Again, right at the end of the development cycle for Presidio, which has been marketed to potential homeowners as a single-family neighborhood for years. Build more single family homes on the land if you wish, and I will happily support it. But this last-minute cash grab before cutting and running is as unsightly as it is unethical. And it gives me great pause in supporting Miramonte endeavors in the future.

Thank you for consideration in this matter.

Best regards,

Richard Tutwiler

Tiffany Antol

From: CD P and Z Commission
Sent: Thursday, August 5, 2021 9:35 AM
To: Tiffany Antol
Subject: FW: Comment for Project # PZ-19-00204-02

Thanks,
Becky

Becky Cardiff

Development Services Manager
City of Flagstaff
211 W Aspen
Flagstaff, Az 86001
Office-928-213-2618
Working Hours 8-4:30 p.m.

From: claudialareina@tutanota.com <claudialareina@tutanota.com>
Sent: Wednesday, August 4, 2021 1:03 PM
To: CD P and Z Commission <CDPandZCommission@flagstaffaz.gov>
Subject: Comment for Project # PZ-19-00204-02

Hi,

My name is Claudia Deley and I am writing to oppose this development project. The land is burning and this development is not meant to serve the community but, instead, privileged people. Miramonte continues to devastate the land in Flagstaff and Arizona in general with its main intention to make a large profit. There is limited housing in Flagstaff and I can understand the need for more. However, this is NOT LOW-COST HOUSING! This development only increases the wage gaps and class gaps we are seeing all over this country. Please, please stop. The land is not unlimited. Money is a construct and when resources are depleted more and more, money means even less. If Miramonte and potential buyers actually care about the beauty of this land, then actually invest in sustainable, low-cost housing meant to coincide with the land instead of destroying more habitats. Thank you for your time.

Your constituent,
Claudia Deley

--

Sent with Tutanota, the secure & ad-free mailbox.

Tiffany Antol

From: CD P and Z Commission
Sent: Wednesday, August 4, 2021 11:20 AM
To: Tiffany Antol
Subject: FW: Presidio Tract M Parcel #112-62-483

Thanks,
Becky

Becky Cardiff

Development Services Manager
City of Flagstaff
211 W Aspen
Flagstaff, Az 86001
Office-928-213-2618
Working Hours 8-4:30 p.m.

From: David Moorehead <dl1664@bellsouth.net>
Sent: Sunday, August 1, 2021 9:59 AM
To: CD P and Z Commission <CDPandZCommission@flagstaffaz.gov>
Subject: Presidio Tract M Parcel #112-62-483

I am writing to state that my husband and I are **strongly against** Miramonte Homes building the three three story condos in Presidio in the Pines. The addition of these condos do not fit the current neighborhood which has been built over the years. . We would instead like to see either homes built in the area in question or as promised to many homeowners when they purchased in Presidio a Church or a something of this nature. In addition the additional car traffic would be horrific.

Thank you for your time.

Lori McCorry and David Moorehead
Presidio Homeowners

Tiffany Antol

From: CD P and Z Commission
Sent: Wednesday, August 4, 2021 11:20 AM
To: Tiffany Antol
Subject: FW: Presidio in the Pines - Track M

Thanks,
Becky

Becky Cardiff

Development Services Manager
City of Flagstaff
211 W Aspen
Flagstaff, Az 86001
Office-928-213-2618
Working Hours 8-4:30 p.m.

From: Lee Rozell <leerzell65@gmail.com>
Sent: Saturday, July 31, 2021 5:09 PM
To: CD P and Z Commission <CDPandZCommission@flagstaffaz.gov>
Subject: Presidio in the Pines - Track M

All,

As a resident of Presidio in the Pines I should be held accountable to be a good neighbor, be respectful to others, and cherish our community, forest, and city.

Miramonte should be held accountable to provide a quality home, be trustworthy, while doing their best to preserve the god given natural environment that surrounds us.

Elected officials should be held accountable to represent their constituents and ensure their interests are what is best for the whole community.

Residents of Presidio in the Pines were told when they purchased their homes that Track M was going to be used for a church or some sort of community facility for Presidio homeowners - we were misled and lied too. This is unacceptable and Miramonte should be held accountable for their actions. Current residents overwhelmingly are against the building of condos shown by previous letters, emails, and petition signed by residents.

If this project is approved these are some of the challenges and negative issues the current residents are up against.

1. Lack of parking for condo residents- overflowing to adjacent streets
2. Investors buying condos and renting/Airbnb causing lack of facilities and neighborhood upkeep
3. Traffic congestion and speeding
4. College atmosphere/parties

5. Possible increased crime that comes with rentals
6. Water drainage/flooding transfered down adjacent residential streets
7. Trash disposal - dumpsters overfilled
8. Decreased Presidio home value
9. Loss of trust between (Miramonte/local officials) and current residents of Presidio

Thanks for your time, respectfully,
Marvin Rozell - Presidio Resident

Tiffany Antol

From: CD P and Z Commission
Sent: Wednesday, August 4, 2021 11:18 AM
To: Tiffany Antol
Subject: FW: Presidio in the Pines Tract M

Here is an email that came in for the Tract M property to add to your staff report, there are a few that we've received so I'm just going to forward them along to you.

Thanks,
Becky

Becky Cardiff
Development Services Manager
City of Flagstaff
211 W Aspen
Flagstaff, Az 86001
Office-928-213-2618
Working Hours 8-4:30 p.m.

-----Original Message-----

From: Dennis Bellamy <slammer737@gmail.com>
Sent: Wednesday, July 28, 2021 10:27 AM
To: CD P and Z Commission <CDPandZCommission@flagstaffaz.gov>
Subject: Presidio in the Pines Tract M

Members, I have been a homeowner in Presidio in the Pines since November 2017 (under contract in Dec 2016). At that time, the Miramonte master plan stated the land, which is now called tract M, would be a church or for other "neighborhood use." There was no mention of three, 3-story, condominium buildings. I feel during the last five years, Miramonte has performed some "slight-of-hand" moves changing the plan for this tract of land without any concurrence of our HOA/owners.

I have so many concerns about repurposed land in this subdivision. We are already struggling with parking issues, particularly around our multi-family units (duplexes and cluster homes.) It is difficult to imagine the parking situation with 39 condominium units, each averaging two vehicles. Also, the traffic on Woody Mountain is significantly higher now than it was a few years ago and will continue to grow with the Timber Sky development. Additionally, Woody Mountain carries a lot of crossover traffic to the Gore facilities, Equestrian Estates, and Flagstaff Ranch, south of I-40. Finally, Miramonte has asked for a drainage easement that will add to an already strained drainage plan in our subdivision. Our monsoon storms have highlighted how poorly this area controls water runoff. The proposed drainage easement will release additional water into an area that already has owners using sandbags to keep their front yards from washing out.

Thank you for your time and consideration, Dennis Bellamy

Sent from my iPad

Tiffany Antol

From: Tony Gardiner <tonygardiner5@gmail.com>
Sent: Sunday, August 1, 2021 5:11 PM
To: genevieve.pearthree@flagstaff.gov; Tiffany Antol; CD Front Counter
Subject: Proposed development of Tract M at Presidio in the Pines

Ladies and gentlemen, I write to you as a very concerned owner of property close to the proposed site for tract M in Presidio in the Pines and ask for your review and consideration of my strong objection to this development . Listed below are a number of reasons for the objection.

1) Miramonte, the proposed developer, told all purchasers of their properties that tract M was to be used eventually to construct a church or as a fall back a facility to benefit local residents, i.e. a community center. At no time then or subsequently have any of the owners been told or canvassed regarding a change of use. This at best is misrepresentation and may well have affected the decision of many to purchase homes in this area.

2) It will likely have an adverse effect on the current market value of nearby properties, through no fault of existing homeowners.

3) whilst not a fact that can be substantiated a development of a number of small condos is not in keeping with the locale .

4) Any substantial development in this area will have a dramatic effect on the drainage in the upper portion of the development which is already totally inadequate as has been made obvious during the recent monsoons.

5) Any attempt to mitigate the drainage issue will likely cause irreparable damage to the area, particularly in the region of Josselyn Drive. Trees would have to be removed, changing the character of the area, this would likely cause increased Freeway noise to affected houses and could result in claims on the City to rectify the situation. But paramountly, any increase in water runoff will be disastrous to the area.

6) Whilst I do not profess to be an expert on State or Local law, I believe that it is in the State Statute that any "Change of Use" application must be subject of a PUBLIC MEETING where all interested parties can attend and air their views. As I understand it no such meeting has been held which surely must invalidate any permit that has been issued. Additionally if this is in fact the case then an enquiry must be initiated to determine how the permit was issued.

I would appreciate your response to my points in order that I may decide on how to proceed.

Sincerely

A.M.Gardiner

Tiffany Antol

From: Robert Davis <radavis15@mac.com>
Sent: Tuesday, July 6, 2021 3:36 PM
To: Tiffany Antol
Cc: Alaxandra Pucciarelli; Robert A. Davis
Subject: Comments - Amendment #4 to the Presidio in the Pines Development Agreement and the Miramonte Homes Request for a Conditional Use Permit on Tract M

Tiffany Antol,

The Planning and Zoning Commission **must deny** the Miramonte Homes' request for a Conditional Use Permit on Tract M of the Presidio in the Pines Development Agreement due to the fact that Amendment #4 to the Development Agreement was executed in violation of Arizona State Statutes. Title 9 Section 9-462.04 of the Arizona Statutes requires the notification of the surrounding community and that a Public Hearing be held prior to the action that was taken to amend the Development Agreement based on significant changes in use within a zone.

While the zoning classification of Tract M was not changed the intended land uses of Tract M was changed significantly necessitating a Public Hearing and the proper notification of the surrounding community according to Title 9 of the Arizona Statutes. Amendment #4 resulted in "more than a 10% increase in the number of units that may be developed" and "an increase in the permitted uses" in the zone by adding residential as a permitted use.

In addition, the original Development Agreement required Tract M to be developed as a church use. The Development Agreement specified that if Tract M was not developed as a church use it "**shall be limited to neighborhood indoor uses**". Deleting this section of the Development Agreement is a significant change to the allowable uses of the zoning for Tract M, thus requiring notification and a Public Hearing according to Title 9 of the Arizona Statutes.

The removal of the church use or other neighborhood indoor use of Tract M, removes a significant benefit from the residents of Presidio of the Pines. They were given no opportunity for community input or a public hearing. When finally having an opportunity for input at two neighborhood meetings, after the fact, there was nearly unanimous opposition to the Miramonte Project and the actions by the City Council to execute Amendment #4.

The Miramonte Project is incompatible with the surrounding community and the other areas of Presidio in the Pines. Given the location of Tract M and the 39 units to the southern entrance to Presidio in the Pines (at the round-about), there is also a public safety issue due to the increase in traffic at that corner.

The Planning and Zoning Commission should:

- **Deny** the Miramonte Homes request for a Conditional Use Permit (CUP) due to it being based on the illegal action of amending the Development Agreement in violation of Title 9 of the Arizona Statutes; and
- Incompatibility with the surrounding community.

Denial of the CUP and cancellation of Amendment #4, due to its illegality, resolves all of Presidio in the Pines resident concerns.

Sincerely,

Robert A. Davis

2912 W Paz de Avenida
Flagstaff, AZ 86001

414-807-3306

Tiffany Antol

From: Robert Davis <radavis15@mac.com>
Sent: Monday, June 7, 2021 11:58 AM
To: clea@miramontehomes.com
Cc: Alaxandra Pucciarelli; Tiffany Antol; Robert A. Davis; Michaelk.vogler@gmail.com; Kim; Whitney Biggerstaff; ellyn_fair@yahoo.com
Subject: Opposition to Miramonte Request for a CUP on Tract M -Neighborhood Signatures in Opposition
Attachments: CUP Petition Signatures.pdf

Charity,

Attached is a Petition in OPPOSITION to the Miramonte Homes request for a Conditional Use Permit (CUP) to build condominiums on Tract M. Over a 2 day period 60 signatures were collected and based on comments many more could be collected, if time permitted.

Please consider this "comments" submitted for the neighborhood Zoom meeting today at 5:00 pm and submit them to the Planning Commission.

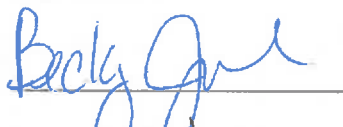

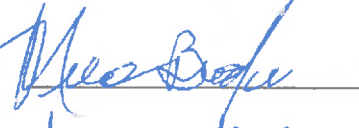



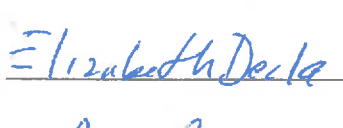

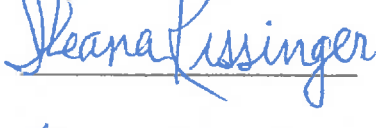

Thanks

Bob Davis
2912 W Paz de Avenida
414-807-3306

PETITION

Miramonte Homes is requesting a Conditional Use Permit to build three (3) 3-story buildings on Tract M in Presidio in the Pines. Tract M is a 2.77 acre lot located on the corner of Woody Mountain Road and South Presidio Dr. at the south entrance to the Presidio in the Pines community. A neighborhood zoom meeting is being held June 7, 2021 at 5:00 pm for input.


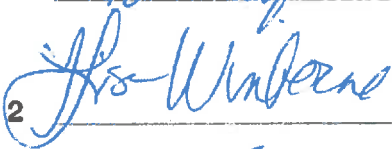
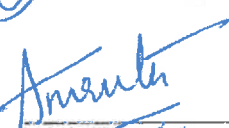

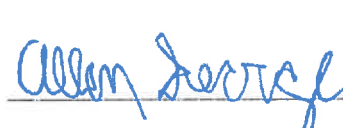

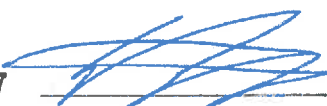



The undersigned are in **OPPOSITION** to the Miramonte Homes request for a Conditional use Permit to build three 3-story condominium buildings on Tract M of Presidio in the Pines Community.

#	Signature	Name (Printed)	Street Address
1		Becky Jahn	2906 S. Pepita Dr.
2		Crystal De Haag	2955 S. Pepita
3		Nillie Bracke	2931 W. Presidio Dr.
4		Kristin Wiebe	2924 W. Presidio Dr.
5		Norman Conger	2923 W. Presidio Dr.
6		Brooks Grivett	2915 W. Presidio Dr.
7		Elizabeth Decker	2920 W. Presidio Dr.
8		Lisa Galvan	2601 W. Josselyn Dr.
9		Ileana Kissinger	2597 W. Josselyn Dr.
10		Priscilla Boring	2593 W. Josselyn Dr.

PETITION

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The undersigned are in **OPPOSITION** to the Miramonte Homes request for a Conditional use Permit to build three 3-story condominium buildings on Tract M of Presidio in the Pines Community.

#	Signature	Name (Printed)	Street Address
1		Adnan Qutiban	2590 W Josselyn Dr.
2		Lisa Winberne	2594 W. Josselyn Dr.
3		Anurata Narumanchi	2598 W. Josselyn Dr.
4		Daniel Halben	2911 W. Presidio Dr.
5		Allen George	2959 S. Pepita Dr.
6		Brandon Johnson	2951 S. Pepita Dr.
7		Patrick Biggs	2943 S. Pepita Dr.
8		Whitney Biggs	2943 S. Pepita Dr.
9		Joseph Hammer	2935 S. Pepita Dr.
10		Geoffrey Sitch Jo Brittany Machala	2922 S. Pepita Dr.

PETITION

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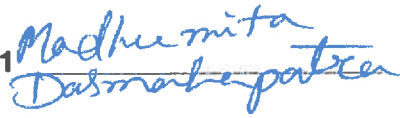
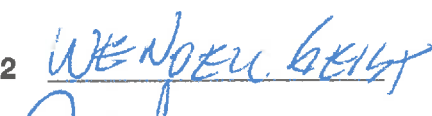
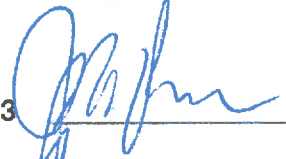


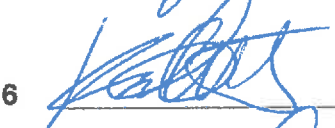

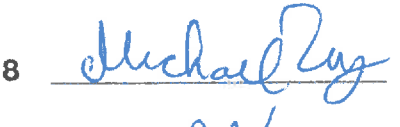

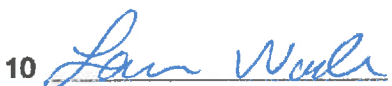
The undersigned are in **OPPOSITION** to the Miramonte Homes request for a Conditional use Permit to build three 3-story condominium buildings on Tract M of Presidio in the Pines Community.

#	Signature	Name (Printed)	Street Address
1	<u>Susan M Summers</u>	<u>Susan M Summers</u>	<u>2918 S. Pepita Dr</u>
2	<u>Scott D. Summers</u>	<u>Scott D. Summers</u>	<u>2918 S. Pepita Dr</u>
3	<u>Nick Vascassenno</u>	<u>Nick Vascassenno</u>	<u>2911 S. Pepita Dr.</u>
4	<u>Fred Avina</u>	<u>Fred Avina</u>	<u>2926 S. Tex Ln.</u>
5	<u>Cal Hamren</u>	<u>Cal Hamren</u>	<u>2896 W. Pano Del Presidio</u>
6	<u>Adam Zarger</u>	<u>Adam Zarger</u>	<u>2954 S. Tex Ln</u>
7	<u>Trujillo Esplatin</u>	<u>Trujillo Esplatin</u>	<u>2946 S. Tex Ln</u>
8	<u>GERSHON ASH</u>	<u>GERSHON ASH</u>	<u>2930 S. TEX LN.</u>
9	<u>Dottie Roul</u>	<u>Dottie Roul</u>	<u>2918 S. Tex Ln</u>
10	<u>JEFF GREENE</u>	<u>JEFF GREENE</u>	<u>2892 W. Pano Del Presidio</u>

PETITION

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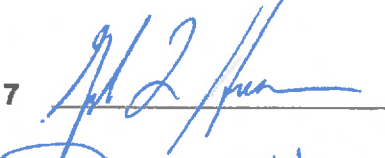
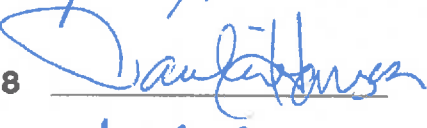
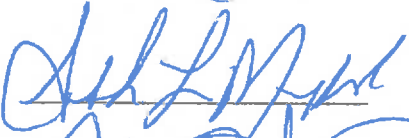

The undersigned are in **OPPOSITION** to the Miramonte Homes request for a Conditional use Permit to build three 3-story condominium buildings on Tract M of Presidio in the Pines Community.

#	Signature	Name (Printed)	Street Address
1		MADHMITA DASMAHEPATRA	2921, South Camel Drive
2		Wendy Keith	2937 S. Camel Dr.
3		John Rives	2956 S. Camel Dr.
4		Richard Allen Pogue	2924 S. Camel Dr.
5		Sara Zerger	2954 S. Tex Ln.
6		Katie Runnels	2923 S. Pardo Calle
7		Steve Brigham	2927 S. Pardo Calle
8		Michael Loy	2935 S. Pardo Calle
9		Venkata Yaramasu	2939 S. Pardo Calle
10		Laura Wade	2943 S. Pardo Calle

PETITION

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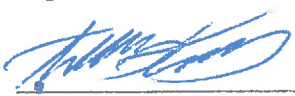
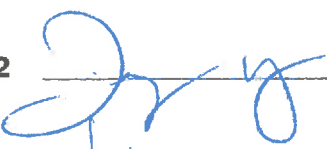


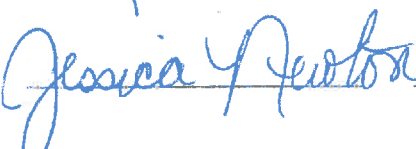
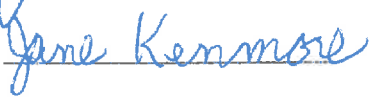
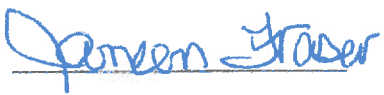


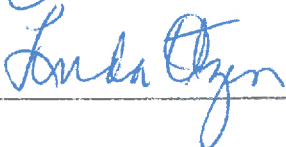
The undersigned are in **OPPOSITION** to the Miramonte Homes request for a Conditional use Permit to build three 3-story condominium buildings on Tract M of Presidio in the Pines Community.

#	Signature	Name (Printed)	Street Address
1		PENNY LAURITSEN	2951 S PIEDO CARLE
2		MATT SIEG	2903 W. PRESIDIO DR
3		DON ZETICH	2928 W. PRESIDIO DR
4		Shuang-Yi Nien	2900 W Paz De Avenida
5		CHE ELMS JR	2883 W PATIO DEL PRESIDIO
6		Gianna Elms	2883 W Patio del Presidio
7		Garry Hansen	2572 W. Josselyn DR.
8		Polly Hansen	2572 W Josselyn Dr.
9		Ashley	2886 W Presidio
10		Holly Shilling	2892 W Presidio Dr.

PETITION

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The undersigned are in **OPPOSITION** to the Miramonte Homes request for a Conditional use Permit to build three 3-story condominium buildings on Tract M of Presidio in the Pines Community.

#	Signature	Name (Printed)	Street Address
1		Anthony Talbot	2531 W. Josselyn Dr
2		Jennifer Vij	2950 3050 S. Tex Lane
3		Niraja Patel	2958 S Tex Lane
4		Ray T. Iby	2509 W. Josselyn Dr.
5		Jessica Newton	2568 W. Josselyn Dr.
6		Jane Kenmore	2562 W Josselyn Dr
7		Janeen Fraser	2530 W. Josselyn Dr.
8		Lindsay Smith	2518 W. Josselyn Dr.
9		Lucretia Hargreaves	2510 W Josselyn Dr. Flagstaff AZ 86001
10		Linda Otzen	2910 S. Pepita Dr 86001

Tiffany Antol

From: Genevieve Pearthree
Sent: Wednesday, May 26, 2021 9:03 AM
To: Brandon Johnson
Cc: Tiffany Antol
Subject: Re: Miramonte apartments in Presidio in the Pines

Good morning Brandon,

Thanks for getting in touch. I'm 'ccing Tiffany Antol, who is the point person for this development case moving forward, and who can add your comments to the record. Please forward any future comments or questions to her.

I'm sorry that you did not receive a notification of the first meeting. I'm not sure what happened, but please note that the entire Presidio in the Pines neighborhood will be notified prior to the second neighborhood meeting for this project. So, you should receive a notification soon.

Best,

Genevieve Pearthree

Planning Development Manager | Current Planning Section
City of Flagstaff | 211 W. Aspen Ave. | Flagstaff, AZ 86001
gpearthree@flagstaffaz.gov | 928-213-2603

From: Brandon Johnson <rotorwind@yahoo.com>
Sent: Tuesday, May 25, 2021 8:32 PM
To: Genevieve Pearthree <Genevieve.Pearthree@flagstaffaz.gov>
Subject: Miramonte apartments in Presidio in the Pines

5/25/2021

RE: Proposed Miramonte Apartments in Presidio in the Pines
Hello,

This email is to formally announce that I am opposed to Miramonte's plan to put a three story apartment complex in Presidio in the Pines on the corner of Woody Mountain road and West Presidio Drive.

Presidio in The Pines is a residential neighborhood with single family homes and town homes that are one or two stories. A three story building does not fit the aesthetics of the neighborhood. There are no other tall structures in this neighborhood and would stick out like a sore thumb due to the height of the proposed structure.

Another issue with this complex is it would cause more traffic and parking issues. Presidio already has a problem with parking. Already there are cars parked on the street, so much that at times it is hard to drive through our residential streets. This proposed complex does not have adequate parking planned (less than two spots per unit) and therefore the excess would overflow into Presidio's already crowded streets. In the winter when there is no street parking due to Flagstaff city ordinance this would be especially problematic. During Miramonte's "Neighborhood Meeting" on 5/10/21 Miramonte representative stated that they did not conduct a traffic study because it was not required. They also stated the parking was "more than required". What is required and what should be done is two different things. A traffic study should be done. Miramonte sold hundreds of lots in this neighborhood and sold people on the area. Now there are going to just try to maximize profits by trying to squeeze as many units as possible into the remaining land left. That is not right to everyone who invested in this neighborhood!

I am not against development of the plot of land in question. I think single family homes or more town homes would make sense (max of two stories). Originally the land was slated to be a church. I would be fine with that option as well. Sure, once a week there would be an influx of people in the area but I would take that over a three story apartment building any day!

In the last Neighborhood meeting it was stated that they only sent out notice of this meeting to houses within 300 feet. Well, I live 3 houses down from this proposed development and got no notice! The whole community needs to be notified of these meetings because it will affect the whole neighborhood not just those who live within 300 feet. I have

personally spoken to many neighbors and everyone is upset at this proposed development. The city of Flagstaff needs to hear the citizens voices and they need to be aware of future meetings.

I'm asking for the City of Flagstaff to deny the Conditional Use Permit for this Apartment complex, therefore not allowing this 3 story apartment building to be built. Miramonte should utilize the land for a church as originally planned or use it for single family or town homes that match what is already in the neighborhood.

Please pass this email along to anyone at the City Of Flagstaff that would be in charge of approving/denying the Miramonte Conditional Use Permit.

Thanks for your consideration,
Brandon Johnson
2951 S. Pepita Drive, Flagstaff AZ 86001
602-920-9409

Tiffany Antol

From: Summer Lilly <Summer.Lilly@nahealth.com>
Sent: Friday, June 4, 2021 1:48 PM
To: Tiffany Antol
Subject: Presidio in the Pines Resident Opposition to Tract M Development Conditional Use Permit request

Please see below. Thank you

From: Summer Lilly
Sent: Thursday, June 3, 2021 11:19:43 AM
To: clea@miramontehomes.com
Cc: Tanton@flagstaffaz.gov; apucciarelli@flagstaffaz.gov
Subject: Presidio in the Pines Resident Opposition to Tract M Development Conditional Use Permit request

Summer Johnson
2951 S. Pepita Drive
Flagstaff, Az 86001
928-699-4495
June 3, 2021
Charity Lee, Miramonte Homes

CC: APucciarelli@flagstaffaz.gov, TAntol@flagstaffaz.gov

Dear Ms Lee,

This letter is to serve as my voice of opposition to the proposed apartment/condo complex being considered by Miramonte Builders for the Tract M site in Presidio in the Pines.

I am a born and raised Flagstaff resident, spending all 41 of my years in this community. My husband and I purchased a home on Pepita Drive in 2016, based on the demographics and curb appeal of the neighborhood, for our family. During the purchase decision making process, we were told that Tract M, which is located 3 houses away from our home, would be the site of a church in the future, surrounded by free space. This information greatly influenced our decision to invest hundreds of thousands of dollars into a home purchase in Presidio.

When we found out, the day of a Conditional Use permit "informational" meeting about the proposed apartment/condo building project on Tract M, I felt betrayed by the builders and misled. I have decided to write this letter of opposition and provide some of my concerns about this proposition, from an objective point of view, but I have no hesitation in saying I 100% do not support this proposed build on Tract M.

A 3 story apartment building is not acceptable and will not fit the ambiance of our neighborhood, and will add heightened strain on our parking situation in Presidio, which is already problematic for single home residents. To consider building 39 additional dwellings with only 74 parking spaces for such dwellings, is ludicrous. The parking and traffic from this complex will seep into our residential streets, and cause further

congestion and safety issues for our neighborhood. The more cars parked along the streets is going to increase danger to our residents as pedestrians, as more blind spots will exist that could cause a child to be hit by an oncoming car. As a trauma nurse and an avid cyclist, we know firsthand the devastation car vs pedestrian accidents can cause, as seen in recent events in our own town that resulted in the fatality of a well-known community member on her bike. Adding more cars, and more congested parking on our smaller streets, will increase and possibly bring these same situations to our neighborhood. This risk is not worth financial gain for your company, and the frustrations of the current residents will continue to increase with parking as more cars are introduced to our neighborhood.

There are also no other 3 story building in Presidio, therefore the presence of these buildings would not be conducive to the overall environment we have here in our neighborhood. On Pepita Drive, we are proud of the feel of our street and take great pride in the homes we have all chosen to buy in this neighborhood. Adding an apartment complex right across the street to one of the nicest streets in Presidio will be an eyesore that none of us were led to believe was ever a consideration for that lot, when we purchased.

I understand that no leases less than 30 days will be allowed per your presentation on May 10th, but this in no way decreases the risk of student population leasing these properties from investors who would no doubt be purchasing many of these units. To add a college population right across from our street will increase the noise, the disturbances, and possibly the crime to our area, as well as again, adding to an already volatile parking situation. Cutting down more trees will also add to the noise from the interstate, and we bought here because we enjoy the quiet and peacefulness of the street we live on. Your proposed complex will completely eradicate the reasons we purchased the home we did, and will permanently impact Presidio in a negative manner.

The parking that will be located inside of this complex will also be extremely hazardous in the winter months, when ice is prevalent. There is no direct sun exposure in Tract M that would help with snow and ice melt, so more people will be parking along our streets, causing issues for snow plows and neighbors. How will the maintenance be paid for, to take care of this extra snow and ice in parking? The HOA will have to increase costs to the entire neighborhood, and I do not want my HOA funds going to the maintenance of an apartment complex I was never under the impression would exist.

I have lived in Flagstaff since birth. I work in Flagstaff and serve the community as a nurse. I am raising my children in Flagstaff, specifically in Presidio. I have invested my life into this community, and my hard earned money.

To build your proposed complex will be tearing apart the dream I have worked so hard to achieve. In no way is this proposal acceptable. Allow a church to build on the property, or do the entire City of Flagstaff a favor and leave it as green space that will allow the trees to remain in place, and the neighborhood to maintain some beauty. Flagstaff does not need more apartment style housing growth, and to put profits before the overall good of the community is disheartening and will reflect deeply on your reputation as a builder in this area, as your intentions will continue to show as not ones that keep the community in mind, but rather how much money you can try to squeeze out of whatever property you can purchase.

Please think of Flagstaff. Think of the residents in Presidio who feel misled and who are highly opposed to this building. Think of the safety of our children and families and our street capacity and parking. Think of more than just making money, because the residents here have put so much of our hard earned money into a lifestyle that will completely be interrupted by your proposed apartment/condo complex.

Sincerely,
Summer Johnson
Resident, Presidio in the Pines

Summer Johnson
BSN-RN,CCRN, Flight Nurse
Guardian Air Transport
Flagstaff Medical Center

Tiffany Antol

From: Genevieve Pearthree
Sent: Tuesday, July 6, 2021 3:18 PM
To: p11465@aol.com
Cc: Tiffany Antol
Subject: RE: Tract M Presidio in the Pines

Thanks, Philip, for sharing your comments. I'll make sure they get added to the comments included in the Planning and Zoning Commission packet.

Best,

Genevieve Pearthree

Planning Development Manager | Current Planning
City of Flagstaff | 211 W. Aspen Ave | Flagstaff, AZ 86001
gpearthree@flagstaffaz.gov
Office: 928-213-2603

From: p11465@aol.com <p11465@aol.com>
Sent: Monday, July 5, 2021 10:20 AM
To: Genevieve Pearthree <Genevieve.Pearthree@flagstaffaz.gov>
Subject: Tract M Presidio in the Pines

Regarding Miramonte's development plan for Tract M of Presidio in the Pines

The original plan approved by the City was to have Tract M developed as a church or something similar. Now that Presidio in the Pines is nearly complete, Miramonte has gone to the City for permission to erect three story tall, high density condos on this tiny lot. They are hoping to construct 39 units on 2.77 acres.

The community has formed a united voice in opposing the Miramonte proposal, however, it is extremely difficult to create the organization needed to oppose such a plan when the board meetings are video-conferences, and the Presidio board itself seems uninvolved.

At this point in time it appears likely that the City will approve some version of the Miramonte plan. The next line of defense are the covenants which legally bind both Miramonte and the residents. The covenants require that the Architectural Review Committee (ARC) approve installation of improvements, alterations, repairs, excavation to any lot. Guidelines for the ARC are simple: "The architectural style of the development shall not *in any way*, be altered, modified, or changed...."

The ARC has a broad authority to enforce any standards which it deems appropriate. It is logical that the ARC will limit building height of the new construction to two floors just

like the rest of the development. This is a meaningful change to the current Miramonte plan.

Another significant change is required by Paragraph 11.19.1 of the covenants. "All owners and tenants shall park any and all motorized or non-motorized vehicles in the enclosed garage on the lot...." This covenant would require that 39 one and two car garages be constructed on site.

The two changes required by the covenants are not optional changes; Miramonte must (1) limit construction to two stories, and (2) provide an enclosed garage for each tenant. Tract M cannot be unilaterally withdrawn from Presidio in the Pines HOA without an amendment to the CCRs.

It is critical that the city counsel not interfere in the contractual obligations borne by Miramonte. If the City Counsel approves the Miramonte proposal, the development amendment must respect the two modifications discussed above.

Philip Dunn
p11465@aol.com

Tiffany Antol

From: CD P and Z Commission
Sent: Wednesday, August 18, 2021 10:03 AM
To: Ryan Carpenter; Tiffany Antol
Cc: Betsy Decker
Subject: RE: Public Comment for Miramonte Tract M Conditional Use Permit

Thank you, your comment has been received.

Thanks,
Becky

Becky Cardiff

Development Services Manager
City of Flagstaff
211 W Aspen
Flagstaff, Az 86001
Office-928-213-2618
Working Hours 8-4:30 p.m.

From: Ryan Carpenter <rycarp@gmail.com>
Sent: Sunday, August 15, 2021 12:44 PM
To: CD P and Z Commission <CDPandZCommission@flagstaffaz.gov>; Tiffany Antol <TAntol@flagstaffaz.gov>
Cc: Betsy Decker <betsy_decker@hotmail.com>
Subject: Public Comment for Miramonte Tract M Conditional Use Permit

Dear Flagstaff Planning and Zoning Commission,

I'm writing to share my thoughts about the development plan for Miramonte Tract M in the Presidio in the Pines neighborhood. My wife and I own 2920 West Presidio Drive, which is directly adjacent to this plot of land.

My concerns include the following:

When we purchased our home in late 2017, this site was zoned as a church, or other community enhancement site like a school, daycare, or community building. One of the selling points at the time of the purchase was the development plan for this site. We were not notified of Miramonte's intention to change the designation for this site until after the changes were approved by the city council. This may be the current regulations, but seems unfair to community members that bought their property and home knowing that this land was zoned for a church or community building.

As for the plan of building the three condos, there are many concerns we have with this plan. Although the plan exceeds the city of Flagstaff's parking requirements by one parking spot, it's clear that the city's minimum requirements don't provide adequate parking in many locations throughout

Tiffany Antol

From: CD P and Z Commission
Sent: Monday, August 9, 2021 11:31 AM
To: Tiffany Antol
Subject: FW: Re Philip Dunn letter. Part two of letter

Thanks,
Becky

Becky Cardiff
Development Services Manager
City of Flagstaff
211 W Aspen
Flagstaff, Az 86001
Office-928-213-2618
Working Hours 8-4:30 p.m.

-----Original Message-----

From: Linda Dunn <Indadnn@aol.com>
Sent: Thursday, August 5, 2021 10:35 PM
To: CD P and Z Commission <CDPandZCommission@flagstaffaz.gov>
Subject: Re Philip Dunn letter. Part two of letter

Phil's email and phone number were also omitted. Kim at hoa has both our information as we have been communicating with her regularly. It was clearly left off. His email is p11465@aol.com. 804-513-8262

Everyone else had a complete address on this list. He has great experience and expertise in matters like this so I don't believe it was an accidental omission. Please add it to the info sheet.

Sincerely

Linda Dunn.

2477 W Mission Timber Circle (not 2477 MTC) Flagstaff az 86001

Tiffany Antol

From: CD P and Z Commission
Sent: Monday, August 9, 2021 11:28 AM
To: Tiffany Antol
Subject: FW: Miramonte condo project in presidio

Thanks,
Becky

Becky Cardiff
Development Services Manager
City of Flagstaff
211 W Aspen
Flagstaff, Az 86001
Office-928-213-2618
Working Hours 8-4:30 p.m.

-----Original Message-----

From: Linda Dunn <Indadnn@aol.com>
Sent: Thursday, August 5, 2021 10:11 PM
To: CD P and Z Commission <CDPandZCommission@flagstaffaz.gov>
Subject: Miramonte condo project in presidio

Hello,

I understand that the miramonte representative has resigned from the presidio hoa board since no more lots are left unsold.

Question.....I have asked, but have not received an answer to this question ,,,,,

According to the CCR's and bylaws, in order to be a member of the board, one must personally own a lot in your own name and pay property taxes on that property. I would like to know how a Miramonte representative was allowed to ever serve on the board and why isn't every decision that he ever voted on considered null and void?Personally owned lots in ones own name.

We have reached out four times for an answer to this and no one will give the courtesy of an answer. ,,,,

Why is miramonte not subject to the same rules and regulations of the hoa that the rest of the residents are?

And, why are they allowed to break off from the hoa and form their own hoa so not to have to follow the rules regarding having all construction match the current homes in the neighborhood, not a three story monstrosity that will cater towards students with cars.

Tiffany Antol

From: CD P and Z Commission
Sent: Monday, August 9, 2021 11:30 AM
To: Tiffany Antol
Subject: FW: Attachment to hoa information packet

Thanks,
Becky

Becky Cardiff

Development Services Manager
City of Flagstaff
211 W Aspen
Flagstaff, Az 86001
Office-928-213-2618
Working Hours 8-4:30 p.m.

From: Linda Dunn <Indadnn@aol.com>
Sent: Thursday, August 5, 2021 10:28 PM
To: CD P and Z Commission <CDPandZCommission@flagstaffaz.gov>
Subject: Attachment to hoa information packet

My husband, Phil Dunn, has been quite involved in submitting information and questions to Kim on the board. He has spent many hours sharing input and experience regarding unwanted projects. He served for many years in the Troon North Board of Directors in Scottsdale. He was actively involved in stopping a motel like structure from being built on a small piece of property off the Troon north golf course. They won this case in az Supreme Court. It was halted. So, it is fair to say he is experienced in the behind the door tactics that are used to push these unwanted projects through to the point where it is almost too late to stop it.

There have been many residents who have heard Phil's questions and concerns voiced on zoom meetings but have not had a way to contact him because no one knows anyone's name.

Re: number 3 on the meeting attendees list below, I believe it is absolutely intentional that his contact info is incomplete. No one else's address is listed as 2477 MTC, who knows what that is? It is 2477 West Mission Timber Circle.

Tiffany Antol

From: CD P and Z Commission
Sent: Tuesday, August 10, 2021 10:17 AM
To: Tiffany Antol
Subject: FW: Planning and Zoning Commission - PRESIDIO Tract M

Thanks,
Becky

Becky Cardiff
Development Services Manager
City of Flagstaff
211 W Aspen
Flagstaff, Az 86001
Office-928-213-2618
Working Hours 8-4:30 p.m.

-----Original Message-----

From: mail <hamptons107@aol.com>
Sent: Saturday, August 7, 2021 10:49 AM
To: CD P and Z Commission <CDPandZCommission@flagstaffaz.gov>
Subject: Planning and Zoning Commission - PRESIDIO Tract M

This is an email to voice our adamant disapproval of the proposed 3 STORY building / 39 unit apartment complex / sale condos in the Presidio neighborhood.

The developer can say all the "right things" but this needs to remain a family friendly neighborhood without added condo traffic and riffraff.

Not to mention, the amenities and municipalities within this area are already stretched way too thin to add more dwellings.

Thank you.

J. Kirk Hampton

2741 West Jaclyn Drive (Presidio)

Tiffany Antol

From: CD P and Z Commission
Sent: Wednesday, August 11, 2021 9:05 AM
To: Tiffany Antol
Subject: FW: Public comment for Project PZ-19-00204-02

Thanks,
Becky

Becky Cardiff

Development Services Manager
City of Flagstaff
211 W Aspen
Flagstaff, Az 86001
Office-928-213-2618
Working Hours 8-4:30 p.m.

From: Crystal Graziano <Crystal.Graziano@nau.edu>
Sent: Tuesday, August 10, 2021 8:08 PM
To: CD P and Z Commission <CDPandZCommission@flagstaffaz.gov>
Subject: Public comment for Project PZ-19-00204-02

The following is my public comment for Project PZ-19-00204-02, the Miramonte conditional use permit. Meeting on August 25th 4-6pm:

While I'm not opposed to new housing development in general, I feel this particular location in the Presidio neighborhood could be used better. Specifically, I'd like to see new development that is compatible with the city's climate action plan. For example, if the zoning stayed as originally planned or changed to mixed use, like a small grocery mart under residential units, opportunities arise that could make the neighborhood more walkable, a goal of the climate action plan. Additionally, there is already a lack of public transportation in the area, another thing that clashes with the action plan which has a goal of fewer car trips. If the condo complex is pretty much set in stone as currently planned, can Miramonte speak to how they will strive to complement the Flagstaff climate action plan?

Thank you,
Crystal G

Tiffany Antol

From: Charity Lee <clee@miramontehomes.com>
Sent: Thursday, August 5, 2021 3:02 PM
To: Tiffany Antol
Subject: FW: Tract M in Presidio

FYI

Charity Lee
Northern AZ. Land Acquisition & Development Manager Miramonte Homes
102 S. Mikes Pike
Flagstaff, AZ 86001
Cell: (928) 600-3594

No offer to sell or lease may be made or to purchase or lease may be accepted prior to issuance of an Arizona Public Report. A Public Report is available at the State Real Estate Department website
<https://gcc02.safelinks.protection.outlook.com/?url=http%3A%2F%2Fwww.azre.go%2F&data=04%7C01%7CTAntol%40flagstaffaz.gov%7C27fdb184256f44a1582608d9585cb098%7C5da727b9fb8848b4aa072a40088a046d%7C0%7C0%7C637637977390262746%7CUnknown%7CTWFpbGZsb3d8eyJWljoIMC4wLjAwMDAiLCJQIjoiV2luMzliLCJBTiI6IjEhaWwiLCJXVCi6Mn0%3D%7C1000&sdata=gMrIDMh7c6bg4kpS5cMk9aLBKlsJ6Egh%2FOLkNeKtvb0%3D&reserved=0.>
Miramonte Arizona, LLC ROC# 241199. Copyright © 2020 Miramonte Homes. All rights reserved.

-----Original Message-----

From: Phoebe Wood <phoebewood27@gmail.com>
Sent: Thursday, August 5, 2021 2:12 PM
To: Charity Lee <clee@miramontehomes.com>
Subject: Tract M in Presidio

Charity,

I am writing, again, in strong opposition of Tract M in Presidio.

I think it is a terrible idea to put a 3 story apartment complex off of Woody Mountain Rd, and here's why:

1. It will lower home values of Timber Sky and Presidio.
2. It will increase traffic in an already busy area. Gore, our neighborhoods, and Woody mountain dirt road visitors create more traffic than Woody Mountain can handle several times a day already. Serious wrecks happen frequently on Route 66 from the Chevron west because of how busy it is and people waiting at stop signs trying to merge on to Route 66 without a stop light.
3. People move to the edge of town for a reason. It's to enjoy nature and get away from heavy traffic and busyness of downtown and NAU. NAU has put up tall apartments all over. My opinion is keep that stuff by the university. You will drive more college kids into our area which will drive out more affluent tax paying adults, and that will contribute to a less valuable property over time. College kids who have Mommy and Daddy pay the rent for them don't take care of

Tiffany Antol

From: Robert Davis <radavis15@mac.com>
Sent: Wednesday, August 11, 2021 10:39 AM
To: CD P and Z Commission; Tiffany Antol
Cc: Michaelk.vogler@gmail.com; Kyle Winfree; Kim
Subject: Comments - Amendment #4 to the Presidio in the Pines Development Agreement and the Miramonte Homes Request for a Conditional Use Permit on Tract M

(This communication was sent to Tiffany Antol on 7/6/2021. No response, other than an out of office notice, has been received.)

Members of the Planning and Zoning Commission,

The Planning and Zoning Commission **must deny** the Miramonte Homes' request for a Conditional Use Permit on Tract M of the Presidio in the Pines Development Agreement due to the fact that Amendment #4 to the Development Agreement was executed in violation of Arizona State Statutes. Title 9 Section 9-462.04 of the Arizona Statutes requires the notification of the surrounding community and that a Public Hearing be held prior to the action that was taken to amend the Development Agreement based on significant changes in use within a zone.

While the zoning classification of Tract M was not changed the intended land uses of Tract M was changed significantly necessitating a Public Hearing and the proper notification of the surrounding community according to Title 9 of the Arizona Statutes. Amendment #4 resulted in "more than a 10% increase in the number of units that may be developed" and "an increase in the permitted uses" in the zone by adding residential as a permitted use.

In addition, the original Development Agreement required Tract M to be developed as a church use. The Development Agreement specified that if Tract M was not developed as a church use it "**shall be limited to neighborhood indoor uses**". Deleting this section of the Development Agreement is a significant change to the allowable uses of the zoning for Tract M, thus requiring notification and a Public Hearing according to Title 9 of the Arizona Statutes.

The removal of the church use or other neighborhood indoor use of Tract M, removes a significant benefit from the residents of Presidio of the Pines. They were given no opportunity for community input or a public hearing. When finally having an opportunity for input at two neighborhood meetings, after the fact, there was nearly unanimous opposition to the Miramonte Project and the actions by the City Council to execute Amendment #4.

The Miramonte Project is incompatible with the surrounding community and the other areas of Presidio in the Pines. Given the location of Tract M and the 39 units to the southern entrance to Presidio in the Pines (at the round-about), there is also a public safety issue due to the increase in traffic at that corner.

In addition,

The Planning and Zoning Commission should:

- **Deny** the Miramonte Homes request for a Conditional Use Permit (CUP) due to it being based on the illegal action of amending the Development Agreement in violation of Title 9 of the Arizona Statutes; and
- Incompatibility with the surrounding community.

Presidio in the Pines

Homeowners Association

323 S River Run Road, Suite 1, Flagstaff, AZ 86001

Phone: (928) 773-0690

Managed by ♦ Sterling Real Estate Management

08/11/2021

To: City of Flagstaff Community Development
Tiffany Antol, Planning Development Manager

From: The Presidio in the Pines Board of Directors

RE: Tract M, Presidio in the Pines, Proposed Condominium Development

Date: August 11, 2021

The Presidio in the Pines Board of Directors appreciates the opportunity to provide comments on the proposed Conditional Use Permit required to construct 39 condominium units on Tract M of the Presidio in the Pines subdivision, located at 2950 S. Woody Mountain Road.

The property, Tract M, is located at the southeast corner of the overall development at the intersection of Woody Mountain Road and West Presidio Drive. Tract M was established/platted in conjunction with the subdivision of the area and is identified on the Final Plat of Presidio in the Pines, a planned community development. At the time the subdivision was platted, Tract M was identified for future development by the Developer and would not be owned or maintained by the Homeowners Association. However, Tract M, is still considered part of the overall Presidio in the Pines Master planned community and is bound by the Declaration of Covenants, Conditions and Restrictions for the Presidio in the Pines.

As such, the Board of Directors presents the following comments for consideration by the City of Flagstaff:

1. Master Association/Sub Association relationship required.

The proposed condominiums and corresponding homeowners association that will manage and maintain the property and buildings will be a sub-association of the Presidio in the Pines Master Association.

This Master HOA/Sub Association relationship must be identified within the condominium Declaration/CC&Rs and clearly conveyed to all subsequent purchasers that they will be bound by two (2) sets of documents, Association assessments, and rules and regulations.



WHITNEY CUNNINGHAM
WCUNNINGHAM@AWDLAW.COM

August 17, 2021

Via Email (TAntol@flagstaffaz.gov)

Tiffany Antol, Planning Development Manager
City of Flagstaff Planning & Development Services
211 W. Aspen Ave
Flagstaff, AZ 86001

RE: **Tract M, Presidio in the Pines
Project PZ-19-00204-02**

Dear Tiffany:

We have reviewed the August 11, 2021 memorandum submitted by the Presidio in the Pines Homeowners Association. The memo states without explanation that Tract M "is still considered part of the overall Presidio in the Pines Master planned community and is bound by the Declaration of Covenants, Conditions and Restrictions for the Presidio in the Pines." The memo goes on to state expectations of a "Master Association/Sub Association relationship" as well as an assertion of a right of "Architectural Review." Due to some factual inaccuracies in the memo, and to address other items raised in the memo, we provide the following information on behalf of the applicant, Miramonte Homes. To aid in your review of this letter, we attached both the Plat and the CC&Rs.

The Plat dedicates, among other things, all tracts identified within the Plat as part of the subdivision. This includes Tract M. However, while Tract M is part of the overall Presidio in the Pines development, it is not subject to the authority of the Presidio in the Pines Homeowners' Association, Inc. (herein, the "HOA"). This is true for several reasons, all based on the Plat and the CC&Rs.

First, the Plat itself separates Tract M from the HOA: "Tracts A, B & M are for future development and will not be owned or maintained by the Homeowners' Association." (Final Plat at 1, paragraph 9).

Second, the CC&Rs themselves exclude Tract M from anything having to do with the HOA.

- Tract M is not mentioned in the CC&Rs. This is not a meaningless omission because the CC&Rs define the realm of HOA responsibility, as follows: "Association's Responsibilities. The Association is responsible for the proper and efficient management of the Association, the Common Areas, specified front yards and lots, (refer to Section 8.3), and any detention or retention basins shown on the recorded Plat." (CC&Rs § 9.1).
- Only Owners of Lots can be Members of the HOA, and only Members have a right to vote. (CC&Rs § 3.2).
 - Tract M is not a Lot. Lots are defined in Sections 1.18 through 1.25 (Lot Types A through H). These are each a variation of a residential lot, and they are called out, individually by number

awdlaw.com

ASPEY WATKINS & DIESEL PLLC

Flagstaff Office
Sedona Office

123 N. San Francisco St. Suite 300 • Flagstaff, Arizona 86001
120 Soldiers Pass Road • Sedona, Arizona 86336

Tel (928) 774-1478
Tel (928) 282-5955

Tiffany Antol, AICP
August 17, 2021
Page 3

improvements on Lots are required to go through the ARC. (CC&Rs § 7.5.1). In addition, neither Tract M nor its owner(s) are part of the Association to begin with, as explained above.

Please let me know if we can address any further questions or concerns about this matter.

Sincerely,

ASPEY, WATKINS & DIESEL PLLC



Whitney Cunningham
WC/gb

C: Christina Rubalcava (CRubalcava@flagstaffaz.gov)

Presidio in the Pines Homeowners' Association, Inc.
c/o Sterling Real Estate Management
323 S. River Run Rd., Suite 1
Flagstaff, AZ 86001

Tiffany Antol

From: Ryan Carpenter <rycarp@gmail.com>
Sent: Sunday, August 15, 2021 12:44 PM
To: CD P and Z Commission; Tiffany Antol
Cc: Betsy Decker
Subject: Public Comment for Miramonte Tract M Conditional Use Permit

Dear Flagstaff Planning and Zoning Commission,

I'm writing to share my thoughts about the development plan for Miramonte Tract M in the Presidio in the Pines neighborhood. My wife and I own 2920 West Presidio Drive, which is directly adjacent to this plot of land.

My concerns include the following:

When we purchased our home in late 2017, this site was zoned as a church, or other community enhancement site like a school, daycare, or community building. One of the selling points at the time of the purchase was the development plan for this site. We were not notified of Miramonte's intention to change the designation for this site until after the changes were approved by the city council. This may be the current regulations, but seems unfair to community members that bought their property and home knowing that this land was zoned for a church or community building.

As for the plan of building the three condos, there are many concerns we have with this plan. Although the plan exceeds the city of Flagstaff's parking requirements by one parking spot, it's clear that the city's minimum requirements don't provide adequate parking in many locations throughout town. Many condo/apartment complexes in town have parking issues that spill out onto the city streets. For example, the on street parking on S. Riordan Ranch Road is nearly always full, and used as overflow parking for the housing complex located there. This is just one example, and is a common issue in Flagstaff. Since we are two houses down from the entrance to the complex, we are concerned that we will have cars parking in front of our home regularly. Although it's illegal to park on the street overnight during the winter months, this is not regularly enforced. In addition to this, since the proposed complex will have its own HOA, there will be no oversight by the Presidio in the Pines HOA regarding these potential parking issues.

The proposed condo complex is not compatible with the remainder of the neighborhood. This neighborhood is made up of exclusively single-family homes, and duplexes. We would be supportive of either single-family homes or duplexes being built on this site, but find it incompatible to have a condo complex in this neighborhood.

The layout and design of the Presidio in the Pines neighborhood is small lots with homes very close to one another. This can cause issues with noise, and neighbors being disruptive. To build an additional 39 units in essence in the back yards of some residents will undoubtedly have negative impacts regarding noise. Yes, there is a small conservation easement that will help with some of the homes on Josselyn Road, but some of the homes on West Presidio Drive will be directly adjacent to this complex and be subjected to additional noise from the residences and traffic.

I understand the need for housing, and specifically affordable housing in Flagstaff. This unit is only adding 3-4 affordable housing units. The rest will be sold at or above market value. I would be much



City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618
F: (928) 779-7684



CUP

Date Received	Application for Conditional Use		File Number
Property Owner(s) Miramonte Presidio LLC	Phone 520-268-9120		
Mailing Address 2562 E. River Road	City, State, Zip Tucson, az. 85718	Email chris@kemmerly.com	
Applicant(s) Chris Kemmerly	Phone 520-268-9120		
Mailing Address Same as above	City, State, Zip	Email Same as above	
Project Representative Charity Lee - Miramonte Homes	Phone 928-600-3594		
Mailing Address 102 S. Mikes Pike	City, State, Zip Flagstaff, az 86001	Email c.lee@miramontehomes.com	

Site Address 2940 S. Woody Mtn Rd.	Parcel Number(s) 112-62-483	Subdivision, Tract & Lot Number Presidio in the Pines Tract M	
Zoning District HC	Regional Plan Land Use Category Suburban	Flood Zone Zone X	
Property Information:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing City of Flagstaff Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are pre-World War II housing? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Subject property is undeveloped land?		
Surrounding Uses (Res, Com, Ind)	North Res	South I-40	East Res
			West Res

Note:

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Property Owner Signature 	Date 4/15/21	Applicant Signature 	Date 4/15/21
For City Use			
Date Filed	File Number and Approval Date:		
Hearing Date	Publication and Posting Date(s):		
Fee Receipt Number	Amount	Date	
Action by Planning and Zoning Commission:			
Hearing Date:		Type of Request:	
<input type="checkbox"/> Approved		<input type="checkbox"/> CUP	
<input type="checkbox"/> Denied		<input type="checkbox"/> Extension	
<input type="checkbox"/> Continued			
Staff Assignments	Planning	Engineering	Fire
			Public Works/Utilities
			Stormwater

Conditional Use Permits (CUP)

Conditional uses are those uses which are presumed to be compatible with other authorized or permitted land uses in a zoning district, but require additional discretionary review, and possibly the imposition of conditions, to ensure that their location, design, and character are appropriate at a particular location.

Only those uses which are authorized as conditional uses in Chapters 10-40 (Specific to Zones), may be approved as conditional uses.

Further information regarding conditional uses and the CUP process can be found in Section 10-20.40.050 (Conditional Uses) of the Zoning Code

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A public hearing is held in conjunction with the request in conformance with Section 10-20.30.080 of the Zoning Code. Just before the public hearing is opened, Development Services staff presents its report to the P&Z, and the applicant is given an opportunity to make a presentation regarding the request. During the public hearing, any person may give testimony or submit written materials regarding the proposal.

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Please be aware that a project must receive formal Site Plan Review approval from the Planning Director before a CUP application can be submitted.

Attendance by the applicant or a project representative at the Planning and Zoning Commission hearing is mandatory.

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All applications for CUP must be accompanied by the following information:

- ☐ 10 copies of proposed development plans
- ☐ Location/vicinity map
- ☐ Written response to the 9 standards for granting a CUP
- ☐ List of property owners and parcel numbers, assessor's maps, and pre-addressed, stamped envelopes for properties within 300 feet
- ☐ CUP application fee (see Fee Schedule)

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Proposed development plans that must be submitted in conjunction with a CUP application are the same as those required for formal Site Plan Review (see list below). Refer to the Site Plan Review Application for a complete description of these plans and the information that must be depicted on them.

- ☐ Site plan
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- ☐ Landscape plan
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"Exclusive of rights-of-way" means that where the subject parcel has frontage along a street, measurement of the 300-foot boundary begins on the opposite side of the right-of-way. It is always better to include more properties than required rather than fewer.

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- ☐ A list of the names and addresses of property owners and parcel numbers for properties within 300 feet, exclusive of right-of-way
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For Further Information

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Planning and Development Services Section
City of Flagstaff
211 W Aspen Avenue
Flagstaff AZ 86001

928-213-2618
928-779-7684 Fax

cdfrontcounter@flagstaffaz.gov



Miramonte Homes
Chris Kemmerly
2502 E. River Road
Tucson, AZ 85718

April 15, 2021

City of Flagstaff
Planning and Zoning Commission
211 W. Aspen Avenue
Flagstaff, AZ. 86001

Project Name: Presidio in the Pines-Tract M
Project Number: MES #15159

Dear Commissioners,

Please consider our application for a Conditional Use Permit for the construction of a 39-unit multifamily residential project in Presidio in the Pines, a Planned Community Development-Tract M.

PROJECT OVERVIEW:

Miramonte Presidio LLC (Miramonte) is the owner of approximately 2.77 acres located at 2940 S. Woody Mountain Road, Flagstaff, AZ. 86001, Assessor Parcel Number 112-62-483, otherwise known as Tract M (the Project), identified in the Final Plat of Presidio in the Pines a Planned Community Development, in Case 9 Map 72, and recorded in Document Number 3322439 with the Coconino County Recorder (the Final Plat).

Tract M is zoned Highway Commercial (HC) and was originally identified on the Final Plat as a future church site. Miramonte proposes to build a 39-unit multifamily residential project and use the Planned Residential Development (PRD) mechanism to develop three (3) story apartment buildings, some of which are split-level, using the following standards: T4.N2 Transect Zone, Apartment Building Type, and Forecourt Private Frontage Type. The buildings total 19,650 SF and residential units will range from 514-1,064 SF. The density per acre is 14.09 units and the lot coverage is 12.6%. The intent is to plat the condominium units.

As a condition of Site Plan approval, a Conditional Use Permit (CUP) is required for the PRD in the HC zone. Our application addresses the nine standards for granting a CUP below.

9 STANDARDS FOR GRANTING A CONDITIONAL USE PERMIT:

1. Access and Traffic, Pedestrian, Bicycle and Vehicular Circulation

Site access will be located off W. Presidio Drive. The Fire Department has reviewed and has approved of the on-site access.

The City of Flagstaff required a total of seventy-three (73) vehicle parking space. The Project will provide seventy-four (74) vehicle parking spaces which will include four (4) A.D.A compliant spaces and twelve (12) bicycle spaces.

A.D.A Pedestrian access is provided to each building and the public way.

Bike racks will be located at the entrance of each building.

2. Adequacy of Site and Open Space Provisions, Including Site Capacity and Resource Protection Standards Where Applicable

The Project will include 14 units per acre with 49.7% of the site remaining as open space. The Project will protect 35.11 % tree resources of which, 30% is required in the HC zone.

3. Noise, Light, Visual, and Other Pollutants

The Project is bordered by I-40 to the South, S. Woody Mountain Road to the West and W. Presidio Dr. to the North. There is an existing block/sound wall along Woody Mountain Road and I-40 which will provide a barrier between the Project and the roadways. This will help mitigate noise and aid in the visual aesthetics of the Project.

Building lighting will comply with the City of Flagstaff Outdoor Lighting Standards in Section 10-50-70 of the Zoning Code.

4. Proposed Style and Siting of Structures, and Relationship to the Surrounding Neighborhood

The Project is in Presidio in the Pines, a Planned Community Development, a high-density residential neighborhood. The apartment style buildings will be wood and/or masonry construction with slab-on-grade floors. They will be constructed using similar construction materials as to complement the existing neighborhood. Building forward is utilized providing human scale and interest to adjacent surrounding development.

5. Landscaping and Screening Provisions

Landscaping will comply with the requirements of the approved Site Plan and as noted on the Landscaping Plan.

Screening will be accomplished with screen/sound walls on existing boundaries and will comply with the requirements in Section 10-50-50 of the Zoning Code.

6. Impact on Utilities

Presidio is a 790 Lot "Planned Community Development". Utility impacts were analyzed at the rezoning and public improvements were installed per WISA.

7. Signage and Outdoor Lighting

No additional signage is proposed for the Project. If additional signage is installed it will comply with the sign standards in Section 10-50-100 of the Zoning Code.

All exterior lighting will meet the requirements of the City of Flagstaff Outdoor Lighting Standards for shielding, lamp type and maximum lumen output as noted in the Outdoor Lighting Standards in Section 10-50-70 of the Zoning Code.

8. Dedication and Development of Streets Adjoining the Property

Adjoining streets are fully improved and dedicated to the public.

9. Impacts on Historical, Prehistoric or Natural Resources

A cultural resource survey was completed for the entire area inclusive of this Project area. Mark Reavis, Neighborhood Planner- Heritage Preservation Officer has reviewed the Project and has determined that no additional cultural resource surveys are required.

Thank you for considering our application for a Conditional Use Permit for Presidio in the Pines Tract M. Miramonte looks forward to starting construction on the Project this summer which will provide the much-needed additional housing options for the citizens of Flagstaff.

Sincerely,



Chris Kemmerly
Owner/CEO



Neighborhood Meeting and Citizen Outreach Plan

April 27, 2021

Via Email (Genevieve Pearthree Genevieve.Pearthree@flagstaffaz.gov)

Genevieve Pearthree
City of Flagstaff Planning & Development Services
211 W. Aspen Ave
Flagstaff, AZ 86001

RE: **Project:** Presidio in the Pines- Tract M
Applicant: Miramonte Presidio, LLC

Dear Ms. Pearthree:

In connection with our application for (a) Conditional Use Permit, the applicant, Miramonte Presidio, LLC, (Miramonte) has formulated this Neighborhood Meeting and Citizen Outreach Plan and welcomes feedback from the City of Flagstaff (the "City") regarding any of the details set forth herein. The information herein is intended to comply with relevant portions of the Flagstaff Zoning Code (the "Code"), Section 10-20.30.060.

Introduction

Miramonte Presidio, LLC is proposing to develop a 2.77-acre parcel located at 2940 S. Woody Mountain Road, Flagstaff, AZ. 86001, Assessor Parcel Number 112-62-483, otherwise known as Tract M. The development will consist of three, (3) story apartment buildings consisting of 39-units. The buildings total 19,650 SF and residential units will range from 514-1,064 SF. The density per acre is 14.09 units and the lot coverage is 12.6%.

The Planned Residential Development (PRD) mechanism will be used, following standards: T4.N2 Transect Zone, Apartment Building Type, and Forecourt Private Frontage Type. As a condition of Civil Plan approval, a Conditional Use Permit (CUP) is required for the PRD in the HC zone.

Neighborhood Meeting

A. Purpose

Miramonte understands the purpose of the required neighborhood meeting to encompass the following goals:

- Encourage Miramonte to allow for informed decision making through the dissemination of proposals and alternatives. *See Code Section 10-20.30.060(B)(1).*
- Ensure that Miramonte pursues early and effective citizen participation in conjunction with its applications, giving it the opportunity to understand and try to mitigate any real or perceived impacts its applications may have on the community. *See Code Section 10-20.30.060(B)(2).*
- Ensure that the citizens and property owners within the community have an adequate opportunity to learn about how Miramonte's applications may affect them and to work with Miramonte to resolve concerns at an early stage of the process. *See Code Section 10-20.30.060(B)(3).*
- Facilitate ongoing communication between Miramonte potentially affected citizens and adjacent property owners, City staff, Planning Commissioners and elected officials throughout the application review process. *See Code Section 10-20.30.060(B)(4).*

B. Applicability and Requirements

Miramonte understands its Applications will require it to hold a neighborhood meeting and that it is responsible for the costs associated with the meeting. If the Director requires as much, Miramonte will host additional neighborhood meetings. Miramonte has not yet determined when the required neighborhood meeting will be held, however, Miramonte will inform the City once it has scheduled the neighborhood meeting.

C. Neighborhood Meeting Plan

Pursuant to Code Section 10-20.30.060(C)(2), Miramonte's plan for how it intends to conduct the neighborhood meeting must be submitted to and approved by the Director in compliance with the review schedule. In anticipation of this requirement, Miramonte includes the following proposed plan for conducting the neighborhood meeting. The neighborhood meeting will be hosted at a suitable gathering location at or near the proposed project site. Miramonte may hold the public meeting(s) at the subject site, if it is determined to be a suitable location for the meeting(s). Miramonte intends to hold in-person meetings, assuming that social distancing requirements caused by the COVID-19 pandemic can be met. If in-person meetings are not feasible as a result of the pandemic, then Miramonte will either delay the meeting until such time as in-person meeting can be suitably held or it will conduct the meeting online, if approved by the Director. Again, while

Miramonte has determined the location, date and time of the neighborhood meeting, it will include such information in its plan sent to the Director in compliance with the review schedule.

While the Director may determine that additional notices are required, Miramonte will, at a minimum, provide notices, via first class mail and email (if available) to the following parties:

- Property owners, citizens, jurisdictions and public agencies within 300 feet of the proposed project;
- The head of any homeowners association, or community/neighborhood representative within 1,000 feet of the proposed project;
- All persons or groups whose names are on the registry of persons and groups described in Code Section 10-20.30.080(B) who are interested in receiving such notice; and
- If required by the Director, to any party falling within an expanded notification area.

Further, Miramonte will post a sign on the subject property. The sign posted on the subject property will be at least 4' x 4' and will be clearly visible from Woody Mountain Road and will have an attached information tube containing copies of the meeting notice. This sign will be installed at least 10 days prior the neighbor meeting. In addition, each of these notices will set forth the purpose and substance of the proposed application, and the time, date and place of the neighborhood meeting. Miramonte will submit a copy of such notice to the Director.

At the meeting(s), Miramonte will circulate a sign-in sheet (or collection of participant information for a virtual meeting), and will provide an introduction of the proposed development, with an overview of the development's design and goals. After Miramonte provides an overview of the proposed project, Miramonte will engage in a charrette-style interaction, encouraging attendees' written contribution of any comments or concerns about the proposed development, and in particular will solicit attendees' desired community outcomes. For a virtual meeting, Miramonte will invite contribution of comments and concerns to be submitted in advance of the meeting via email and at the meeting via chat features through the online meeting service. Upon collection of the attendees' written responses, Miramonte will discuss some of the comments received and facilitate an open forum discussion with attendees. Miramonte will provide attendees with contact information to permit follow up discussions with any interested participant.

D. Record of Proceedings

Pursuant to Code Section 10-20.30.060(F), after the meeting(s), Miramonte will create a written summary of the meeting(s) and will submit the report to the Director in its next formal submission. The report will include the information specified in Code Section 10-20.30.060(F), including (i) certification, on a form established by the Director, that the meeting was properly noticed and conducted; (ii) dates and locations of all meetings; (iii) a copy of the notices provided, including dates and number of mailings or deliveries; (iv) a copy of the mailing list and a summary of where residents, property owners, and potentially affected citizens receiving notices, newsletters, or other

written materials were located; (v) the number and names of people that participated in the process based on the sign-in sheet; and a dated photograph of the sign installed on the subject property, as discussed above.

In addition, Miramonte's report will contain a summary of concerns, issues and problems expressed during the neighborhood meeting(s), including: (i) the substance of the concerns, issues, and problems raised during the process; (ii) how Miramonte has responded to these comments. Further, Miramonte's responses will be included in an associated report.

Finally, Miramonte will provide a copy of the written summary to all attendees who recorded their name on the sign-in sheet. Miramonte welcomes any feedback from the City regarding its proposed neighborhood meeting plan.

Notice of Public Hearings

A. Planning Commission Public Hearing

In addition to the neighborhood meeting(s), the Director must schedule a hearing with the Planning Commission to provide additional opportunities for interested members of the public to be informed of and provide comments on Miramonte's development proposals. Miramonte will notice the public hearing as required by Code Section 10-20.30.080.

As indicated above, Miramonte understands the need for heightened community involvement throughout the application process and welcomes the City's input on any of the information and plans set forth herein. To the extent not expressly indicated, Miramonte intends to conduct the neighborhood meeting(s) and citizen outreach in accordance with the requirements of the Code.

Sincerely,



Charity Lee
Land Acquisition & Development Manager
Miramonte Homes
102 S. Mikes Pike
Flagstaff, AZ. 86001



City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618
F: (928) 779-7684



CUP

Date Received	Application for Conditional Use		File Number
Property Owner(s) Miramonte Presidio LLC	Phone 520-268-9120		
Mailing Address 2562 E. River Road	City, State, Zip Tucson, az. 85718	Email chris@kemmerly.com	
Applicant(s) Chris Kemmerly	Phone 520-268-9120		
Mailing Address Same as above	City, State, Zip	Email Same as above	
Project Representative Charity Lee - Miramonte Homes	Phone 928-600-3594		
Mailing Address 102 S. Mikes Pike	City, State, Zip Flagstaff, az 86001	Email c.lee@miramontehomes.com	

Site Address 2940 S. Woody Mtn Rd.	Parcel Number(s) 112-62-483	Subdivision, Tract & Lot Number Presidio in the Pines Tract M	
Zoning District HC	Regional Plan Land Use Category Suburban	Flood Zone Zone X	
Property Information:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing City of Flagstaff Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are pre-World War II housing? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Subject property is undeveloped land?		
Surrounding Uses (Res, Com, Ind)	North Res	South I-40	East Res
			West Res

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Miramonte Homes
Chris Kemmerly
2502 E. River Road
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April 15, 2021

City of Flagstaff
Planning and Zoning Commission
211 W. Aspen Avenue
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Project Name: Presidio in the Pines-Tract M
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Miramonte Presidio LLC (Miramonte) is the owner of approximately 2.77 acres located at 2940 S. Woody Mountain Road, Flagstaff, AZ. 86001, Assessor Parcel Number 112-62-483, otherwise known as Tract M (the Project), identified in the Final Plat of Presidio in the Pines a Planned Community Development, in Case 9 Map 72, and recorded in Document Number 3322439 with the Coconino County Recorder (the Final Plat).

Tract M is zoned Highway Commercial (HC) and was originally identified on the Final Plat as a future church site. Miramonte proposes to build a 39-unit multifamily residential project and use the Planned Residential Development (PRD) mechanism to develop three (3) story apartment buildings, some of which are split-level, using the following standards: T4.N2 Transect Zone, Apartment Building Type, and Forecourt Private Frontage Type. The buildings total 19,650 SF and residential units will range from 514-1,064 SF. The density per acre is 14.09 units and the lot coverage is 12.6%. The intent is to plat the condominium units.

As a condition of Site Plan approval, a Conditional Use Permit (CUP) is required for the PRD in the HC zone. Our application addresses the nine standards for granting a CUP below.

9 STANDARDS FOR GRANTING A CONDITIONAL USE PERMIT:

1. Access and Traffic, Pedestrian, Bicycle and Vehicular Circulation

Site access will be located off W. Presidio Drive. The Fire Department has reviewed and has approved of the on-site access.

The City of Flagstaff required a total of seventy-three (73) vehicle parking space. The Project will provide seventy-four (74) vehicle parking spaces which will include four (4) A.D.A compliant spaces and twelve (12) bicycle spaces.

A.D.A Pedestrian access is provided to each building and the public way.

Bike racks will be located at the entrance of each building.

2. Adequacy of Site and Open Space Provisions, Including Site Capacity and Resource Protection Standards Where Applicable

The Project will include 14 units per acre with 49.7% of the site remaining as open space. The Project will protect 35.11 % tree resources of which, 30% is required in the HC zone.

3. Noise, Light, Visual, and Other Pollutants

The Project is bordered by I-40 to the South, S. Woody Mountain Road to the West and W. Presidio Dr. to the North. There is an existing block/sound wall along Woody Mountain Road and I-40 which will provide a barrier between the Project and the roadways. This will help mitigate noise and aid in the visual aesthetics of the Project.

Building lighting will comply with the City of Flagstaff Outdoor Lighting Standards in Section 10-50-70 of the Zoning Code.

4. Proposed Style and Siting of Structures, and Relationship to the Surrounding Neighborhood

The Project is in Presidio in the Pines, a Planned Community Development, a high-density residential neighborhood. The apartment style buildings will be wood and/or masonry construction with slab-on-grade floors. They will be constructed using similar construction materials as to complement the existing neighborhood. Building forward is utilized providing human scale and interest to adjacent surrounding development.

5. Landscaping and Screening Provisions

Landscaping will comply with the requirements of the approved Site Plan and as noted on the Landscaping Plan.

Screening will be accomplished with screen/sound walls on existing boundaries and will comply with the requirements in Section 10-50-50 of the Zoning Code.

6. Impact on Utilities

Presidio is a 790 Lot "Planned Community Development". Utility impacts were analyzed at the rezoning and public improvements were installed per WISA.

7. Signage and Outdoor Lighting

No additional signage is proposed for the Project. If additional signage is installed it will comply with the sign standards in Section 10-50-100 of the Zoning Code.

All exterior lighting will meet the requirements of the City of Flagstaff Outdoor Lighting Standards for shielding, lamp type and maximum lumen output as noted in the Outdoor Lighting Standards in Section 10-50-70 of the Zoning Code.

8. Dedication and Development of Streets Adjoining the Property

Adjoining streets are fully improved and dedicated to the public.

9. Impacts on Historical, Prehistoric or Natural Resources

A cultural resource survey was completed for the entire area inclusive of this Project area. Mark Reavis, Neighborhood Planner- Heritage Preservation Officer has reviewed the Project and has determined that no additional cultural resource surveys are required.

Thank you for considering our application for a Conditional Use Permit for Presidio in the Pines Tract M. Miramonte looks forward to starting construction on the Project this summer which will provide the much-needed additional housing options for the citizens of Flagstaff.

Sincerely,



Chris Kemmerly
Owner/CEO

Attendees: June 7th, 2021 Neighborhood Meeting,
Presidio Tract M

No	Name	Address	E-mail	Phone
1	Robert Davis	2912 W. Paz De Avenida	radavis15@mac.com	414-807-3306
2	Erik and Ashlyn Mrdak	2886 W. Presidio Drive	Erikmrdak90@gmail.com	
3	Philip Dunn	2477 WMT		
4	Whitney & Patrick Biggerstaff	2943 S. Pepita Drive		928-814-2033
5	Andrew Pescador	2530 W. Pollo	cirandrew.b.pescador@outlook.com	
6	Mogollon Engineering			
7	David Bink	1750 Ax Handle Way	dave4dl@gmail.com	928-221-0278
8	Lorna Pederson			
9	Brandon & Summer Johnson	2951 S. Pepita Drive	Rotorwind@yahoo.com, summerjmtb@gmail.com	
10	Christina George	2959 S. Pepita Drive	Christina.george610@gmail.com	
11	Tim and Anne King		anne@annekingrealtor.com	
12	Lee Rozell		leerozell65@gmail.com	
13	Linda Otzen	2910 Pepita		
14	Lauri Budzinski	2940 S. Camel Drive	lauribud@gmail.com	
15	Brandon Lee Wilson	2389 S. Cliffview Street	afm1979@msn.com	
16	Alaxandra Pucciarelli		apucciarelli@flagstaffaz.gov	
17	Kera Henscheid		henscheid2@2.com	
18	Sam Wright	2549 W. Pollo Circle	samlwrightjr@gmail.com	602-740-3000
19	Holly Shilling	2892 W. Presidio Drive	hollykirsten.music@gmail.com	
20	Abby Joseph	2518 West Pollo Circle	abby.joseph@icloud.com	
21	Brad L			
22	Tom Summers	2546 Pollo Circle	tomksummers@gmail.com	
23	Bonnie Higgins	2389 W. Mission Timber Circle		
24	Sean Ash	2930 S. Tex Ln.	seanash@gmail.com	
25	Marvin Kissinger	2897 W. Josselyn Drive	californiamarvin@comcast.net	928-774-1716
26	Brian Hanabury			
27	Verendra Silva	2874 S. Wright Rd.	varendra.silva@gmail.com	
28	James McKirdy			
29	Ryan Carpenter			
30	April Cool		April.Tuomi84@gmail.com	
31	Nate Geisler			
32	Tiffany Antol	City of Flagstaff	tantol@flagstaffaz.gov	
33	Allen Pogue	2924 S. Camel Drive		
34	Jay and Roxanne Nottinham	2892 W. Pico Del Monte Circle		
35	Crystal DeHoad			
36	Diane D. Bellock	2548 S. Cliffview Street	1diane.bellock@nau.edu	
37	Blair Ballin	2900 Presidio Drive	blairgroup@gmail.com	480-233-6433
38	Chris Kemmerly	Miramonte Homes		
39	Charity Lee	Miramonte Homes		
40	Whitney Cunningham	Aspey Watkins and Diesel		

Topic: Presidio Tract M- Neighborhood Meeting

Date: Jun 7, 2021 04:40 PM Arizona

Meeting Recording:

https://us02web.zoom.us/rec/share/WKq4fJ7Eq_0qu3s0YRdl8GAyyCs03OuGKcV9upm7UfDjJ_1UMFX4kyepqbtvxiY.LcfV7HVVH_aEMPj4y

Access Passcode: w4&?@KGP

Comments:

Erik Mrdak

Has there been a study to analyze how an apartment complex would affect the current subdivision?

Miramonte

We have not done a study. The project won't be an apartment complex. We will be building a "for sale" condos. No study on what the condos would be priced at and if there would be a negative or positive effect on the adjacent subdivision.

Whitney & Patrick Biggerstaff

Was it originally the intent to develop Tract M as condos?

And if that was the case, why wasn't it disclosed to us?

Miramonte- The original development had designated the property as a church site or indoor commercial uses as listed in the Land Development Code 10 03-002-004B. December of 2020 the restriction was changed, and the City Council now designated the property for multifamily residential development.

Whitney Cunningham: Miramonte was interested in developing the property and initiated discussions with the City. The Development Agreement needed to be amended. Miramonte proposed the condominiums and the City wanted to eliminate the other proposed uses and was the agreement that was approved by the council and signed by the mayor.

Christina George

2959 S. Pepita Drive

I am directly impacted by the proposed condominiums and can confirm that the traffic study that was performed in the past does not reflect what is going on now and does not take in to account the adjacent development of 199 units across the way. Presidio only has three entrances and exits, and the community of Boulder Point want to restrict to only two entrances.

Miramonte- When the City approves a Site Plan, they consider other developments in the area. Our Site Plan was approved and did not require an additional traffic impact analysis taking all developments in

the area into consideration. Please contact the City of Flagstaff Traffic Engineer for more information on traffic analysis in the area.

Christina George

Community Impact Question. Why is it that we don't know the financial impact of these condos? People on Joselyn paid premiums on their lots. Why were we not notified in 2020 that this proposed development was taking place, and what is Miramonte's plan for snow removal and continued community grooming?

Miramonte-We are following the public process. As a requirement of our Civil Plan approval, we were required to have a community meeting which we've done and are now holding our second meeting. We have notifying the neighborhood as required by the City Code. And for the second meeting notified the entire subdivision. The condo complex will have its own HOA which will regulate snow removal. We don't have a specific plan for snow removal at this time. There will no additional fees incurred for the existing HOA. The Condo will have its own HOA.

Phillip Dunn

2477 W. Mission Timber

Miramonte has given up control of the HOA board. The board should not allow. Would like to know what the boards position is on this project? I'm amazed you can go forward on this without the boards support? I don't think you can find a single resident in this area that is supportive of this change.

Miramonte The board has not had a formal position on this project. The price of the condos has not yet been determined.

Miramonte- The board does not govern Tract M. It is on the original plat. It is one of the reasons why the City required that an HOA would be formed and would govern this development. The Presidio development and HOA do not have governing authority. We mailed notifications to the entire Presidio subdivision.

Brad L- Since last meeting we want to make sure we're understanding that you still need to meet. Are you planning to rezone the property? We thought you were applying for a CUP to change the way the property is zoned. Are these per the amendment that were recently approved? We think the land could be used better for the community.

Miramonte- A Planned Residential Development is allowed in the HC zoning with a conditional use permit. We would present our case to the P&Z commission and the public is welcome to attend the meeting. Tract M has always been zoned HC.

Robert Davis- It's a little confusing on the terminology. The documents the city sent were signed in April 15th and the next day at the HOA meeting they didn't even know of the proposal. The comment was made that Miramonte was to establish a separate HOA for Tract M. A major issue is parking. Where is the additional parking going to go? The additional parking will go into the Presidio neighborhood and the HOA is responsible for monitoring the parking. It is clear that Miramonte hasn't taken into account

the concerns of the neighborhood. We submitted 60 signatures opposing the project. We're not opposed from putting more housing on Tract M, the changing from a church site was not discussed with the neighborhood and the city rewrote Section 6.6 of the master plan with the Amendment 4 which requires a conditional use permit. A conditional use permit is required to get these changes approved, or it stays as a church site. We're asking Miramonte to withdraw its request and resubmit a plan that is compatible with the adjacent development not three-story development. Miramonte misled the neighborhood, people purchased into the development thinking the property would be a church site. When will the P&Z meeting be? When did it go to the city council?

Miramonte- The P&Z meeting has not been set. We will send out notifications to the neighborhood. Resolution 2020-65 was passed unanimously by the City Council to change the site from a church site to a site for condo development.

Crystal DeHoag- You said on street parking won't be allowed. Would a violation be included in the CCRs? The biggest concern is parking. They will likely be rented out to college students, and they would have one car per bedroom at a minimum. Is there anyway to include more parking into the development or have heavy penalties into the CCRs?

Robert Davis- Parking on the City Street is not a violation for the city. Since you have not established your HOA. The only violation for the city is that you don't park on the street from November 1st- March 1st.

Miramonte- We would regulate parking on the street through our HOA and CC&Rs for that Project.

Phillip Dunn- There is no way to track parking and charge it back to someone.

Richard Allen Pogue- Neighborhoods that have these multi-family structures typically have higher rates of crime within a half a mile. Has Miramonte performed crime rate studies?

Miramonte- No, Miramonte has not performed studies on crime rates related to our development. Housing is a crisis in Flagstaff, Miramonte seeks to build housing options for all its citizen of Flagstaff. We are looking at individuals with incomes between \$50,000 to \$100,000 these would be the individuals that would be purchasing our condos.

Bonnie Higgins- When will you address the questions that have been submitted in the chat? Your development will have an impact on our streets. There will be many more cars in the condo development than 74. There is no way to enforce that. We already have a huge problem with parking on the street and it is impossible to administer. What are the dates for P&Z? Will you be notifying the entire subdivision?

Miramonte- The questions that have been submitted are related to traffic. Our project does not require a traffic impact analysis because our vehicle trips per hour are less than one hundred. Our project meets or exceeds the requirements of the code. I would suggest you speak with the City of Flagstaff

Traffic Engineer Jeff Bauman. The P&Z meeting has not yet been scheduled. We will be coordinating that meeting and will notify the entire Presidio subdivision and HOA.

Erik Mrdak- This project is not popular with residence who live in Presidio. About 90% of people we've heard from don't support the project. What is the recourse for the residence?

Miramonte- Miramonte wants to build additional housing for residence of Flagstaff. If you oppose the project, you can submit your comments to me, and attend the P&Z meeting.

Brandon Johnson

2951 S. Pepita Drive

Are the P&Z meetings in person or via zoom?

Miramonte

P&Z meetings have been via zoom but may be in person. At this time all of the meetings are held using the TML application.

Brad L- Some of the language you've used here is hard to follow. You've said the development has been approved, but you don't have a CUP, please explain further.

Miramonte- Our Site Plan has been approved at this time, but there are many steps involved in the development process. In order to build a development like this in this location, Miramonte needs entitlement rights, in this zoning we need a conditional use permit, approval of the site plan and approved building plans. Currently the site is zoned HC, no rezoning is needed there. In December the City approved a development approving owner-occupied high-density housing. Fundamentally what is left is the approval of a conditional use permit. The Planning and Zoning Commission will need to approve the conditional use permit. Development would occur quickly thereafter.

Miramonte- As a condition for our civil plan approval we need to receive our conditional use permit. Grading plans have been reviewed by the City of Flagstaff and are currently in review.

Brad L- Will you send a notification on when the P&Z meeting will be held? And many questions should be addressed at the P&Z meeting?

Miramonte- Yes, we will be sending notification of the P&Z meeting. if you would like to be part of the public process you are welcome to attend the P&Z meeting. There will be an opportunity for public comment at the P&Z meeting.

Aaron Shilling- Are trees being cleared on Tract M?

Miramonte- No clearing of trees or improvements are occurring on the site.

Elizabeth Decker- 2920 W. Presidio Drive

Is anyone on the call from the City and/or Planning and Zoning?

Miramonte- Yes, Tiffany Antol and Alax Pucciarelli from the City are on the call.

Elizabeth- Is this meeting a courtesy or are there ways the neighborhood can help to modify the plan? Are we too far down the line to make changes? There are concerns related to the development. Will P&Z hear our concerns?

Tiffany Antol- The important thing would be to know what changes are to be proposed. We haven't heard a lot of suggestions on how to modify the project it's more of a yes or no. If specific comments aren't given related to modifications, then the P&Z wouldn't know what you are proposing? CUP is different than a rezoning. A CUP is a permitted use in the zone. It is contemplated whether or not the use is appropriate in the zoning category. This proposal is 100% residential project and in a commercial district requires a CUP. P&Z would look at very specific findings and how the project fits in with those findings.

James McKirdy- It is nonsense that there would be heavy fees for parking violations. Currently we have a security guard that drives around. It is not a reality to fix parking issues. Will there be regulations against Airbnb? Is this designated as affordable housing and is the City contributing toward affordable housing?

Miramonte- Miramonte will restrict its property to restrict its use against vacation rentals. When we work on the CC&Rs we can look to incorporate parking restrictions in the CC&Rs.

James McKirdy- Regulating parking in the CC&Rs doesn't happen.

Miramonte- Flagstaff has declared a Housing Crisis. This location is going to be a great location for 39 families to find housing in Flagstaff.

James McKirdy- Is the Affordable Housing part of this project?

Miramonte- Yes, Miramonte has designated units as attainable units that are specified in the development agreement. We will be designating 4 units for attainable units.

James McKirdy- Is there anything that can increase that number?

Miramonte- The market rate units support the attainable units.

Christina George- I wanted to express my anger for these proposed units. I was looking forward for the proposed use of Tract M as an adult indoor facility. I was looking forward to a development that was geared toward an adult community. I don't see any additional spaces within the community that could support that.

Lauri Budzinski- People are over it with Miramonte. There is so much information that hasn't been given. Once Miramonte reached buildout they turned the governance over to the HOA and left without finishing curbs, etc. I am finding what I am hearing hard to swallow. I am more concerned about the 200 apartments going in down the street and the traffic. Is a traffic light going in on Woody Mountain Rd?

Miramonte- I spoke to the City Traffic Engineer. Miramonte has contributed toward the traffic light at Woody Mountain Road. Please reach out to the City with additional questions or concerns related to traffic.

Ellyn Hamren- This has been a residential community. There are no apartments around here. Why is the property zoned commercial when there are no commercial around here? We own a lot of rentals in the valley. The clientele that live in condos are not the best. People are considering moving because people who move into condos aren't family oriented and wonder around the neighborhood and people don't feel safe. This property would be better for a church or community center.

Robert Davis- We aren't necessarily opposed to putting more housing, we are opposed to the type of housing. Because Miramonte isn't considering changing the development plan, they are putting us in a position of yes or no. We've suggested alternatives such as single family. Many people have stated that they were fooled when they build their homes because it was stated it would be a church. Miramonte is backing us into a corner. We don't want them to build condos. Condos aren't compatible with the neighborhood.

Brad L- What effect will this development have on the housing crisis?

Miramonte- There are material shortages across the board from lumber to paint. By the time we start constructing vertically it will probably be over 12 months.

Phillip Dunn- Are any of the board members from Presidio on this call? Everyone should attend the board meeting tomorrow and give them a piece of our mind.

Miramonte- No

Chat File

June 7th, 2021

00:08:55 Robert Davis: Robert Davis
00:09:25 Robert Davis: 2912 W paz de Avenida 414-807-3306 radavis15@mac.com
00:11:29 Erik Mrdak: Erik Mrdak
00:11:38 Erik Mrdak: 2886 W. Presidio Dr
00:11:42 AshLynn Mrdak: AshLynn Mrdak
2886 W Presidio Drive
00:12:51 Philip Dunn: Phil Dunn 2477 WMT
00:13:32 Erik Mrdak: Erik Mrdak 830-872-9836 erikmrdak90@gmail.com
00:14:25 AshLynn Mrdak: AshLynn Mrdak
2886 w Presidio Drive ashlynn.mrdak@gmail.com
5803627154
00:14:39 Whitney & Patrick Biggerstaff: Whitney & Patrick Biggerstaff, 928-814-2033
wnbiggerstaff@gmail.com 2943 S Pepita Dr
00:15:01 Andrew Pescador: Andrew Pescador
2530 W Pollo Cir
andrew.b.pescador@outlook.com
00:18:29 ROB BEGLEY: Rob
00:18:38 ROB BEGLEY: Kent & Rob
00:19:03 ROB BEGLEY: Rob & Kent-Mogollon Engineering
00:19:12 David Brink: David Brink
1750 Ax Handle Way
dave4dl@gmail.com
928-221-0278
00:19:53 Lorna Pederson: Lorna B Pederson
00:20:32 Rotorwind: Brandon & summer Johnson
2951 S Pepita drive
Flagstaff 86001
Rotorwind@yahoo.com
00:22:42 Christina George: Christina George 2959 S Pepita Dr, Flagstaff 86001
Christina.George610@gmail.com
00:23:00 anne@annekingrealtor.com: Tim and Anne king 2880 West Presidio
anne@annekingrealtor.com
00:23:26 Lauri Budzinski: Lauri Budzinski
2940 S Camel Dr
lauribud@gmail.com
00:23:26 Brian Lee Wilson: Brian Lee Wilson
00:23:37 Brian Lee Wilson: 2389 S. Cliffview Street
00:23:48 Brian Lee Wilson: AFM1979@msn.com
00:23:54 Holly Shilling: Holly shilling. 2892 w Presidio dr. hollykirsten.music@gmail.com
00:23:55 Abby Joseph: Abigail joseph 2518 west Pollo circle abby.joseph@icloud.com

00:24:10 Brad L: Yes

00:25:12 Tom Summers: Tom Summers 2546 Pollo Circle Tomksummers@gmail.com

00:28:22 David Brink: Brian Hanabury, Tom Summers, Corinne Burford, Ryan Carpenter, and Sean Ash, it looks like you are unmuted

00:32:02 Brad L: Brad L blawry3@gmail.com

00:32:19 Bonnie Higgins: Bonnie Higgins 2389 W Mission Timber Cir.

00:32:24 Sean Ash: seanash@gmail.com

00:38:01 Lorna Pederson: Can you mute everyone? I believe you can.

00:39:38 Marvin Kissinger: Marvin & Ileana Kissinger californiamarvin@comcast.net
2597 W Josselyn Drive 928-774-1716

00:40:31 Brian A Hanabury: Can that traffic report be shared?

00:41:10 AshLynn Mrdak: I can't imagine squeezing another 131 units anyhow

00:41:59 Crystal DeHoag: You said that no on street parking will be allowed. How will that be monitored and enforced?

00:42:05 Whitney & Patrick Biggerstaff: Can you please mute everyone?

00:42:10 Philip Dunn: Like to ask some questions. Phil DUNN

00:42:55 Brad L: I believe you can mute as the host

00:44:28 Crystal DeHoag: those that call in cannot raise their hand or type

00:44:58 Bonnie Higgins: Will Miramonte administer parking and ticket residents parking on-street?

00:45:16 AshLynn Mrdak: How is the parking going to be monitored? Since don't have security driving around or a gate house? And will tickets be administered?

00:46:27 Brad L: Good question

00:46:37 Rotorwind: Miramonte own letter listed them as apartments!!!

00:46:38 Summer Johnson: The on street parking won't be "allowed" but I doubt there will be any monitoring or enforce. I still strongly oppose this proposal.

00:46:45 blair ballin: Any rental restrictions? Meaning are these allowed to be sold to investors?

00:47:17 Summer Johnson: Blair, only less than 30 day rentals. Meaning hello NAU students

00:47:33 AshLynn Mrdak: I strongly oppose this proposal

00:48:38 Roxanne D Nottingham: Can you explain what the "vehicle trips per hour" is? It seems like adding 70+ vehicles there would add a lot of traffic moving along Woody Mountain road.

00:48:44 Brad L: Why didn't you mention this last meeting?

00:50:13 Crystal DeHoag: the city did not seek out miramonte and request condos

00:50:16 Summer Johnson: Everyone who bought in Presidio under the impression that a church was going to be built on that property has been misled. If we had known this could be "condos" we would not have bought here.

Very disappointed in Miramonte.

00:50:33 anne@annekingrealtor.com: Agree. I strongly oppose this.

00:50:33 AshLynn Mrdak: We were told when buying in June of 2020 miramonte was completely done building in this area. Why were we not told this was a possibility?? We probably would have not decided to buy! Affordable housing changes the whole integrity of this division!

00:50:54 Robert Davis: When was it before the Council? That does not seem to be correct.

00:51:13 Whitney & Patrick Biggerstaff: Was there ever a notice about this proposed change sent out to the residents last April or 2020?

00:53:29 Crystal DeHoag: please note that a 3 story building at that entrance will ensure that one of our primary entrances will not get any sun, and will be ice packed throughout the winter

00:53:51 Summer Johnson: Good point, Crystal.

00:54:03 Whitney & Patrick Biggerstaff: Here, here Christina!!

00:54:24 AshLynn Mrdak: No one knew about the first meeting?? Why

00:54:27 Whitney & Patrick Biggerstaff: This all seems very sneaky.

00:54:35 Lauri Budzinski: I did not receive notice of the 1st meeting

00:54:36 Christina George: Why can't I hear anything?

00:54:56 Crystal DeHoag: I am glad that the word has gotten out more for this meeting and we can see that with the attendance here today

00:55:35 AshLynn Mrdak: We didn't receive any emails or letters. We had them forwarded to us by fellow residents.

00:55:47 Summer Johnson: The notification about the first meeting was only those within "300 feet" and being 3 houses down, we didn't get a notice.

The whole scheme has been handled very poorly by Miramonte and it is not considering the best interest of the families and home owners who have already invested so much into our community.

00:56:09 anne@annekingrealtor.com: Never received any communication....heard from a fellow neighbor about this.

00:56:26 Crystal DeHoag: do we have any board members here today?

00:57:11 AshLynn Mrdak: When is this board meeting? And how can we all attend

00:57:13 Whitney & Patrick Biggerstaff: Miramonte approached the City first, and then notified the HOA Board.

00:58:19 Summer Johnson: Not provided for as it was never meant to be condos.. it was meant to be open space and a church.

That is what we were told when WE bought our home in 2016..

Obviously we were very misled.

00:58:51 anne@annekingrealtor.com: Who told you it was going to be a church?

00:59:01 Whitney & Patrick Biggerstaff: But we never heard anything about the change in April of 2020.

00:59:06 Crystal DeHoag: we all thought it would be a church

00:59:24 anne@annekingrealtor.com: So frustrating...

00:59:35 Summer Johnson: The realtor, as well as the Miramonte and Capstone realtors we spoke with when looking at lots.

00:59:53 Sean Ash: Common entrance does not seem to designate two communities... If that's the case (2 separate communities) then Miramonte entrance should be off of Woody Mountain Rd.

01:00:18 Marvin Kissinger: What is the financial impact of this project on our HOA fees and property taxes?

01:00:21 Bonnie Higgins: how can I get in line to ask a question?

01:00:55 Summer Johnson: LOTS of misleading information.

01:01:00 Lauri Budzinski: I also would like to ask a question

01:01:19 Crystal DeHoag: they must have granted a CUP, Conditional Use Permit to do this
01:02:24 Sean Ash: This was a done deal BEFORE anyone in Presidio was informed about it
01:02:29 AshLynn Mrdak: Since that will have a different HOA and it's affordable housing
how are they going to regulate the difference since we are so close? Will they be able to use our parks?
I'm assuming so and why? We pay for the upkeep of the park? How is this going to be regulated?
01:02:38 Bonnie Higgins: When we bought our property in the initial offering it was designated
for a church.
01:02:50 Summer Johnson: It seems with all the construction activity the past few days on
that lot, they are already clearing it for the condos..

Which gives me little faith they care about what we are saying and how we feel.

01:03:34 Holly Shilling: when is the meeting
01:03:35 Sean Ash: Yes Summer
01:05:17 Erik Mrdak: Robert Davis great point
01:05:41 Brian A Hanabury: Alexandra Pucciarelli
Current Planning & Zoning Manager
Email APucciarelli@flagstaffaz.gov
Phone: 928-213-2640
01:05:42 Summer Johnson: Yes, Mr. Davis.

Thank you for your proactive work in looking out for your neighbors.

01:06:02 Sean Ash: Condo owners can't be differentiated from home owners, so our HOA
dues will be paying for them to use common areas
01:06:36 Bonnie Higgins: Many of the bedrooms will have 2 residents, each with a car. So the
number of parking spaces needs to be much higher than the 70 planned spaces.
01:06:38 Crystal DeHoag: excellent research Robert
01:07:34 Summer Johnson: I second that, Robert
01:07:43 James McKirdy: here here Robert!
01:07:44 Ryan Carpenter: Well said Robert!
01:07:53 Lauri Budzinski: here here Robert
01:08:06 AshLynn Mrdak: Low affordable housing/smaller condos WILL bring NAU
students to the community. How will that traffic and noises be regulated really? Which means more
cars. What a disaster
01:08:06 April Cook: Agreed!
01:08:10 Whitney & Patrick Biggerstaff: Valid concerns.
01:08:17 Sean Ash: THANK YOU Robert!
01:08:19 James McKirdy: miramonte want the \$\$\$ - they could give less of a shit
01:08:28 Summer Johnson: I feel this may justify a consultation with an attorney, honestly.
01:08:32 Rotorwind: Robert is 100% right!!!!
01:09:24 Bonnie Higgins: would the notice of P&Z meeting be sent to all Presidio residents?
01:09:29 Erik Mrdak: We will contribute to hiring an attorney
01:09:46 Bonnie Higgins: would the notice of P&Z meeting dates be sent to all Presidio residents?
01:10:01 Whitney & Patrick Biggerstaff: Has Miramonte always owned Tract M?
01:10:11 James McKirdy: so the counsel - without talking to the community... approved this?

01:10:20 Whitney & Patrick Biggerstaff: From the original developer in 2004/2006?

01:11:06 James McKirdy: the streets are public - how on earth can they be ticketed...

01:11:28 AshLynn Mrdak: And how would that be regulated?

01:11:37 Bonnie Higgins: and we have a HUGE problem now with on-street parking. The condos will make it worse. Who will administer parking violations?

01:11:54 James McKirdy: exactly robert

01:11:55 Summer Johnson: They only regulate weeds now.. I doubt they will regulate parking

01:12:08 James McKirdy: horseshit

01:12:31 AshLynn Mrdak: Doesn't seem like she knows, it's all about money!! What do we do call the police department every time someone sees cars. No way that will work

01:13:32 Summer Johnson: Thank you, Allen. A very valid concern and very legitimate

01:13:50 AshLynn Mrdak: Goal to Make Money

01:13:55 James McKirdy: miramonte's goal is to make money

01:14:03 James McKirdy: it's a business

01:14:07 Summer Johnson: Miramonte's goal is to take advantage of as many potential residents as possible ..

01:14:11 Nate Geisler: Way to support young professionals I completely support it.

01:14:37 James McKirdy: (how do i get on the call list to "raise my hand")

01:14:44 Summer Johnson: I'm a born and raised Flagstaff "young professional" and I completely do not support this.

01:14:59 AshLynn Mrdak: Absolutely do not support this!!

01:15:00 Rotorwind: Miramonte is just a greedy developer. They don't care about Presidio or flagstaff! They sold all the lots they could and don't care about all of us that invested hundreds of thousands of dollars in this neighborhood

01:15:03 April Cook: How will you have affordable housing when there is no affordable transportation out here?

01:15:14 Nate Geisler: So am I and I completely do

01:15:30 April Cook: The current HOA does not enforce parking, how do you plan to enforce parking?

01:16:41 AshLynn Mrdak: Agreed

01:16:48 Whitney & Patrick Biggerstaff: So, what I've gotten from this meeting today is because Tract M was never designated as part of our HOA/Presidio Development, Miramonte never had to disclose any of these changes.

01:17:25 Summer Johnson: We were fleeced

01:17:30 Holly Shilling: Where is the study showing a need for work force housing? MIRAMONTE is building condos selling for 330k + for two bedroom units. How is that for "work force"

01:18:28 AshLynn Mrdak: How and can we even get this overturned?

01:18:53 Rotorwind: Make noise!!!

01:19:00 Brian A Hanabury: <https://www.flagstaff.az.gov/directory.aspx?EID=148>

01:20:15 AshLynn Mrdak: This will cause damage

01:20:28 James McKirdy: Charity - that's not answering the question

01:20:33 Holly Shilling: We would love a community center.

01:20:43 Summer Johnson: It will damage the ambiance, the safety, the valuation of those homes surrounding this proposed development.

01:21:04 AshLynn Mrdak: Exactly summer

01:21:58 James McKirdy: james mckirédy - 2884 w patio del presidio

01:22:21 Tiffany Antol: All of our meetings are currently held using the Teams Application

01:22:32 James McKirdy: mckirdy - damned thumbs

01:22:34 April Cook: April Cook 2916 W Paz De Avenida

01:22:47 Allen Pogue: I didn't state my address earlier but it was sent in a DM to the host. 2924 S Camel Dr. I have no further questions.

01:23:26 Roxanne Nottingham: Jay and Roxanne Nottingham 2892 W. Pico Del Monte Cir

01:24:24 AshLynn Mrdak: Is the city getting a payout on building this also?

01:26:42 Summer Johnson: There are plenty of other projects underway in Flagstaff for this type of housing. It doesn't need to be brought into our neighborhood.

01:26:49 AshLynn Mrdak: Some affordable housing projects get state funding is this happening?

01:27:03 Sean Ash: Council and liberal Mayor are notorious for pushing thru projects like this

01:28:04 Sean Ash: The only way to fight this is to get an attorney

01:28:12 Ryan Carpenter: That's great news about the petition. Who was this document submitted to?

01:28:16 Tiffany Antol: Please reach out to Tiffany Antol the Planning Development Manager on this application if you have specific questions.

01:28:18 James McKirdy: sean ash - i agree

01:29:01 Summer Johnson: They are moving Lots of dirt on tract M. Even today.
Lots of dirty moving

01:29:05 Summer Johnson: Dirt*

01:29:13 Crystal DeHoag: they are just removing the dirt mounds that were put there last year

01:29:56 Summer Johnson: Not removing trees at this time, just dirt.

01:31:51 Crystal DeHoag: 2 story buildings with heavy fines for parking violations

01:32:27 Sean Ash: it's a done deal folks.. We need an attorney...

01:32:42 James McKirdy: crystal - with respect. you can't regulate parking on public streets.... it's a nicety that doesn't exist in the real world specifically because our streets are public

01:33:05 Erik Mrdak: Modifications would be the type of residences that are being presented i.e. apartments/condos

01:33:18 Rotorwind: Put it back to a church! Or housing max of 2 stories

01:36:31 Summer Johnson: This will not stop college rentals which is a big concern. Anyone else remember the naked college guys near the park a couple years ago? Keep the neighborhood family safe and friendly.

01:37:17 Summer Johnson: Studios and 1 bedroom are not for families

01:37:54 Marvin Kissinger: It was appreciated in adding more shrubs and trees!

01:38:20 Erik Mrdak: attainable housing, rent controlled, city reductions for tax purposes

01:38:49 Summer Johnson: I thought Timber Sky was taking care of the affordable housing offerings.

01:39:55 Erik Mrdak: James great questions

01:40:29 James McKirdy: shoot me a text folks - i'm off - i've gotta cook some dinner with the bride.

01:40:38 James McKirdy: 203-560-5569

01:41:18 Summer Johnson: FAMILIES

01:43:50 Marvin Kissinger: Place 1st floor underground so there are only 2 floors above ground, need lower profile!

01:44:27 Erik Mrdak: Home Owners need to hire an attorney specializing in this type of law. We are out gunned with Whitney C as Mir. Attorney

01:44:46 Crystal DeHoag: if the building nearest the entrance was 2 story...that would help. 2 could be the same #outsidetheboxthinking

01:45:54 Rotorwind: Attend HOA meetings and more importantly planning and zoning meeting and speak your minds!

01:46:39 AshLynn Mrdak: Traffic light will just hold things up more!!!! How about don't over crowd instead

01:47:01 Sean Ash: anyone know who the councilman for this area is?

01:49:28 Roxanne Nottingham: Well said Robert

01:49:44 Erik Mrdak: Exactly, Robert is correct we are not opposed to something just not what is being proposed

01:50:34 Sean Ash: Sean Ash

01:50:44 Sean Ash: 2930 S. Tex Ln.

01:50:51 April Cook: April.Tuomi84@gmail.com

01:50:59 Summer Johnson: Summer Johnson
2951 S Pepita Drive
Summerjmtb@gmail.com

Completely oppose this proposal for the record.

01:51:02 Sean Ash: seanash@gmail.com

01:52:03 Varendra Silva: Varendra Silva 2874 S Wright Rd. varendra.silva@gmail.com
Community Center would be great. Would increase the quality of life of the community.
Traffic/safety/quality of life may take a hit with these condos. I'm about putting housing in, but isn't that what the space near Timber Sky is for?

01:52:45 Debbie Rozell: Lee Rozell. Leerozell65@gmail.com

01:52:48 Sean Ash: If anyone is interested in talking about hiring an attorney email me seanash@gmail.com
This is a done deal and just airing **your grievances will do nothing**

Neighborhood Meeting

Date: May 10, 2021 04:40 PM Arizona

Meeting Recording:

https://us02web.zoom.us/rec/share/Rise8nQvxagWXtPAoW8LE5nvjJKSWsVp9G_ZxvC_XgSiE9C3tgCEoaz0DAQtBc1-.kdn1PeUauOUvkiPs

Access Passcode: \$k7NpAYR

Attendees:

1. Charity Lee- Miramonte Homes, 102 S. Mikes Pike, Flagstaff, AZ. 86001
2. Margaret and Norman Conger 2923 W. Presidio Dr. Flagstaff, AZ. 86001, 928-556-0206
3. Robert Davis- 2912 W. Paz De Avenida, Flagstaff, AZ. 86001, 414-807-3306
4. Chrystal DeHoag-2955 S. Pepita, Flagstaff, AZ. 86001, crystal@bellainvgroup.com
5. Marvin Kissinger-2597 W. Josselyn Drive, Flagstaff, AZ. 86001, 928-774-1716, californiamarvin@comcast.net
6. Gerry Grey- 2502 E. Riffa Road, Tucson, AZ., 520-577-3332
7. Mogollon Engineering, 411 W. Santa Fe Avenue, Flagstaff, AZ. 86001
8. Debbie Nankivell- 2918 S. Pardo Calle
9. Tracy Schwimmer 2290 W. Mission Timber Circle, 6139 E. Calle Del Media, Scottsdale, AZ. 85251 marcschwim@aol.com
10. Scott and Tonya Courtright 2428 W. Mission Timber Circle, Flagstaff, AZ. 86001, 602-920-0761
11. Lori McCorry, 2462 W. Clement Circle, Flagstaff, AZ. 86001, 404-324-1639
12. Brad 2892 S. Pantano Seco Lane, Flagstaff, AZ. 86001
13. Chris Kemmerly, 2502 E. River Road, Tucson, AZ.
14. Betsy Decker and Ryan Carpenter 2920 W. Presidio, Flagstaff, AZ. 86001, 928-380-0006
15. Alaxandra Pucciarelli- City of Flagstaff
16. Railyn Stokes 2860 W. Pico Del Monte Circle, Flagstaff, AZ. 86001, 870-925-0907
17. Brent Ballard 2948 S. Camel Drive, Flagstaff, AZ. 86001, 10838 N. 10th Place, Phoenix AZ. 85020, arizonalifestyle@aol.com
18. Brandon and Summer Johnson, 2951 S. Pepita Drive Flagstaff, Az. 86001, 928-699-4495
19. Whitney Biggerstaff 2943 S. Pepita Drive Flagstaff, AZ. 86001, 928-814-2033,
20. Linda Kiehne, Remax Peak Properties 717 W. Riordan Rd. Flagstaff, AZ. 86001
21. Genevieve Pearthree- City of Flagstaff
22. Hartley Roadie
23. Whitney Cunningham- Aspey Watkins and Diesel, Flagstaff, Az. 86001
24. Brian Hanabury
25. Prissy Y

Comments/Questions

1. Marvin Kissinger

"Is there a buffer between the project? We live on the east side of the project and want to know if there is a buffer zone between the project and our fence. We're lot 41. The county drawings show a line, we assuming that was a buffer. We had to pay a premium for the lot and assumed that was because of the trees. Want to retain as much forest as we can. The parking lot will take a lot of trees. Any information and details we can get would be appreciated. Can we get a copy of the Site Plan?"

- **Mogollon Engineering-** "There is a Tract that is owned by the HOA between your backyard. We will investigate that and provide information back to Marvin on screening. We will be saving 35% of the trees. There is a buffer. We don't have the distance at the moment. We can expand the view to show the distance. On the county website, Tract U. Lot around 60' wide, estimating there is a little over 100'. We can send you some additional information showing how far it is. What are we using to screen between our project and Tract U? Miramonte will get that information. We will send a copy of the Site Plan.

2. Debbie Nankivell

"Didn't receive the letter in the mail but received an e-mail from the HOA, Is this a done deal?"

Charity Lee- "We would need a conditional use permit to build this project. This site was the prior site for a church. We have had churches approach us to construct on the site which would be a greater density. Miramonte would prefer to construct homes."

-

3. Crystal Dehog

"Does this have to go to City Council to be approved."

Genevieve- "This is a conditional use permit that would need to go before the Planning and Zoning Commission. P&Z hears conditional use permits and they have to meet requirements in the code to receive the conditional use permit. City Council typically does not hear conditional use permits. Tentatively scheduled for June 9th but not set in stone. "

4. Margaret Carger

"Concerned about parking. Concerned that the project will draw students which have multiple cars. Will there be restrictions for parking? Across the street there are college students. Does not believe the project has sufficient parking."

Charity Lee- The project allows for 74 parking spaces with 4 ADA spaces. The intent is to condo the project and offer a for sale project. We meet the requirements of the parking for the project. It is not our intent to have parking on Presidio Drive but to have parking within our development. The City of Flagstaff would enforce if there are violations of parking.

5. Robert Davis

"Concerned about trees and parking. Three story buildings are not compatible with the surrounding neighborhood. Sky Cottages is doing one- and two-story buildings. Does not think

overall design is compatible with the community. Makes sense to do some housing, additional family housing makes sense. Would be nice to keep greenspace. Compliance on parking, not even two spaces per unit, which will make people park on the street and under the HOA parking on the street isn't allowed. This is a current problem. Does not think the design, three story condos is compatible. Safety is also a concern with people coming off Woody Mountain Rd., it is a very busy area. Putting this structure in this location is a safety hazard. You stated that a traffic study isn't required, however the City just approved Sky Cottages which is over 200 units, there will be a lot of traffic on Woody Mountain Rd. Agree with Marvin, we bought our houses because of the trees, you are getting rid of 65% of the trees. The area of parking will take away trees. Your open space on the drawing is by Woody Mountain Rd. We're on lot 4 and have been here since 2014, every time trees are cut down it increases the noise into the neighborhood. Can hear the traffic from I-40 more and more. Parking under the HOA rules, residents can't park in front of their house, the fact that you have less than two spaces per condo will cause parking on the street. Number of parking spaces insufficient. Build homes like off Joselyn, would make more sense than the proposed development. I'm opposed of the development."

Charity Lee- "Currently the property is zoned HC which allows for structures up to 60' and under T4N2 we could build up to four stories and our development is proposing three stories. Also, a 250-seat church facility could be built under the current zoning. We are proposing additional parking than is required. When we evaluated the traffic our peak hours were 39 vehicle trips per hours which is less than 100 trips per hour which triggers a traffic impact statement. Our Site Plan has been approved by the City of Flagstaff. The property is not designated open space. A development that is much more impactful could be build on the property. We need additional work force housing, which is the goal of Miramonte Homes. "

6. Brandon and Summer Johnson

"Concerned about the value of the homes with the new development. Worried that condos will be purchased by investors. Don't want three story condos. When we bought the house, we were specifically told that the property would be a church. We spend hundreds of thousands of dollars. We are worried about the value of our house, and that the condos would be bought by investors. Single family housing would be great, or a church would be fine, but a development with three stories is very upsetting, which will change the way our neighborhood feels. It would change our development. There are 1300 housing going in the street across from us and more multi-family across from us."

7. Crystal Dehoag

"Valid concern that units will be purchased by investors. Concerned with parking. HOA regulates parking. Wants to know if we can add more parking into the design. Do you have a unit mix? Valid concern that investors will purchase. Miramonte will build a beautiful product, but concerned with parking. HOA regulates parking on that street. Would like more parking on the development. Where will the mailboxes be?"

Charity Lee

- 12- One bedrooms
- 18- Two bedrooms

- 6- Three bedrooms

Mogollon- Miramonte will work with the post office to determine the location of the mailboxes.

Charity Lee - There will be one mailbox per building.

8. Railyn Stokes

"She wasn't notified of the meeting. Concerned, that they didn't receive notification. Afraid that this is not an accurate representation of who would be against the project. The development will impact more people than 300'. Would like the entire neighborhood to be notified.

Charity Lee- We notified everyone within 300'

9. Brent Ballard

"Could the entire project be purchased by a REIT? Would Miramonte be building apartments? Like the look of the project. Will there be low-income housing? Supportive of the project. "

Chris Kemmerly- "This is a condo for sale project, we are not interested in selling to a REIT. We will have a restriction of 30-day rentals, so we don't have short term rentals. No, this product will be for sale condos and will include the 30-day restriction. No there will not be low-income housing. At this time lumber has gone up 600% which has put a lot of pressure on housing and increased prices and has caused an increase in housing prices. We don't know what we will price them at right now. "

10. Lori

"How much will the units cost?

- Miramonte has not determined the price of the units at this time.

11. Allan Gerston

"The project does not conform to the original plat." Supportive of Robert Davis. What is being promoted is anything but conforming to what the existing neighborhood is. Suddenly high density is what is being proposed. Can not understand that people within 300' were notified. Where is the common sense? Find it disturbing to see this development spring up. It would be better to see affordable housing which would serve a better purpose. Not supportive of high density."

12. Whitney Biggerstaff

"Did not receive notice. Bought in the area because it was a family neighborhood." Must be 301' from the development, because she did not receive notice. Not entirely opposed of the development. Been here seven years. Charity, you mentioned that the housing would be for teachers, nurses, but I don't think that Flagstaff housing prices support that. When do you plan to start construction?

- **Charity Lee-** There is a process. We have received our Site Plan approval, then Civil Plan approval, then subdivision plat and starting vertical construction by next summer. Horizontal construction would start sooner, so you would see

development occurring. There will also be more community meetings and will keep you informed of additional meetings.

13. Vivian Collins- 2361 Mission Timber

"Concerned with additional traffic into the neighborhood." Student Council doing a traffic study and considering closing Woody Way. Very concerned about traffic? How will we accommodate all of that traffic? Traffic statement

Charity Lee- "Entrance into the project would be off Presidio Drive South not off Woody Mountain Road. I appreciate your comments, our project will not be an impact to traffic. Not only does the City consider our project but considers other surrounding developments impact on traffic. "

14. Railyn Stokes

"Concerned with traffic." Can we ask the City to reevaluate the traffic? Or should we do that on our own?

15. Genevieve Peartree

"We will be having a second meeting and will invite traffic to address the traffic concerns." Given the concerns from the neighborhood we will require an additional meeting. We will have someone from the traffic section at the City to address the concerns.

16. Robert Davis

"Sky Cottages put a restriction and added clauses that you can not rent out the units. Miramonte should look at restrictions. The City negotiated provisions with Vintage Partners for the Sky Cottages that wouldn't allow for a renter to then rent out the unit. The City staff should consider including provisions like that. Sky Cottages will also have a property manager. HOA is responsible for parking. The HOA attorneys have said that they must give two warnings, the only enforcement is to put an assessment on the property owner for violations. We're paying for security to put stickers on the cars. There really isn't authority with the HOA for parking violations. The Planning Commission should negotiate additional restrictions and City Staff should consider addressing homeowner's concerns."

17. Chrystal Dehog- "Sky Cottages are rentals and cannot sublease."

18. Robert Davis- "This is not a good plan that the HOA monitors parking. P&Z should add restrictions on Miramonte."

19. Betsy and Ryan Carpenter

"Echo other concerns about parking. Multiple cars will be per unit which will overflow onto the street. The prior proposal for a church would be once per week. Against the project".

20. Brad

"As far as I understand that under the Arizona Statute there isn't statute regarding Air B and B's. Is there a statute for short term rentals?"

Charity/Whitney Cunningham- No, there is not state law restricting Air B and B's however Miramonte can restrict our property and will do so.

21. **Marvin Kissinger-** "Have a concern with emergency vehicles getting out of the development. Sky Cottages will have their own security. Will there be security? We were hoping Miramonte would stand up and use the property for overflow parking or open space.

Charity Lee- No security, because they will be individually owned condos.

22. **Lori**

"Will we be notified of additional meetings, since we were not notified about this. 300' is ridiculously small. Thinks the entire community should be notified. The HOA should notify prior to the day of. "

23. **Genevieve**

"We will expand the notification area for the next neighborhood meeting and also an expanded area for P&Z and we will require an ad in the newspaper for the next neighborhood meeting and P&Z. Notification is required 10 days in advance of the meeting. We will work with Charity to look at the radius. The HOA did receive notice, we understand your frustrations and will ensure it won't happen again."

24. **Vivian Collins-** "Will they do another traffic study if they close Wood Way? The current traffic study does not take the road closure into consideration. If Woody Way does close. Traffic is going to get worse. We are against the project unless traffic is addressed."

25. **Lori-** "The City isn't going to close Wood Way" Boulder Point will be upset and will continue to argue to have the road closed.

Charity Lee- The City of Flagstaff Traffic Engineer will need to address the concerns regarding traffic.

26. **Genevieve-** "Chris or Whitney can you address the short-term rental again, as there may have been some confusion?"

27. **Chris Kemmerly-** "We will include a 30-day restriction to prohibit VRBOs." No short-term rentals.

28. **Whitney Cunningham-** The City of Flagstaff is limited in what restrictions they can impose. Miramonte can impose deed restrictions for the property to prohibit rentals of less than 30

days. Which is an effective tool in preventing short term rentals. Private property owner can restrict its own property.

Comments from Chat:

00:25:23 Mogollon Engineering: Mogollon Engineering
00:26:14 Lori: Lori McCorry
00:26:48 Lori: Lori McCorry
00:44:44 Brad's iPad: You can use coconino county parcel viewer
00:47:09 Lori: can we all get a copy of the site plan?
00:49:33 Lori: I have a question?
01:01:59 Tracy: Wouldn't that still require community approval?
01:02:51 Marvin Kissinger: A Church meets one day a week.
01:03:17 Brandon and Summer Johnson: Thank you, Marvin!
01:08:14 Marvin Kissinger: Renting out the units is a valid concern and parking and safety responses on a two lane road coming into this complex is a real concern!
01:09:21 Crystal DeHoag: we didn't receive notice either
01:09:22 Brandon and Summer Johnson: We received no notification as well
01:10:03 Brandon and Summer Johnson: I'm pretty sure I live within 300 feet and was not included
01:11:17 Lori: Rilyn, FYI Good news ,The road to boulder pointe in not going to be closed
01:12:33 Lori: How much will these cost?
01:13:30 Rilyn Stokes: Thanks, Lori! Happy to hear that. Disappointed that the entire community hasn't been given the opportunity to participate in this conversation. That feels slightly under the table.
01:13:45 Lori: I agree
01:14:28 Whitney Biggerstaff: I have a couple questions.- Whitney Biggerstaff
01:14:44 Lori: A church would be great. One day a week'
01:15:32 Brandon and Summer Johnson: Thank you, Allen.
01:15:37 Tracy: Totally agree--it impacts every homeowner in Presidio regardless of how close they are to this planned complex
01:15:37 Lori: You go Allan
01:16:24 Rilyn Stokes: Very much appreciate all you have to say, Allan!!
01:20:16 Brandon and Summer Johnson: Please keep us on the list as well.. or add us since we have received nothing prior to today... thank you
01:22:10 Brandon and Summer Johnson: They can't ... and it will be an issue.
01:22:30 Brad's iPad: It is going to impact
01:23:18 Marvin Kissinger: Traffic is a major concern and emergency vehicles getting in and out!
01:23:38 Brandon and Summer Johnson: MAJOR concern.
01:28:05 Lori: Will we all get notices when the city is having meetings regarding this matter.

01:29:33 Brandon and Summer Johnson: We spent hundreds of thousands of dollars on our home and enjoy the quiet environment of our street and area of our neighborhood. Adding these condos changes the neighborhood. Noise. Traffic. Population. More cars. If condos had been disclosed when we were looking to purchase, we would not have purchased. We were told it would be a church. I think this would be a mistake for our neighborhood and do not support it.

01:30:58 Whitney Biggerstaff: Same, Summer!! Had we known this were an option, it would've changed our plans significantly.

01:32:29 Brandon and Summer Johnson: Thank you, Ms Pearthree.

01:34:12 Allan Gerston: The HOA is great for finding weeds on your property, and nothing else!

01:34:37 ddb2: I recommend including Boulder Pointe residents for future notification(s) due to traffic considerations. Thank you.

01:34:46 Brandon and Summer Johnson: Allen, YES!!!

01:36:51 Brandon and Summer Johnson: Church: ok

Condos: opposed

01:39:24 Allan Gerston: Allan Gerston-2393 W. Mission Timber Cir: I stand against this high density project that is inconsistent to the subdivision that we all live in-the Presidio. Miramonte seems to be more interested in squeezing "blood" from this turnip. High density with limited parking means only parking and traffic issues. Where is the common sense here?

01:40:04 ddb2: Diane Bellock

01:40:16 ddb2: Diane Bellock 2548 S Cliffview St Flagstaff, AZ 86001

01:40:43 ddb2: Thank you neighbors!

01:40:46 Whitney Biggerstaff: Whitney Biggerstaff- My husband Patrick and I are concerned about the number of units and lack of parking for that area. We are opposed.

Charity Lee

From: Robert Davis <radavis15@mac.com>
Sent: Thursday, May 6, 2021 2:51 PM
To: Charity Lee; Genevieve.Pearthree@flagstaffaz.gov
Cc: info@vintagevp.com; Kim; Robert Davis
Subject: Miramonte Request for Conditional Use Permit at Presidio in the Pines - Tract M

Charity Lee,

Comments Regarding the Miramonte Request for a Conditional Use Permit at 2940 Woody Mountain Rd

These comments are provided for Citizen Participation and Feedback at the virtual meeting on Monday, May 10, 2021 at 5:00 pm. The request for a Conditional Use Permit is to allow Miramonte to build 3 3-story apartment buildings on the lot.

These comments are in total opposition of the planned proposal, for the following reasons:

- **Compatibility** - The proposal for apartments is not compatible with the surrounding communities of single-family homes surrounding the proposed site;
- **Incompatible Design** – These would be the only 3-story structures in the community or any of the surrounding communities;
- **Safety** – The proposed 39 units would result in excessive additional traffic on one of the main entrances to Presidio in the Pines (South Presidio Dr.) creating a safety hazard;
- **Woody Mountain Road Traffic** – The 39 units would result in addition traffic burden on Woody Mountain in addition to the 202 additional unit being added by the construction of Sky Cottages by Vintage Partners;
- **Destruction of the Environment** – The building of 39 units would remove a substantial number of pine trees further ruining the environment along South Presidio Dr. This would further destroy the environment along South Presidio as was done further east; and
- **Sound Pollution** – The trees create a barrier to the traffic noise from I-40. As more trees have been removed and hard-surface building constructed the noise from I-40 has increased.

The address provided is deceptive in that the entrance would probably be on South Presidio DR.; not on the busier Woody Mountain Road near the round-about.

The letter requested our ideas and suggestions. Alternatives that would be more compatible to the community include:

- **Green Space / Park** – The trees and environment could be saved and used for the current residents' enjoyment;
- **Additional Single-family Homes** – The lot space could be used to build 3-4 single family homes that are compatible to the surrounding lots; or
- **Combination of Homes and Green Space** – Combining the two ideas above.

If there are any questions regarding these comments, please contact me at:

Robert A. Davis

29112 W Paz de Avenida

Flagstaff, AZ 86001

414-807-3306 radavis15@mac.com

CC:

Walter Crutchfield, Vintage Partners

Charity Lee

From: Daniel Hiel <ecdiego.1@hotmail.com>
Sent: Monday, May 10, 2021 3:49 PM
To: Charity Lee
Subject: 3 story building

I'm not available for the meeting this evening however I would like to comment about the proposal to build 3 story buildings in our area. I view this as opening a door to higher buildings throughout Flagstaff including the new hospital near Ft. Tuthill. Do we as a community want to loss our unique small town feel. One of the quickest ways to loss that feeling is to have tall imposing buildings spread throughout. I personally prefer maintaining the small town feel.

Regards,

Daniel Hiel
Flagstaff

Get [Outlook for iOS](#)

Charity Lee

From: jmorgan2919@gmail.com
Sent: Tuesday, May 11, 2021 11:25 AM
To: Kim Tittelbaugh; genevieve.pearthree@flagstaff.gov; Charity Lee
Subject: project# PZ-17-00227-03 APN :112-62-483

Kim
Where's the HOA on this new project. Seems as if it was quite silent. I only found out about it late yesterday. Wonder why, another Miramonte just slide it through, not giving much notice. Question, nothing said about parking... Let's say 39 units, only 1 car per unit. Let's get real more like 1 and 1/2 per unit. Where will they all park? Couple that with the 208 units going in across the street. Why was nothing said, Think I know, as I've been hear since the start and am well aware of how certain people get their way. I hope the city will not allow this to go forward, but there again I have little faith. When I first moved here 30 yrs ago, there were bumper stickers,DON'T PHX FLAG. Well our city council made sure that wouldn't happen. We are heading more in the direction of CA. What happened to Small Mountain Town?

Thank You (Not That I Don't That it A Rubber Stamp Away)

John Morgan
2919 S Pepita Dr.
Flag 86001
928-774-1725
morganj29119@gmail.com
Someday I'll run into Mr. Miramonte
AKA Chris K.Again

Charity Lee

From: Linda Otzen <sralydia@gmail.com>
Sent: Monday, June 7, 2021 5:10 PM
To: Charity Lee
Subject: Address

Follow Up Flag: Follow up
Flag Status: Flagged

Charity this is Linda Otzen and I am attending Zoom tonight

2910 S Pepita Dr
928-856-0086

I couldn't sign in. Thanks

Sent from my iPhone

Charity Lee

From: Sandi Dunmyer <sandi.dunmyer@gmail.com>
Sent: Friday, June 4, 2021 6:01 PM
To: Charity Lee
Subject: Apartment complex near Presidio take 2!

Realized al had some typos on first try, was writing on my phone...

Dear Charity Lee,

When I bought my home in January of 2020, I bought it here because I have access to forest, open land and a safe and great neighborhood while being situated on the corner of West Patio Del Presidio and West Pico Del Monte. I went to college in Flagstaff many years ago and couldn't wait to get back for the quiet, outdoor living, space, trees and the amazing people here but mostly for a safe and less busy place with a caring community to raise my son.

I have been observing all of the back and forth regarding the potential apartments/condos going up near our community. I am 100% against it!

The traffic and parking has already gotten quite heavy and also controversial in our neighborhood and this would make it many times worse. Besides that, it would completely degrade the level of our nice neighborhood as well as Timber Sky.

Apartments/condos would bring much more traffic, worse parking issues, more college kids, more rentals where people don't care about their homes and how they are kept up, more noise, less overall safety, more crime is likely and a much less desirable community in general. It will definitely lower our property values in Presidio.

Due to my career in transportation and complaints of traffic and speeders, for the last couple weeks I have been participating with City of Flagstaff traffic engineers on a speed study. This was requested because of people's incredible speeds on West Patio Del Presidio. The current volumes and speeds were quite surprising and not in a good way.

If you make the decision to go ahead with the apartment complex you will lose the trust of our community.

Please make the decision to value quality of life over the almighty dollar or Flagstaff and our neighborhood specifically will continue to become like other undesirable places to be. If we wanted to live in the valley we would but we want to live in our quiet, peaceful, loving and secluded Flagstaff!

Thank you for making the right choice and keeping Flagstaff, specifically Presidio, the amazing community it is!

Regards,

Sandi Dunmyer
C 206.409.1555

Charity Lee

From: sandi taylor-dunmyer <sanditd69@gmail.com>
Sent: Friday, June 4, 2021 5:24 PM
To: Charity Lee
Cc: sandi.dunmyer@gmail.com
Subject: Apartment complex near Presidio

Dear Charity Lee,

When I bought my home in January of 2020, I bought it here because I have access to forest, open land and a safe and great neighborhood while being situated on the corner of West Patio Del Presidio and West pico Del Monte. I went to college in Flagstaff many years ago and couldn't wait to get back for the quiet, outdoor living, space, trees and the amazing people here but mostly for a safe and less busy place with a caring community to raise my son.

I have been observing all of the back and forth regarding the potential apartments going up near our community. I am 100% against it! The traffic and parking has already gotten quite heavy and also controversial in our neighborhood and this would make it many times worse. Besides that, it would completely degrade the level of our nice neighborhood as well as Timber Sky.

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Due to my career and complaints of traffic and speeders, I have been participating in the last couple weeks with city of Flagstaff on a speed study because of peoples incredible speeds on West Patio Del Presidio. The current volumes and speeds were quite surprising.

If you make the decision to go ahead with the apartment complex you will lose the trust of our community.

Please make the decision to value quality of life over the almighty dollar or Flagstaff and our neighborhood specifically will continue to become like other undesirable places to be. If we wanted to live in the valley we would but we want to live in our quiet, peaceful, loving and secluded Flagstaff!

Thank you fir making the right choice and keeping Flagstaff, specifically Presidio, the amazing community it is!

Regards,

Sandi Dunmyer
C 206.409.1555

Charity Lee

From: Phoebe Wood <phoebewood27@gmail.com>
Sent: Friday, May 28, 2021 5:50 AM
To: Charity Lee
Subject: Apartments off Woody Mountain Road

Hello Charity,

I am a homeowner and resident of Presidio in the Pines neighborhood since 2017.

I think it is a terrible idea to put a 3 story apartment complex off of Woody Mountain Rd, and here's why:

1. It will lower home values of timber sky and Presidio.
2. It will increase traffic in an already busy area. Gore, our neighborhoods, and Woody mountain dirt road visitors create more traffic than Woody mountain can handle several times a day already. Serious wrecks happen frequently on Route 66 from the chevron west because of how busy it is and people waiting at stop signs trying to merge on to Route 66 without a stop light.
3. People move to the edge of town for a reason. It's to enjoy nature and get away from heavy traffic and busyness of downtown and NAU. NAU has put up tall apartments all over. My opinion is keep that stuff by the university. You will drive more college kids into our area which will drive out more affluent tax paying adults, and that will contribute to a less valuable property over time. College kids that mommy and daddy pay the rent for don't take care of their properties, I already see it in the homes that affluent parents buy houses for in Presidio. Their trash blows up and down our street, they park 5+ cars at a single family home blocking the street frequently.
4. I don't think the nice neighborhoods near this area would appreciate this. Flagstaff ranch, equestrian estates, etc.

Thank you for your time. Flagstaff is a beautiful city and has a unique charm to it. I personally think the city is allowing too many new developments that are hurting that draw, and cutting down too many pine trees. It's not affordable to live in Flagstaff, but building your 3 story apartments is not going to help that situation, but that's a whole other topic.

Charity Lee

From: Robert Davis <radavis15@mac.com>
Sent: Wednesday, June 2, 2021 5:41 PM
To: Charity Lee
Cc: Robert A. Davis; Kim; Pucciarelli Alaxandra
Subject: Comments in Opposition to the Miramonte Homes Request for a Conditional Use Permit for Tract M
Attachments: Planning Commision Comments.pdf

Charity,

Attached is a document outlining my comments in opposition to the Miramonte Home request for a Conditional Use Permit for Tract M in the Presidio in the Pines Community.

These comments are being submitted for the June 7, 2021 Neighborhood Meeting and to the City Planning Commission, if Miramonte Homes continues to move forward with the request.

Sincerely,

Robert A Davis
2912 W Paz de Avenida

414-807-3306

Charity Lee

From: Erik Mrdak <erikmrdak90@gmail.com>
Sent: Thursday, June 3, 2021 6:04 PM
To: kim@sterlingrem.com; Charity Lee; tantol@flagstaff.gov; AshLynn Mrdak
Subject: Conditional Use Permit

Follow Up Flag: Follow up
Flag Status: Flagged

Good evening,

My name is Erik Mrdak. I live with my wife Ashlynn Mrdak at 2886 W. Presidio Dr. here in Presidio, we closed on our property last year in December. We heard about the Citizen Participation Neighborhood Meeting re: the horrible plan of Miramontes to build three (3) apartment complexes down the street from us.. I can only imagine how the immediate neighbors are digesting this revenue driving venture. We object profusely to a Conditional Use Permit and plan to support those in favor of denying this radical idea. There is already a lack of space, parking and overall rampant congestion throughout Presidio just to name a few of the reasons additional traffic on such a small parcel of land is a bad idea. In addition, could I please be added to the HOA email list as I did not receive this email directly from the HOA or planning developers. My email is erikmrdak90@gmail.com

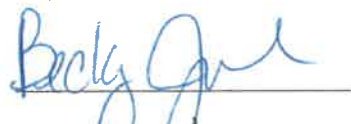







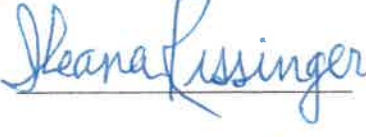

Have a great weekend
Thank you

Erik Mrdak, CFBE
Executive Director Food and Beverage
erikmrdak90@gmail.com
P (830) 872-9836

PETITION

Miramonte Homes is requesting a Conditional Use Permit to build three (3) 3-story buildings on Tract M in Presidio in the Pines. Tract M is a 2.77 acre lot located on the corner of Woody Mountain Road and South Presidio Dr. at the south entrance to the Presidio in the Pines community. A neighborhood zoom meeting is being held June 7, 2021 at 5:00 pm for input.










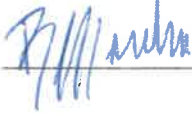
The undersigned are in **OPPOSITION** to the Miramonte Homes request for a Conditional use Permit to build three 3-story condominium buildings on Tract M of Presidio in the Pines Community.

#	Signature	Name (Printed)	Street Address
1		Becky Jahn	2906 S. Pepita Dr.
2		Crystal De Haeg	2955 S. Pepita
3		Willie Bracke	2931 W. Presidio Dr.
4		Kristin Wiebe	2924 W. Presidio Dr.
5		Norman Conger	2923 W. Presidio Dr.
6		Brooks Grivett	2915 W. Presidio Dr.
7		Elizabeth Decker	2920 W. Presidio Dr.
8		Lisa Galien	2601 W. Josselyn Dr.
9		Ileana Kussinger	2597 W. Josselyn Dr.
10		Priscilla Boring	2593 W. Josselyn Dr.

PETITION

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The undersigned are in **OPPOSITION** to the Miramonte Homes request for a Conditional use Permit to build three 3-story condominium buildings on Tract M of Presidio in the Pines Community.

#	Signature	Name (Printed)	Street Address
1		Adnan Qutiban	2590 W Josselyn Dr.
2		Lisa Winborne	2594 W. Josselyn Dr.
3		Anurata Narumanchi	2598 W. Josselyn Dr.
4		Daniel Hobbs	2911 W. Presidio Dr.
5		Allen George	2959 S. Pepity Dr
6		Brandon Johnson	2951 S. Pepita Dr
7		Patrick Biggs	2943 S. Pepita Dr.
8		Whitney Biggs	2943 S. Pepita Dr.
9		Joseph Hammer	2935 S. Pepita Dr
10		Geoffrey Sitch or Brittany Machala	2922 S. Pepita Dr.

PETITION

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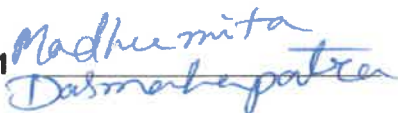





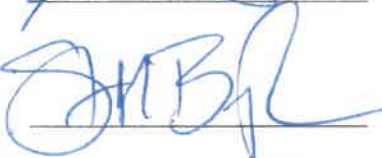
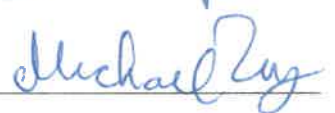


The undersigned are in **OPPOSITION** to the Miramonte Homes request for a Conditional use Permit to build three 3-story condominium buildings on Tract M of Presidio in the Pines Community.

#	Signature	Name (Printed)	Street Address
1	<u>Susan M Summers</u>	<u>Susan M Summers</u>	<u>2918 S. Pepita Dr.</u>
2	<u>Scott D. Summers</u>	<u>Scott D. Summers</u>	<u>2918 S. Pepita Dr</u>
3	<u>Nick Vascassenno</u>	<u>Nick Vascassenno</u>	<u>2911 S. Pepita Dr.</u>
4	<u>Fred Avina</u>	<u>Fred Avina</u>	<u>2926 S. Tex Ln.</u>
5	<u>Cal Hansen</u>	<u>Cal Hansen</u>	<u>2896 W Parz De Avenida</u>
6	<u>Adam Zarger</u>	<u>Adam Zarger</u>	<u>2954 S. Tex Ln</u>
7	<u>Trujillo Esplora</u>	<u>Trujillo Esplora</u>	<u>2946 S. Tex Ln</u>
8	<u>GERSHON ASH</u>	<u>GERSHON ASH</u>	<u>2930 S. TEX LN.</u>
9	<u>Dottie Roul</u>	<u>Dottie Roul</u>	<u>2918 S. Tex Ln</u>
10	<u>JEFF GREENE</u>	<u>JEFF GREENE</u>	<u>2892 W. PARADEL PRESIDIO</u>

PETITION

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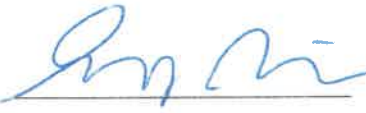


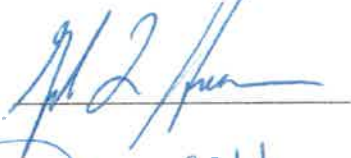
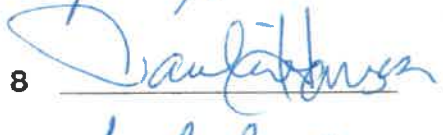


The undersigned are in **OPPOSITION** to the Miramonte Homes request for a Conditional use Permit to build three 3-story condominium buildings on Tract M of Presidio in the Pines Community.

#	Signature	Name (Printed)	Street Address
1		MADHMITA DASMAHEPATRA	2921, South Camel Drive
2		Wendy Keith	2937 S. Camel Dr.
3		John Rives	2956 S. Camel Dr.
4		Richard Allen Pogue	2924 S. Camel Dr.
5		Sara Zerger	2954 S. Tex Ln.
6		Katie Runnels	2923 S. Pardo Calle
7		Steve Brigham	2921 S. Pardo Calle
8		Michael Loy	2935 S. Pardo Calle
9		Venkata Yaramasu	2939 S. Pardo Calle
10		Laura Wade	2943 S. Pardo Calle

PETITION

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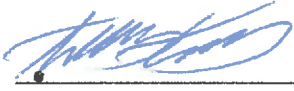
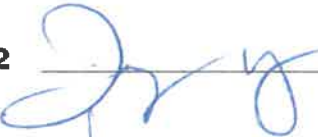

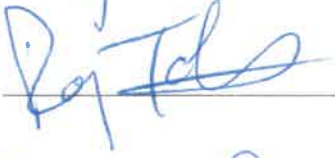
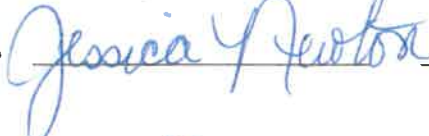


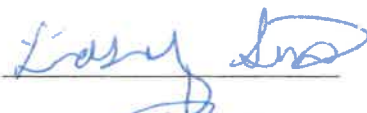

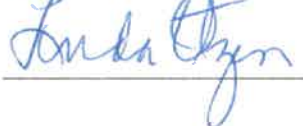
The undersigned are in **OPPOSITION** to the Miramonte Homes request for a Conditional use Permit to build three 3-story condominium buildings on Tract M of Presidio in the Pines Community.

#	Signature	Name (Printed)	Street Address
1		PENNY LAURITSEN	2951 S PARDOS CIRCLE
2		MATT SIEGEL	2903 W. PRESIDIO DR
3		DON ZETICH	2928 W. PRESIDIO DR
4		Shuang-Yi Nien	2900 W Paz De Avenida
5		CHE ELMS JR	2883 W PATIO DEL PRESIDIO
6		Gianna Elms	2883 W Patio del Presidio
7		Garry Hansen	2572 W. Josselyn DR.
8		Polly Hansen	2572 W Josselyn Dr.
9		Frank, Ashlyn	2886 W Presidio
10		Holly Shilling	2892 W. Presidio Dr.

PETITION

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The undersigned are in **OPPOSITION** to the Miramonte Homes request for a Conditional use Permit to build three 3-story condominium buildings on Tract M of Presidio in the Pines Community.

#	Signature	Name (Printed)	Street Address
1		Anthony Talbot	2531 W. Josselyn Dr
2		Jennifer Vij	2950 3000 S. Tex Lane
3		Niraja Patel	2958 S Tex Lane
4		Ray T. Lby	2551 W. Josselyn Dr.
5		Jessica Newton	2568 W. Josselyn Dr.
6		Jane Kenmore	2562 W Josselyn Dr
7		Janeen Fraser	2550 W. Josselyn Dr.
8		Lindsay Smith	2518 W. Josselyn Dr.
9		Luise Harropet	2510 W Jossely Dr. Flagstaff AZ 86001
10		Linda Otzen	2910 S Repita Dr 86001

Charity Lee

From: p11465 <p11465@aol.com>
Sent: Sunday, June 6, 2021 11:40 AM
To: Charity Lee
Subject: Fw: Miramonte development

[Sent from the all new AOL app for iOS](#)

Begin forwarded message:

On Sunday, June 6, 2021, 10:33 AM, p11465 <p11465@aol.com> wrote:

Until recently I was a board member of the Troon North HOA in Scottsdale. Several year's ago we were faced with a nearly identical situation where a developer wanted a zoning interpretation that allowed high density construction.

When we began to organize opposition we found that the developer had been working on the project secretly and had a several month head start on us. They had hired the ex~zoning director as a consultant and had been working with the current staff.

When we tried to hire a zoning attorney we found that it was nearly impossible because all the successful ones had some sort of relationship with the developer.

What really turned the corner for us was hiring a city government lobbyist. Suddenly, the city council members were happy to meet with us and listen to our concerns. The city planning department stopped the back door developer meetings.

The lobbyist was was able to get publicity, slow down the board's actions and organize our response. When the council met to consider our issue, we had hundreds of neighbors in attendance. That was basically hundreds of votes in November.

We need to slow down the whole process, catch up and focus our opposition. Hiring a respected lobbyist or influential attorney is our best option.

Philip Dunn
2477 w Mission Timber Cir

[Sent from the all new AOL app for iOS](#)

Charity Lee

From: Lee Rozell <leerozell65@gmail.com>
Sent: Friday, June 4, 2021 11:31 AM
To: Charity Lee
Subject: Miramonte Appartments

Follow Up Flag: Follow up
Flag Status: Flagged

Charity Lee,

When we bought our home 7 years ago we were told that townhomes were going in where you are planning to put Appartments. Not good business!! We moved here from the Valley to get rid of the congestion you find in a big city. You are making this place so congested that your not giving the trees room to grow. You are stuffing 50 lbs of crap in a 30 lb bag.

By making this decision you have lost the trust of your community. This decision will increase traffic, crime, while lowering the value of our homes which is a product of rentals in a college town. I really feal for the families in the adjacent homes. I guess the visual and safety of an apartment parking lot is a safe place to let your kids go out to play.

You still have an opportunity to do the right thing!

Marvin & Debbie Rozell
Residents 480-326-4827

Charity Lee

From: David Dostalík <davidd@cox.net>
Sent: Thursday, June 3, 2021 7:02 PM
To: Charity Lee
Subject: neighborhood meeting / 39 condominium units

Follow Up Flag: Follow up
Flag Status: Flagged

Hello, I would like to add a comment that I am opposed to the proposed development of 39 condominium units on Tract M of the Presidio in the Pines neighborhood.

Thanks

David Dostalík
2497 W Pollo Cr
Flagstaff, AZ 86001
619-504-7798

Charity Lee

From: S Beck <snowaloha@yahoo.com>
Sent: Monday, May 10, 2021 6:25 PM
To: Charity Lee
Subject: Notification

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Charity,

Please include us regarding any notifications about the proposed 39 residential units at 2940 Woody Mountain Rd.

Thanks,

Steve and Stephanie Beck
2494 W Pollo Cir
Flagstaff, AZ 86001

Phone call on May 12th, 2021 from Ellen Hamren, Ellyn_fair@yahoo.com, 602-703-7779, 2896 W. Paz De Avenida

Ellen is concerned about the traffic. High density project in the neighborhood. The other developments on the other side of the road will also increase traffic, adding more traffic to a two-lane road. There is not enough parking proposed for our development. The residence would park on the street or visitors would park on the street. Consider doing two story buildings instead of three. This would be less density. The development is not practical. There is better land to develop a high-density project off of Rt 66. Consider building more two- and three-bedroom units.

June 2, 2021

To: Charity Lee (clee@miramontehomes.com)

CC:

- **Planning Commission Members:**
 - David Zimmerman, Chairman
 - Marie Jones, Vice Chair
 - Carole Mandino
 - Dr. Alex Martinez
 - Dr. Eric Nolan
 - P. Lloyd Paul
 - Gaylene Soper
- City Community Development Department (APucciarelli@flagstaffaz.gov)
- Presidio in the Pines HOA

I am a resident of Presidio in the Pines ("Presidio") living at 2912 W Paz de Avenida. I am writing in opposition to the Miramonte Homes request for a Conditional Use Permit for construction of 39 condominiums on Tract M located in Presidio in the Pines community ("Presidio").

Alternatives are far more reasonable:

- The options under current zoning for a church or community center;
- More of the current structures in Presidio;
- Green space / Parking for the community; or
- A combination of these alternatives.

To be clear, this opposition is not to additional housing or construction on Tract M; rather it is opposition to the request for 39 condominium units comprised of three 3-story buildings for 1, 2, and 3 bedroom units with the associated parking, traffic and removal of trees causing several community issues.

The three major objections are:

- **Misleading to Homeowners** - Several homeowners testified at the Public Hearing that Miramonte misled them as to the intended purpose of Tract M when they were considering purchasing a home in Presidio. It was stated that a church or community center was planned for this tract and that they took that into consideration when buying. Construction of 3-story buildings would have changed their decision to buy.
- **Incompatible with Community** - There are no other 3-story buildings in Presidio or the surrounding communities. Presidio (and planned Sky Cottages) are 1 and 2 story single family homes that are predominately owner or lesser occupied.
- **Parking Issues** - The proposed condos provide a parking lot of 74 spaces for the 39 units. This is insufficient when considering multiple cars per unit and visitors. Parking is an issue for the Presidio owners since the HOA CC&Rs do not allow resident parking on the street. Any overflow from the proposed condos would not be allowed to park on the street. Visitors would add to the congestion.

In addition to these 3 major issues there are several other concerns expressed by the current residents:

- **Safety** - Parents have safety concerns for their children due to the additional traffic. Also, buildings on that side of the street have ice and snow issues during the winter.
- **Additional traffic on Presidio and the Woody Mountain Round-about.** With the planned addition of Timber Sky and recent addition of Sky Cottages there is already a significant traffic increased planned. No traffic study has been conducted taking into account the Miramonte proposal.
- **Destruction of the Environment** – The building of 39 units would remove a substantial number of pine trees further destroying the environment along South Presidio as was done further east;
- **Sound Pollution** – The trees create a barrier to the traffic noise from I-40. As more trees have been removed and hard-surface building constructed, the noise from I-40 has increased; and
- **Impact on HOA Costs** - There would be increased costs to the HOA for snow removal, maintenance, and security impacting all residents. The condos would have separate expenses in addition to those affecting the whole HOA, but there will be an impact on current HOA residents.

Summary

The proposed 3-story condominiums are **NOT REQUIRED** to be built in the proposed location and are **NOT COMPATIBLE** with the surrounding community.

Sincerely,

Robert A. Davis
2912 W Paz de Avenida

414-807-3306
radavis15@mac.com

Charity Lee

From: Whitney Biggerstaff <wnbiggerstaff@gmail.com>
Sent: Monday, June 7, 2021 3:15 PM
To: Charity Lee; Tanton@flagstaffaz.gov; apucciarelli@flagstaffaz.gov
Subject: Presidio in the Pines Resident Opposition to Tract M Development Conditional Use Permit Request

Follow Up Flag: Follow up
Flag Status: Flagged

June 7, 2021

Whitney & Patrick Biggerstaff

2943 S. Pepita Dr.

Flagstaff, AZ 86001

Dear Charity Lee

My husband, Patrick, and I are writing to share our opposition to the proposed development by Miramonte on Tract M in the Presidio in the Pines neighborhood. When we built our home in the fall of 2014, it was our understanding that that this open area would be saved for either a church or community center. Either, in our opinion would be a much better option. The proposed development of 3 three-story buildings, with 39 total units, will cause tremendous congestion and are unfit when it comes to the design and character of our neighborhood. Currently there are no three-story buildings in the neighborhood.

One of the things we appreciate about Presidio in the Pines is the lower HOA dues we pay, compared to other neighborhoods with HOAs. What will be the impact on our dues to maintain this new development? How will those residents be held accountable and responsible if they have their own dues? Miramonte builds a beautiful home, but we do not feel these condos will be a good fit for the neighborhood.

Patrick and I are concerned about the potential traffic impact on the neighborhood, as we already suffer some issues with that. We are also concerned about the increase in noise this will cause. Between cutting down the trees along I-40 and all the additional vehicles, the noise will vastly increase. We also feel very misled by Miramonte. I believe receiving this news would have been difficult regardless, but the lack of initial communication makes the whole thing seem sneaky. However, we do appreciate the two letters we received after the first Zoom meeting. We thank you for listening to those of us who attended the call.

Patrick and I are not opposed to more housing, but the proposed condos do not seem like a good fit for the neighborhood and area. We would much prefer more single-family homes, a church, a community center, or more green space/park area.

Patrick and I thank you for considering our comments. We look forward to the next Zoom meeting on June 7th, 2021.

Charity Lee

From: The Summers Family <tomksummers@gmail.com>
Sent: Thursday, June 3, 2021 7:05 PM
To: Charity Lee
Subject: Presidio In The Pines Tract M

Follow Up Flag: Follow up
Flag Status: Flagged

Charity

My name is Tom Summers and my wife and I are in Presidio on Pollo Circle. I have lived in a Miramonte Home since January 2018. I have reviewed the sent material as well as the Resolution for a Development Agreement Amendment dated 12-1-2020 (I assume that info is current) and I have just a couple comments.

- 1) The 30 day restriction on short term rental is to short a period. This still allows these units to be rented 12 times a year and too many people find ways around this. I feel it would be much better for the community if the minimum was set to 90 days. Ninety days sends a message that these units are to be lived in and are not investment rental properties.
- 2) That both sides of Presidio Drive be set as no parking any time. This could be on the south side from the project driveway to Woody Mtn and on the north side from the street to Woody Mtn. This would leave the entrance open and plenty of space for snow removal.

Thanks for your time and could you send a link back via e-mail for the zoom call, the link in the letter will be a monster to type in.

Tom Summers

Sent from [Mail](#) for Windows 10

June 6, 2021

To: Charity Lee (clee@miramontehomes.com)

I am a property owner in Presidio in the Pines (Presidio), located at 2942 S Tex Lane. I am writing in opposition to the Miramonte Homes (Miramonte) request for a Conditional Use Permit to construct 39 condominiums on Tract M located in Presidio.

The opposition is not to additional housing or construction on Tract M; rather it is to the construction of 39 condominium units with associated parking, traffic, and removal of trees.

The three major objections are as follows:

1. Misleading to homeowners. Several homeowners testified at the Public Hearing that Miramonte misled them as to the intended purpose of Tract M at the time such individuals were considering purchasing a home in Presidio. They were informed that a church or community center was planned for this tract; information regarding multi-unit housing units would have impacted their decision to purchase.
2. Incompatible with the community. There are no other 3-story buildings in Presidio or the surrounding communities. Predominant structures are currently 1- and 2-story single family homes.
3. Parking issues. The proposed condos provide 74 parking spaces for 39 units. This is not sufficient when considering multiple cars per unit, in addition to parking to accommodate visitors. Parking is currently an issue for the Presidio owners as current CC&R's do not allow resident parking on the street at certain times of the year. Any overflow from the proposed condos would not be allowed to park on the street; visitors will add to the congestion.

Additional concerns are expressed by the current residents:

1. Safety. Additional traffic raises concern for children's safety.
2. Additional traffic on Presidio and the Woody Mountain round-about. The Timber Sky addition and Sky Cottages will result in a significant increase in traffic. No traffic study has been conducted taking into account the Miramonte proposal.
3. Destruction of the environment. Removal of a substantial number of pine trees will further destroy the environment along South Presidio as was done further east.
4. Sound pollution. The trees create a barrier to the traffic noise from I-40. As more trees have been removed and hard-surface buildings constructed, the noise has increased and will further increase with removal of additional trees for construction.
5. Impact on HOA costs. Increased costs for snow removal, maintenance, and security will impact all residents with an increase in HOA fees.

Alternatives exist that will be more acceptable to current property owners and residents:

1. The options under current zoning for a church or community center,
2. Additional structures representative of current 1- and 2-story buildings in Presidio,
3. Green space or parking for the community, or
4. A combination of these alternatives.

In summary, the proposed 3-story condominiums are not required to be built in the proposed location and are not compatible with the surrounding community design and elevations.

Sincerely,

Carleen E Shilling, Manager
AEME Remo LLC

602.432.6278
carleenshilling@gmail.com

Charity Lee

From: Linda Dunn <Indadnn@aol.com>
Sent: Monday, June 7, 2021 11:38 AM
To: Charity Lee
Subject: Questions for today's meeting

We would like to present the following comments/questions to be addressed at tonight's virtual meeting.

Miramonte has given up control of the Presidio Board. Since the residents now control the Board it is critical that no controversial changes to the development plan be made without their enthusiastic support. The city zoning department is supporting a position that has no support in the community.

Why?

What is the Board's position on this project?

Do the CCR's need to be amended to allow this development to proceed?

Will the Board allow an amendment to the CCR's to be presented?

What makes Miramonte think the community will pass this?

Since there has been little or no community awareness, and even less support for this project, why is the City Zoning Department proceeding as if this is an approved project?

Linda and Phil Dunn
2477 W Mission Timber Circle
Flagstaff, AZ. 85262

Charity Lee

From: Daniel Hiel <ecdiego.1@hotmail.com>
Sent: Monday, May 10, 2021 4:40 PM
To: Charity Lee
Subject: Re: 3 story building

Thanks, I got spell checked and didn't catch it. I meant lose.

Get [Outlook for iOS](#)

From: Charity Lee <clee@miramontehomes.com>
Sent: Monday, May 10, 2021 4:35:46 PM
To: Daniel Hiel <ecdiego.1@hotmail.com>
Subject: RE: 3 story building

Daniel, thank you for your comment. I will mention it at the meeting tonight.

Charity Lee
Northern AZ. Land Acquisition & Development Manager
Miramonte Homes
102 S. Mikes Pike
Flagstaff, AZ 86001
Cell: (928) 600-3594



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From: Daniel Hiel <ecdiego.1@hotmail.com>
Sent: Monday, May 10, 2021 3:49 PM
To: Charity Lee <clee@miramontehomes.com>
Subject: 3 story building

I'm not available for the meeting this evening however I would like to comment about the proposal to build 3 story buildings in our area. I view this as opening a door to higher buildings throughout Flagstaff including the new hospital near Ft. Tuthill. Do we as a community want to lose our unique small town feel. One of the quickest ways to lose that feeling is to have tall imposing buildings spread throughout. I personally prefer maintaining the small town feel.

Regards,

Daniel Hiel

Charity Lee

From: AshLynn Mrdak <ashlynn.mrdak@gmail.com>
Sent: Monday, June 7, 2021 4:44 PM
To: AshLynn Mrdak
Cc: Charity Lee; kim@sterlingrem.com; tantol@flagstaff.gov
Subject: Re: Conditional Use Permit

Good evening,

My name is AshLynn Mrdak I live at 2886 W. Presidio Dr.. We close on our property in December and we're very excited to be in this neighborhood. Which one reason we purchased in this area is because it's families not college students not affordable housing. The community is very quaint and quiet. A lot of retirees and tons of families. We had asked about the empty lot And we were told it was going to be part of the community and no more houses were to be built. They stated to us that they were actually done building in this area. That is one of the reasons we did go ahead and purchase in here if we would have known that they were going to be building apartments solo in square footage which means college students and affordable living. We would've stayed where we lived in FlagRanch.

We already have an issue with parking especially in the winter if you put in all those apartment buildings I know it's saying 39 you have to times that by Almost each bedroom because what's going to happen is college students are going to rent those and they have girlfriends who have their own cars boyfriends that have their own cars. I know that it has been stated they will not be parking in front of our homes and will not be part of our HOA. But, as we all know that's never how it really works out. We don't have security driving around and making sure that these people are going to be following our HOA bylaws when we're right directly next to them. I believe that this is going to make a bigger impact a negative impact that can be avoided. Please consider everyone's outrage on this signatures have been given emails letters there gonna be a huge amount of people attending the zoom meeting we encourage you not to do this. Thank you for listening to my rant and everyone else's. We hope as a neighborhood the right thing is done to make this neighborhood better not make it decrease in value and change the integrity of this neighborhood.

Thank you for your time,
AshLynn Mrdak

On Thu, Jun 3, 2021 at 6:04 PM Erik Mrdak <erikmrdak90@gmail.com> wrote:

Good evening,

My name is Erik Mrdak. I live with my wife Ashlynn Mrdak at 2886 W. Presidio Dr. here in Presidio, we closed on our property last year in December. We heard about the Citizen Participation Neighborhood Meeting re: the horrible plan of Miramontes to build three (3) apartment complexes down the street from us.. I can only imagine how the immediate neighbors are digesting this revenue driving venture. We object profusely to a Conditional Use Permit and plan to support those in favor of denying this radical idea. There is already a lack of space, parking and overall rampant congestion throughout Presidio just to name a few of the reasons additional traffic on such a small parcel of land is a bad idea. In addition, could I please be added to the HOA email list as I did not receive this email directly from the HOA or planning developers. My email is erikmrdak90@gmail.com

Have a great weekend

Thank you

Erik Mrdak, CFBE
Executive Director Food and Beverage
erikmrdak90@gmail.com
P (830) 872-9836

Charity Lee

From: Lee Rozell <leerozell65@gmail.com>
Sent: Friday, June 4, 2021 6:12 PM
To: Charity Lee
Subject: Re: Miramonte Apartments
Attachments: image001.jpg

Charity,
Thanks for the timely response. The letter sent out to us on 24 May said three, (3) story apartment buildings. No matter what you want to call it, you misled Presidio in the Pines residents. That is why you are having a neighborhood meeting.

I appreciate you reaching out but the way I see it the decision to move forward has already been made.

Thanks The Rozells

On Fri, Jun 4, 2021, 4:00 PM Charity Lee <clee@miramontehomes.com> wrote:

Hi Lee,

The development will be 39 units for sale condos. I encourage you to attend the meeting on Monday, June 7th at 5:00 pm. Here is a link to the meeting.

Join Zoom Meeting

<https://us02web.zoom.us/j/85028306631?pwd=aG9aUEZFRHc5SHZaWjYzT2ZWVBRQT09>

Meeting ID: 850 2830 6631

Passcode: 725157

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+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

Meeting ID: 850 2830 6631

Passcode: 725157

Find your local number: <https://us02web.zoom.us/j/kwQF6rKHS>

Charity Lee

Northern AZ. Land Acquisition & Development Manager

Miramonte Homes

102 S. Mikes Pike

Flagstaff, AZ 86001

Cell: (928) 600-3594



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From: Lee Rozell <leerozell65@gmail.com>
Sent: Friday, June 4, 2021 11:31 AM
To: Charity Lee <clee@miramontehomes.com>
Subject: Miramonte Appartments

Charity Lee,

When we bought our home 7 years ago we were told that townhomes were going in where you are planning to put Appartments. Not good business!! We moved here from the Valley to get rid of the congestion you find in a big city. You are making this place so congested that your not giving the trees room to grow. You are stuffing 50 lbs of crap in a 30 lb bag.

By making this decision you have lost the trust of your community. This decision will increase traffic, crime, while lowering the value of our homes which is a product of rentals in a college town. I really feal for the families in the adjacent homes. I guess the visual and safety of an apartment parking lot is a safe place to let your kids go out to play.

You still have an opportunity to do the right thing!

Marvin & Debbie Rozell

Residents 480-326-4827

Charity Lee

From: Charity Lee
Sent: Monday, June 7, 2021 12:26 PM
To: Robert Davis
Cc: Pucciarelli Alexandra; Tiffany Antol; Michaelk.vogler@gmail.com; Kim; Whitney Biggerstaff; ellyn_fair@yahoo.com
Subject: RE: Opposition to Miramonte Request for a CUP on Tract M -Neighborhood Signatures in Opposition

Robert,

I have received your petition and will include it in the packet to the City. I encourage you to attend the neighborhood meeting tonight, June 7th, 2021, at 5:00 PM. Below is a link to the meeting.

Charity Lee is inviting you to a scheduled Zoom meeting.

Join Zoom Meeting

<https://us02web.zoom.us/j/85028306631?pwd=aG9aUEZFRHc5SHZaWjYzT2ZWVBRQT09>

Meeting ID: 850 2830 6631

Passcode: 725157

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+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

Meeting ID: 850 2830 6631

Passcode: 725157

Find your local number: <https://us02web.zoom.us/j/kwQF6rKHS>

Charity Lee

Northern AZ. Land Acquisition & Development Manager Miramonte Homes

102 S. Mikes Pike

Flagstaff, AZ 86001

Cell: (928) 600-3594

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-----Original Message-----

From: Robert Davis <radavis15@mac.com>

Sent: Monday, June 7, 2021 11:58 AM

To: Charity Lee <clee@miramontehomes.com>

Cc: Pucciarelli Alexandra <APucciarelli@flagstaffaz.gov>; Tiffany Antol <TAntol@flagstaffaz.gov>; Robert A. Davis <radavis15@mac.com>; Michaelk.vogler@gmail.com; Kim <kim@sterlingrem.com>; Whitney Biggerstaff <wnbiggerstaff@gmail.com>; ellyn_fair@yahoo.com

Subject: Opposition to Miramonte Request for a CUP on Tract M -Neighborhood Signatures in Opposition

Charity,

Attached is a Petition in OPPOSITION to the Miramonte Homes request for a Conditional Use Permit (CUP) to build condominiums on Tract M. Over a 2 day period 60 signatures were collected and based on comments many more could be collected, if time permitted.

Please consider this "comments" submitted for the neighborhood Zoom meeting today at 5:00 pm and submit them to the Planning Commission.

Thanks

Bob Davis
2912 W Paz de Avenida
414-807-3306

Charity Lee

From: Charity Lee
Sent: Tuesday, June 8, 2021 8:37 AM
To: Jason Tauscher
Subject: RE: Presidio in the Pines-Tract M

Good morning Jason,

Tract M was always planned for development. The parcel is zoned highway commercial and multi-family development is allowed in highway commercial zoning. Miramonte is seeking a conditional use permit (CUP) because we are seeking to do a Planned Residential Development, which is allowed in highway commercial zoning with a CUP.

The plan for our development is as follows.

Studio: total of 3 studio consisting of 1 unit per building.

1 BR: (12) 1 Bedroom units, which is 4 units per building.

2 BR: (18) 2-bedroom units= 6 units per building.

3 BR: (6) 3-bedroom units= 2 units per building.

The required parking was 73 spaces, Miramonte will provide 74 spaces which includes 4 ADA spaces and 12 bike parking spaces.

A traffic impact analysis was performed for the Presidio Subdivision which was originally planned for 790 units. The existing unit count for Presidio is 570, with Miramonte's additional units the unit count will be 609, which is 181 units less than originally planned. The peak vehicle traffic trips per hour for our project is calculated at around 21. Anything less than 100 doesn't require an additional traffic impact analysis.

The project will be managed by a separate HOA. Currently, our landscaping plan does not include a dog park. We can consider this into our design.

We plan to go to the Planning and Zoning Commission in July or August. I will be sending out notifications to the neighborhood and will be posting a sign for the meeting. You are welcome to attend the meeting.

Please feel free to reach out if you have any additional questions.

Sincerely,

Charity Lee
Northern AZ. Land Acquisition & Development Manager
Miramonte Homes
102 S. Mikes Pike
Flagstaff, AZ 86001
Cell: (928) 600-3594



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From: Jason Tauscher <jason@roverrealty.net>
Sent: Monday, June 7, 2021 7:14 PM
To: Charity Lee <cleee@miramontehomes.com>
Subject: Presidio in the Pines-Tract M

I apologize, I have kept this paper on my desk for a week now planning on attending the meeting, but I'm at work and of course got distracted.

I really just had two questions.

1) Assuming 39 units are built and the average unit has 2 to 2.5 vehicles per unit (doesn't include visitors at any given moment), will the proposed parking lot have around 100 parking spots? I ask because the only and closest location for overflow parking is down Presidio Dr and Pepita Dr which is in front of many peoples' homes. The potential construction of these multi residential units weren't disclosed as potential parking/traffic issues to the neighborhood when I bought, I can't imagine the earlier phase units knew about them. This type of overflow parking will certainly create significant disruption to the current residents' tranquility through the increased frequency of use of the streets, sidewalks, noise, and lights. Please advise.

2) More of a development question: Is there going to be an onsite enclosed dog park area built for these 39 units? My concern with the development is that residents will have easy/close access to the park/dog park. I don't think there would be any legitimate issue with this, if the 39 units are contributing to the HOA fees (which manage the upkeep of the park), but if the units don't contribute, it's an issue. If I lived in one of those units and didn't have a designated area, I would definitely take my dog down to the park. As a matter of fact, I probably still would take my dogs down there when I had the time to walk.

Thank you for your time.

--

Jason Tauscher
Business Operations Manager
Rover Realty LLC
(o) 602-782-2444
(c) 480-570-9163
www.roverrealty.net



Charity Lee

From: Charity Lee
Sent: Monday, June 7, 2021 12:24 PM
To: Linda Dunn
Subject: RE: Questions for today's meeting

Dear Linda,

The property is currently zoned Highway Commercial, a condo development is approved in Tract M and was passed by the City Council in December of 2020. Miramonte's plan is to do a Planned Residential Development which is an allowed use in Highway Commercial Zoning with a conditional use permit. We are required to do a neighborhood meeting per the zoning code and will then go to Planning and Zoning Commission. I encourage you to attend the neighborhood meeting tonight, June 7th, 2021, at 5:00 PM via zoom. Below is a link to the meeting.

Charity Lee is inviting you to a scheduled Zoom meeting.

Join Zoom Meeting

<https://us02web.zoom.us/j/85028306631?pwd=aG9aUEZFRHc5SHZaWjYzT2ZWVBRQT09>

Meeting ID: 850 2830 6631

Passcode: 725157

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+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

Meeting ID: 850 2830 6631

Passcode: 725157

Find your local number: <https://us02web.zoom.us/j/kwQF6rKHS>

Charity Lee

Northern AZ. Land Acquisition & Development Manager Miramonte Homes

102 S. Mikes Pike

Flagstaff, AZ 86001

Cell: (928) 600-3594

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-----Original Message-----

From: Linda Dunn <Indadnn@aol.com>

Sent: Monday, June 7, 2021 11:38 AM

To: Charity Lee <cllee@miramontehomes.com>

Subject: Questions for today's meeting

We would like to present the following comments/questions to be addressed at tonight's virtual meeting.

Miramonte has given up control of the Presidio Board. Since the residents now control the Board it is critical that no controversial changes to the development plan be made without their enthusiastic support. The city zoning department is supporting a position that has no support in the community.

Why?

What is the Board's position on this project?

Do the CCR's need to be amended to allow this development to proceed?

Will the Board allow an amendment to the CCR's to be presented?

What makes Miramonte think the community will pass this?

Since there has been little or no community awareness, and even less support for this project, why is the City Zoning Department proceeding as if this is an approved project?

Linda and Phil Dunn
2477 W Mission Timber Circle
Flagstaff, AZ. 85262

Charity Lee

From: RICK LOPEZ <RICKLOPEZ12@msn.com>
Sent: Monday, May 10, 2021 5:05 PM
To: Charity Lee
Subject: Tonights Meeting

Follow Up Flag: Follow up
Flag Status: Flagged

Charity Lee,

I have tried logging on to the zoom meeting and I can't seem to replicate the link. If you can't get that to me so I can listen in, can you just e-mail me the highlights tomorrow? Thank you, Rick Lopez

Affidavit of Sign Posting

Case Number: PZ-19-00204-02

Project Name: Miramonte Presidio Tract M

Applicant Name: Miramonte Presidio, LLC

Location: 2940 S. Woody Mountain Rd. Flagstaff, AZ. 86001

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the applicant for public hearings in the City of Flagstaff shall post signs as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. ¹⁰ ~~It shall be the responsibility of the applicant to erect and to maintain the sign on the subject property 15~~ ^{neighborhood meeting} ~~days prior to the hearing~~ and to update the hearing information on the sign until final disposition of the case. It shall also be the responsibility of the applicant to remove the sign within seven (7) days after the final disposition of the case.

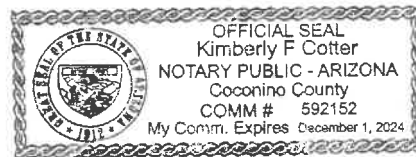
I confirm that the site has been posted as detailed in Section 10-20.30.080 of the Zoning Code as well as the Public Hearing Notice Sign Specifications included in this application for the case above and the site was posted at least fifteen (15) days prior to the public hearing.

See attached date stamped photo exhibit of posted signs.

Applicant's/Representative's Signature: Char Az Dee

SUBSCRIBED AND SWORN before me this 25th day of May, 2021 by:

Kimberly F Cotter
Notary Public



My Commission Expires:

12/1/24

Public Hearing Notice Sign Specification

- The sign shall be a minimum of 3 feet x 3 feet in size.
- The sign shall be constructed of laminated coroplast, laminated plywood, or other suitable construction material.
- The sign shall have a white background with black lettering. The least expensive process is laminated direct printing.
- The minimum lettering size shall be 1.2 inch for lowercase and 1 inch for upper case.
- The words "Public Hearing" shall be a minimum of 2 inches in size (Sign lettering should be formatted to match the example below).
- The content of the sign shall match the example below and include specific case details.
- The sign shall be securely fastened to wooden or metal stakes.
- The applicant is responsible for maintaining the integrity and accuracy of the sign.
- The height of the sign shall be at least 4 feet from finished grade to top of sign and shall not be obstructed from view.

City of Flagstaff
PUBLIC HEARING
Planning and Zoning Commission: (Date and Time)
LOCATION OF HEARING(S):
REQUEST:
PROPOSAL:
GENERAL LOCATION:
SIZE OF SITE:
CASE#
APPLICANT/CONTACT:
PHONE #:
Planning & Development Services Department: 928-213-2600
Posting Date:

Affidavit of Notifications to Affected Property Owners

Case Number: P2-19-00204-02

Project Name: Miramonte Presidio Tract M

Applicant Name: Miramonte Presidio, LLC

Location: 2940 S. Woody Mountain Road, Flagstaff, AZ. 86001

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the **applicant** for public hearings in the City of Flagstaff shall notify affected property owners as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to establish a list of the names and addresses of persons who require notification of a public hearing as established in sections 10-20.30.60.(A).3, 10-20.30.60.(B), and 10-20.30.60.(C) of the Zoning Code, and mail a notice of required public hearing via first class mail to each of the persons on the list referenced above no later than 15 days prior to the public hearing date.** ^{neighborhood meeting.} ¹⁵ It shall also be the responsibility of the applicant to submit a notarized copy of the mailing list to the Director prior to the fifteenth day before the public hearing date.

I confirm that the public hearing notifications were mailed as detailed in Section 10-20.30.080 of the City of Flagstaff Zoning Code at least fifteen (15) days prior to the public hearing.

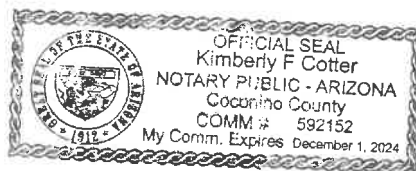
Applicant's/Representative's Signature: Charly Lee

SUBSCRIBED AND SWORN before me this 25th day of May, 2021 by:

Kimberly F. Cotter
Notary Public

My Commission Expires:

12/1/24



Mailing Notification Instructions

Every mailed notice of a public hearing shall include:

- The date, time, location and purpose of the hearing;
- The name of the body conducting the hearing, and a telephone number to receive additional information;
- The location and times at which the complete application and development file may be viewed by the public;
- The address or location of the subject property;
- A general description of the proposed development or action and the property included in the application;
- A statement that any interested person or authorized agent may appear and be heard;
- A statement describing how and when to submit written comments;
- The existing zone classification; and
- The words "Zoning," "Annexation," or "Conditional Use Permit" as applicable.

Notices of required public hearings shall be sent by first class mail to the following persons:

- Each real property owner (if different from the applicant) as shown on the last assessment of the property, of any land within the areas subject to the application for which the public hearing is required.
- Each real property owner (if different from the applicant) as shown on the last assessment of the property of any land which is located within 300 feet of the property subject to the application for which the public hearing is required. The Director may expand the notification area based on the location and context of the subject property if it is determined that the potential impact of the development extends beyond the required notification boundary.
- The situs or actual address of all tenants and residents living on the subject property.
- All local government agencies which have reviewed and commented on the proposed development or Zoning Map amendment or which abut the subject property.

Additional noticing requirements:

In proceedings involving one or more of the following proposed changes or related series of changes in the standards governing land uses, notice shall be provided as described in subsections (2) and (3) below:

- A 10 percent or more increase or decrease in the number of square feet or units that may be developed.
- A 10 percent or more increase or reduction in the allowable height of buildings.
- An increase or reduction in the allowable number of stories of buildings.
- A 10 percent or more increase or decrease in setback or open space requirements.
- An increase or reduction in permitted uses.

2. Notice shall be sent to all persons or groups whose names are on the registry of persons and groups described in subsection (B) of this section who are interested in receiving such notice.

3. Notice shall be provided to real property owners in compliance with at least one of the following notification procedures:

- Notice shall be sent by first class mail to each real property owner, as shown on the last assessment, whose real property would be directly governed by the changes.
- Notice shall be included with water bills or other City mass mailings.
- Notice shall be published in a newspaper of general circulation published or circulated in the City in the form of a "display ad" covering not less than one-eighth of a full page.



May 24, 2021

Via First Class Mail

**RE: Invitation for Citizen Participation Neighborhood Meeting
For: Conditional Use Permit
Property Owner: Miramonte Presidio, LLC ("Miramonte")
Project Name: Presidio in the Pines-Tract M
Project No. MES #15159
Property Address: 2940 S. Woody Mountain Road, Flagstaff, AZ. 86001
A.P.N.: 112-62-483**

Dear Neighbors and Interested Parties:

We are pleased to invite you to a virtual Neighborhood Meeting, as an opportunity for you to provide your comments related to the request for a Conditional Use Permit for the property located at 2940 S. Woody Mountain Road, Flagstaff, AZ. 86001.

Miramonte Presidio, LLC ("Miramonte") is the owner of the 2.77-acre property and proposes to build three, (3) story apartment buildings, offering 39 residential units ranging in size from 514-1064 SF, the buildings will total 19,650 SF. The project will be a Planned Residential Development (PRD) using the following standards: T4.N2 Transect Zone, Apartment Building Type, and Forecourt Private Frontage Type with density per acre of 14.09 units and the lot coverage of 12.6%. A Conditional Use Permit is required for the PRD in the HC zone. The intent is to plat the condominium units.

At the meeting, we will share additional documents and information about the project. The meeting structure will include an introduction of the project, optional written contribution from attendees, discussion of attendees' written contribution, and an opportunity for discussion with the various project team members.

The meeting will be held virtually

**Monday, June 7th, 2021
at 5:00PM**

To attend the meeting, login to the zoom link.

<https://us02web.zoom.us/j/85028306631?pwd=aG9aUEZFRHc5SHZaWjYzT2ZWeVBRQT09>

or dial in: 1-346-248-7799 US

Meeting ID: 850 2830 6631

Passcode: 725157



Interested persons may submit their comments/questions in advance of the meeting to, Charity Lee, clee@miramontehomes.com, or by mail at Miramonte Homes, 102 S. Mikes Pike, Flagstaff, AZ. 86001. For more information call (928)600-3594.

For Additional Information Contact:

Tiffany Antol, Planning Development Manager
City of Flagstaff, Community Development Department
211 W. Aspen Avenue, Flagstaff, Arizona, 86001
tantol@flagstaffaz.gov
(928) 213-2605

The developer, Miramonte Presidio, LLC, engineering team, and City of Flagstaff planning representatives will be available at the meeting to answer your questions.

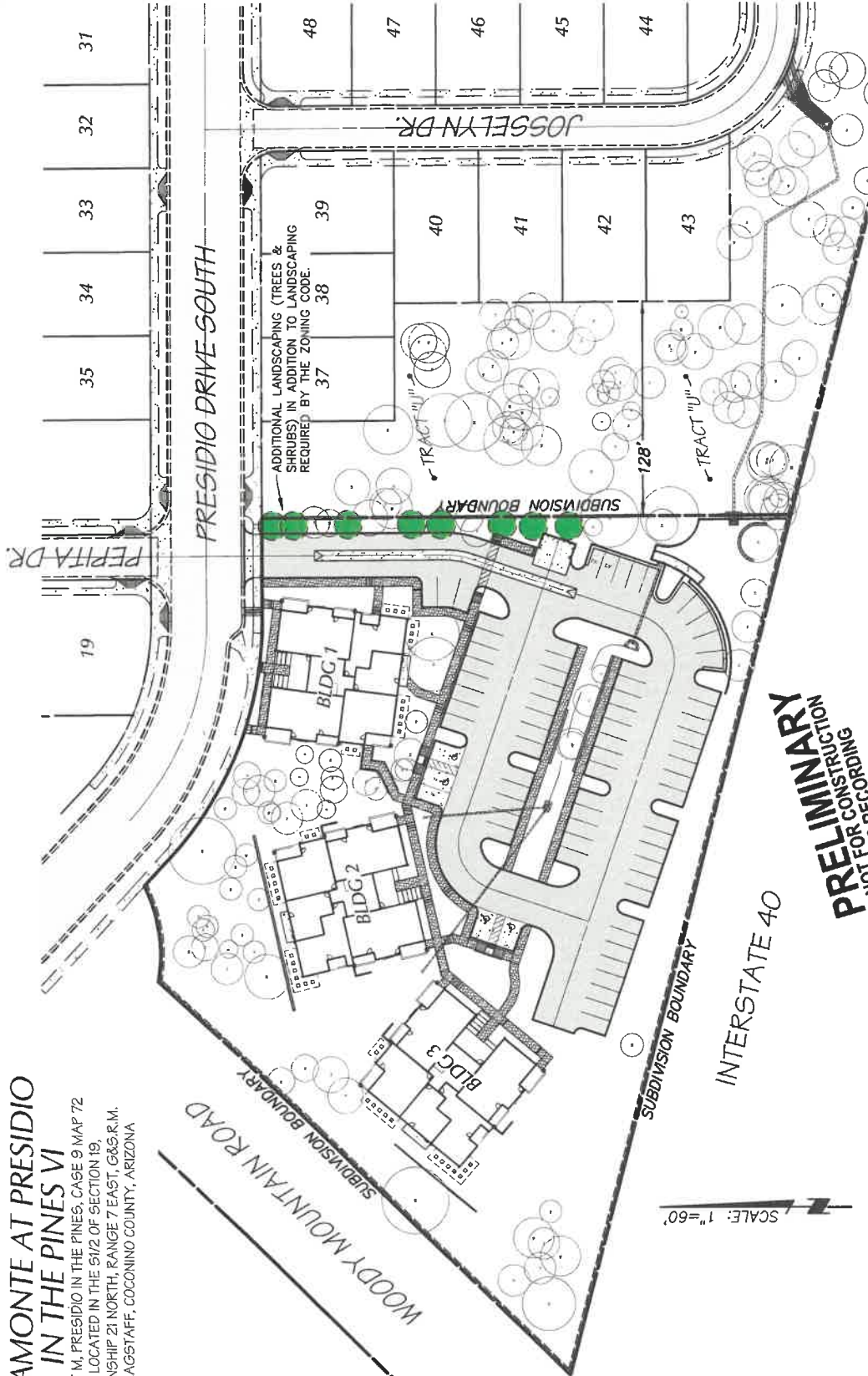
Sincerely,

Charity Lee
Land Acquisition and Development Manager
Miramonte Homes
102 S. Mikes Pike St.
Flagstaff, Az 86001
(928)600-3594
clee@miramontehomes.com

Encl.
Vicinity Map
Site Plan Exhibit
Architectural Drawings
Assessor's Map

MIRAMONTE AT PRESIDIO IN THE PINES VI

TRACT M, PRESIDIO IN THE PINES, CASE 9 MAP 72
LOCATED IN THE SW/2 OF SECTION 19,
TOWNSHIP 21 NORTH, RANGE 7 EAST, G&S.R.M.
FLAGSTAFF, COCONINO COUNTY, ARIZONA



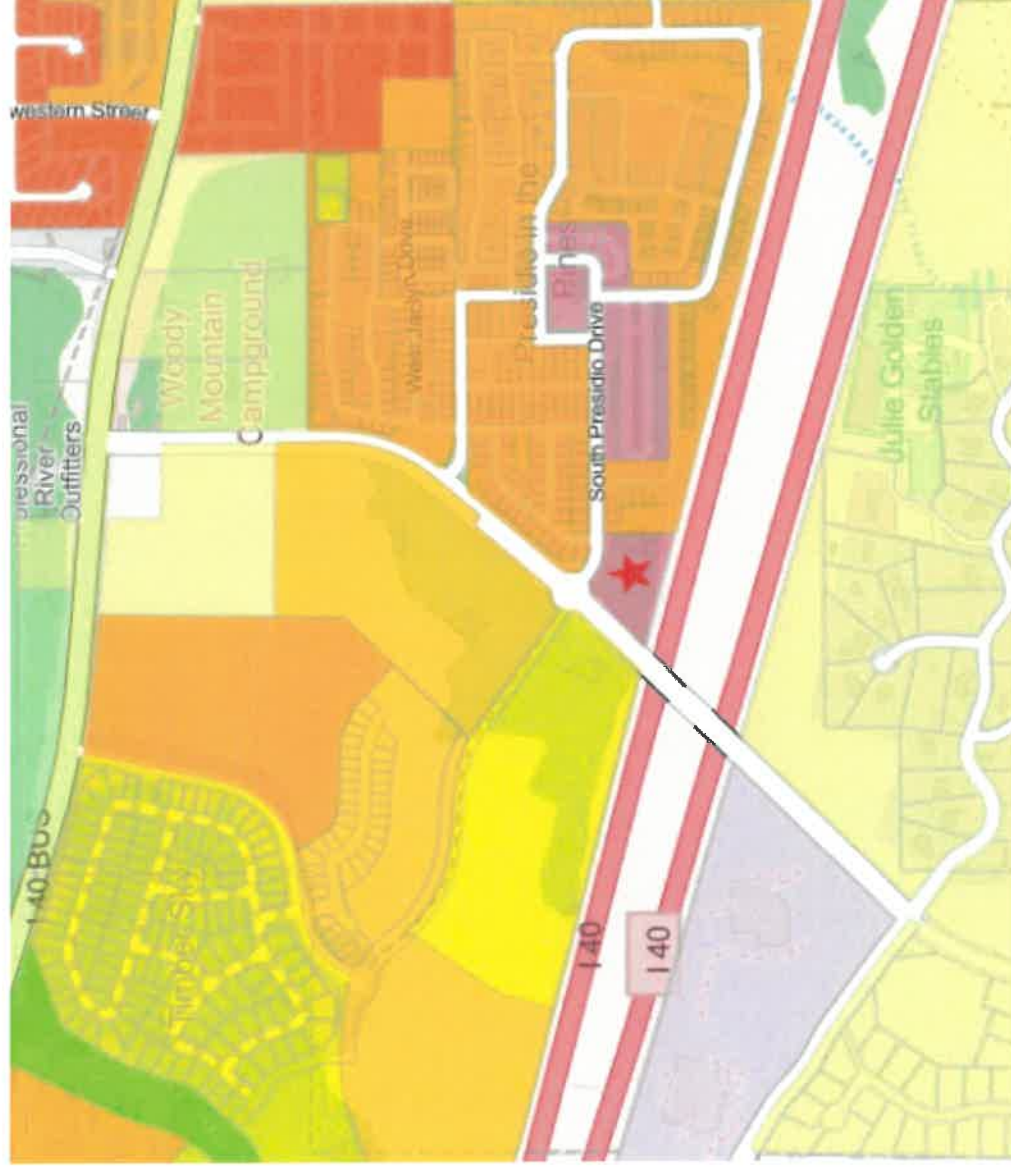
PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING

SCALE: 1"=60'



SHEET 1 OF 1

Project Name: Presidio in the Pines- Tract M
Project Number: PZ-19-00204-02
A.P.N 112-62-483



- Highway Commercial (HC)
- Rural Residential (RR)
- Medium Density Residential (MR)
- High Density Residential (HR)
- Single-family Residential (R1)
- Public Facility (PF)
- Manufactured Housing (MH)

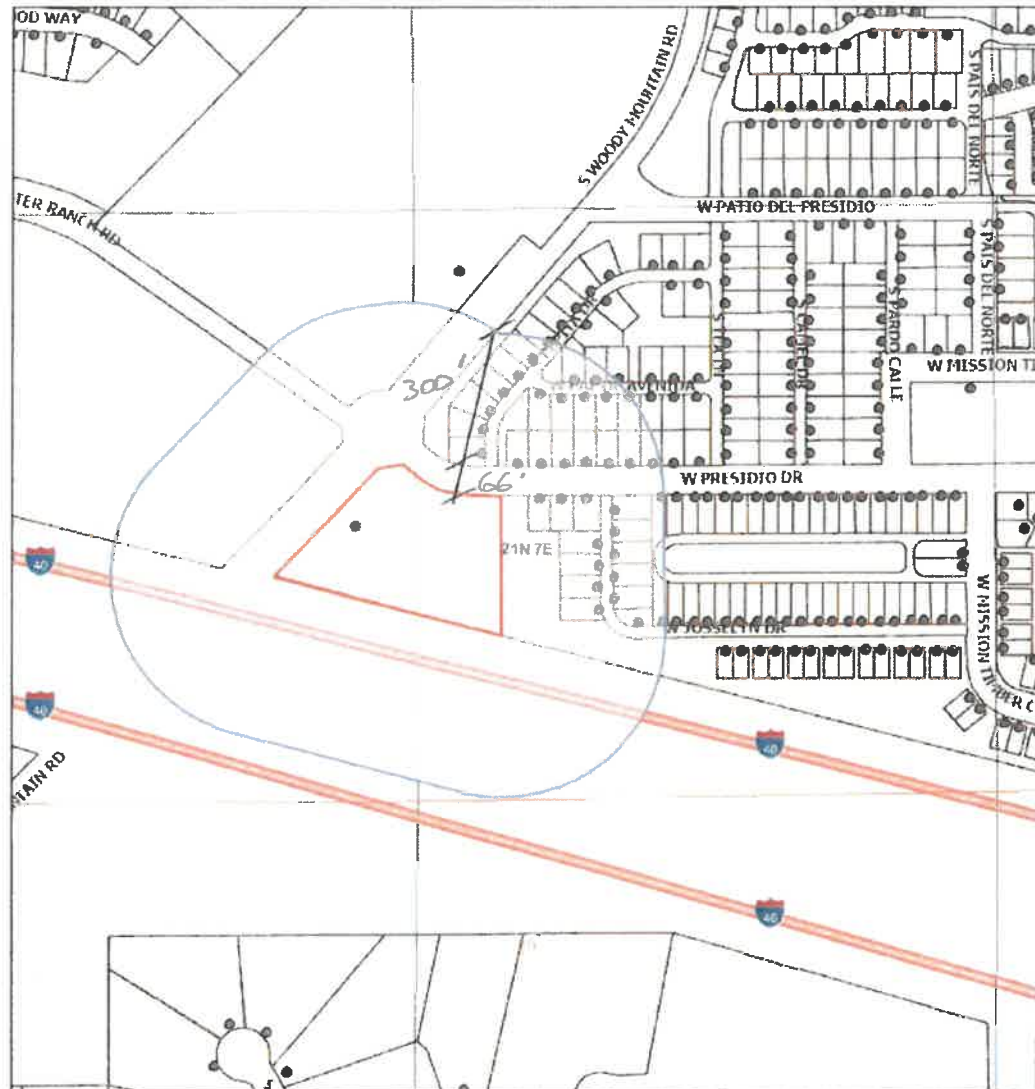


Parcel Report

Area of Interest (AOI) Information

Area : 1,081,998.74 ft²

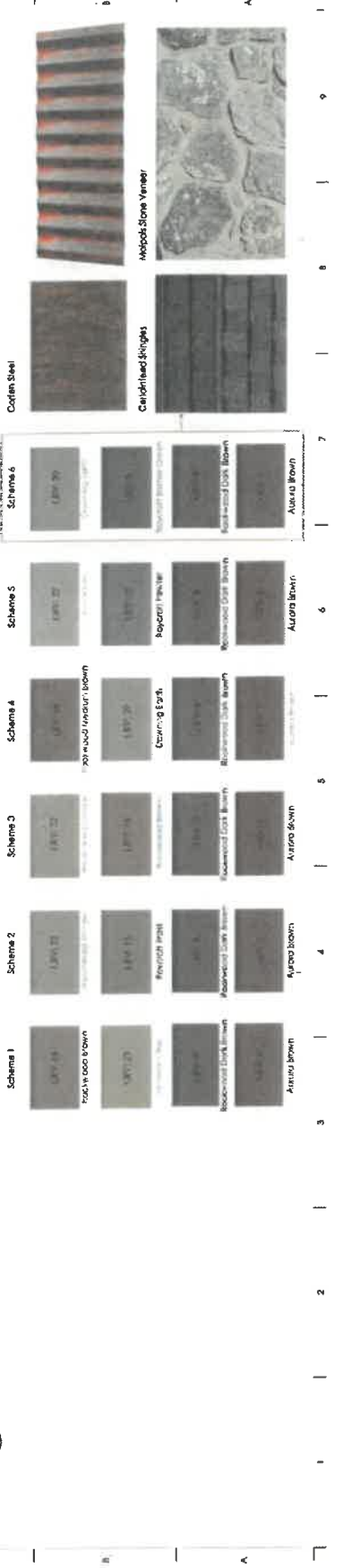
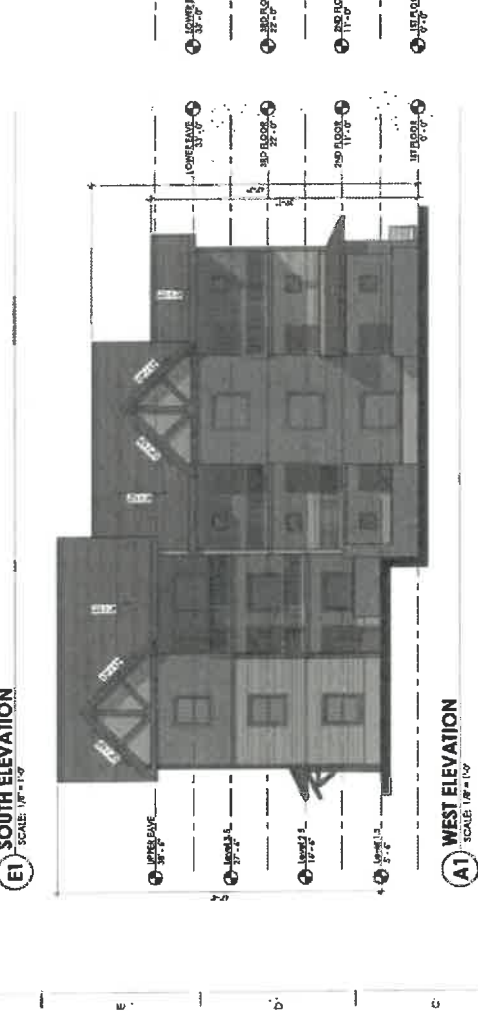
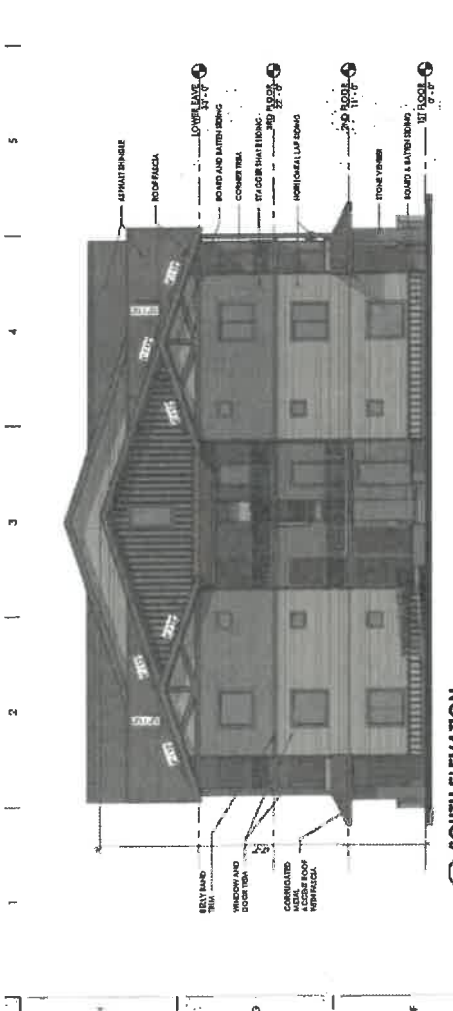
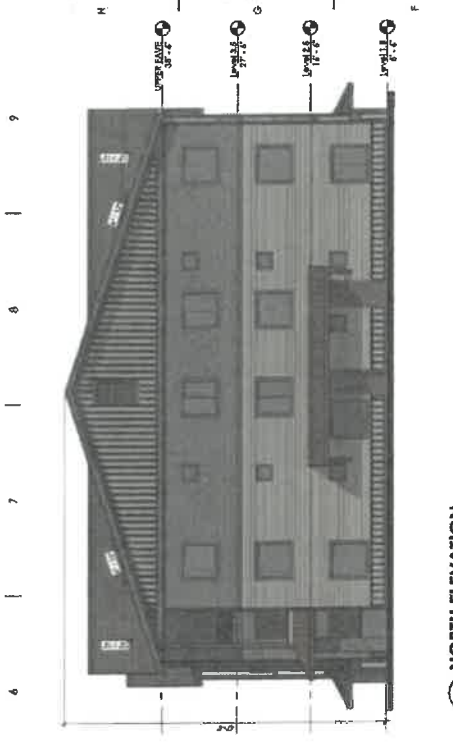
Apr 7 2021 11:13:43 Mountain Standard Time



	County Boundary		Land Ownership
	Municipal Boundaries		Private
	Coconino County Parcels		Private
	Addresses		State Trust
	Primary		PLSS Intersected
	Secondary		PLSS Section

1:4 514
0 0.03 0.06 0.12 mi
0 0.05 0.1 0.2 km

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April 29, 2021

Via First Class Mail

**RE: Invitation for Citizen Participation and Feedback
For: Conditional Use Permit
Property Owner: Miramonte Presidio, LLC ("Miramonte")
Project Name: Presidio in the Pines-Tract M
Project No. PZ-17-00227-03
Property Address: 2940 S. Woody Mountain Road, Flagstaff, AZ. 86001
A.P.N.: 112-62-483**

Dear Neighbors and Interested Parties:

We are pleased to invite you to a virtual Neighborhood Meeting, as an opportunity for you to provide your ideas, suggestions, and comments related to the request for a Conditional Use Permit for the property located at 2940 S. Woody Mountain Road, Flagstaff, AZ. 86001.

Miramonte Presidio, LLC ("Miramonte") is the owner of the 2.77-acre property and proposes to build three, (3) story apartment buildings, offering 39 residential units ranging in size from 514-1064 SF, the buildings will total 19,650 SF. The project will be a Planned Residential Development (PRD) using the following standards: T4.N2 Transect Zone, Apartment Building Type, and Forecourt Private Frontage Type with density per acre of 14.09 units and the lot coverage of 12.6%. A Conditional Use Permit is required for the PRD in the HC zone. The intent is to plat the condominium units

At the meeting, we will share additional documents and information about the project. The meeting structure will include an introduction of the project, optional written contribution from attendees, discussion of attendees' written contribution, and an opportunity for discussion with the various project team members.

The meeting will be held virtually

**Monday, May 10, 2021
at 5:00PM**

To attend the meeting, login to the zoom link.

<https://us02web.zoom.us/j/83968865477?pwd=dU85NkxrbEJ6YVhLcnZGQ3o2RFZuQT09>

or dial in: +1-346-248-7799 US

Meeting ID: 839 6886 5477

Passcode: 708197



Interested persons may submit their comments/questions in advance of the meeting to, Charity Lee, clee@miramontehomes.com, or by mail at Miramonte Homes, 102 S. Mikes Pike, Flagstaff, AZ. 86001. For more information call (928)600-3594.

For Additional Information Contact:

Genevieve Pearthree, Planning Development Manager
City of Flagstaff, Community Development Department
211 W. Aspen Avenue, Flagstaff, Arizona, 86001
Genevieve.Pearthree@flagstaffaz.gov
(928) 213-2603

The developer, Miramonte Presidio, LLC, engineering team, and City of Flagstaff planning representatives will be available at the meeting to answer any questions you may have as well as listen to your suggestions.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in blue ink that reads 'Charity Lee'.

Charity Lee
Land Acquisition and Development Manager
Miramonte Homes
102 S. Mikes Pike St.
Flagstaff, Az 86001
(928)600-3594
clee@miramontehomes.com

Encl. Vicinity Map

Friends of Flagstaff's Future

P.O. Box 23462
 Flagstaff, AZ 86002

Charlie Silver

720 West Aspen Avenue
 Flagstaff, AZ 86001

Northern Arizona Association of Realtors, Jeffrey Herd
 1515 East Cedar Avenue, Suite C-4
 Flagstaff, AZ 86004

Maury Herman

Coast and Mountain Properties
 3 North Leroux Street
 Flagstaff, AZ 86001

Jess McNeely

Coconino County Community Development
 2500 N Fort Valley Rd. Bldg 1
 Flagstaff, Az 86001-1287

Rachel Bass

3083 W. Easterday Lane
 Flagstaff 86001

Mary Beth Dreusike

US Navy, Intergovernmental Branch
 850 Pacific Highway
 Building 1 – 5th Floor, Suite 513
 San Diego, CA 92132

Nat White

1120 North Rockridge Road
 Flagstaff, AZ 86001

Northern Arizona Building Association

1500 East Cedar Avenue, Suite 86
 Flagstaff, AZ 86004

Tish Bogan-Ozmun

5271 Mt. Pleasant Drive
 Flagstaff, AZ 86004

Jay Christelman

Coconino County Community Development
 2500 N Fort Valley Rd. Bldg 1
 Flagstaff, Az 86001-1287

Steve Finch

Flagstaff Lodging, Restaurant &
 Tourism Association
 PO Box 30622

Norm Wallen

3716 N Grandview
 Flagstaff, Az 86004

Dorenda Coleman

Arizona Army National Guard, AZAA-FMO
 5636 E McDowell Rd, M5330
 Phoenix, AZ 85008

Michele A. James

Executive Director
 Friends of Flagstaff's Future
 P.O. Box 23462
 Flagstaff, Arizona 86002

Betsy McKellar

330 S Ash Lane
 Flagstaff, AZ 86004

Marilyn Weissman

1055 East Apple Way
 Flagstaff, AZ 86001

Tyler Denham

800 W Forest Meadows St, Apt 119
 Flagstaff, AZ 86001

Adrian Skabelund

819 West Grand Canyon Ave.
 Flagstaff, AZ 86001

Celia Barotz

3354 N Crest Street
 Flagstaff, AZ 86001

David Carpenter

495 S River Run Suite 100
 Flagstaff, AZ 86001

Mount Calvary Lutheran Church
2605 N Ft Valley Rd
Flagstaff AZ 86001

Gheorghe Pertea
2919 W Presidio Dr
Flagstaff AZ 86001

Conger Mccants Family Trust
2923 W Presidio Dr
Flagstaff AZ 86001

Gregory Lucero
2927 W Presidio Dr
Flagstaff AZ 86001

Millie Brockie
PO Box 1608
Tuba City AZ 86045

Donald Zetich
2928 W Presidio Dr
Flagstaff AZ 86001

Kristin Wiebe
2924 W Presidio Dr
Flagstaff AZ 86001

Ryan Carpenter
2920 W Presidio Dr
Flagstaff AZ 86001

Lisa Galyen
2601 W Josselyn Dr
Flagstaff AZ 86001

Kissinger Marvin & Ileana Living Trust
2597 W Josselyn Dr
Flagstaff AZ 86001

David Boateng
2593 W Josselyn Dr
Flagstaff AZ 86001

Roy Tolby
227 N Tonto Trl
Payson AZ 85541

Rhods Trust
1405 Stone Meadow Dr
Camarillo CA 93010

Vaughan Winborne Jr
PO Box 1538
Flagstaff AZ 86002

Vimal Swarup
6040 Laurel Loop
Flagstaff AZ 86004

Lance Rohs
2602 W Josselyn Dr
Flagstaff AZ 86001

Barbara Ralston
2514 E Heatherbrae Dr
Phoenix AZ 85016

Otzen Linda M Trust
2910 S Pepita Dr
Flagstaff AZ 86001

Jahn Family Living Trust
536 E Ames Pl
Phoenix AZ 85004

David Farrell
8375 S Pepita Dr
Flagstaff AZ 86001

Andrew Herrock
2912 Esmerelda Dr
Bullhead City AZ 86429

Nicholas Vascassenno
8423 W Mary Ann Dr
Peoria AZ 85382

Rozell Trust
6322 W Megan St
Chandler AZ 85226

Naoko Taguchi
2922 S Tex Ln
Flagstaff AZ 86001

Julia Reynolds
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Flagstaff AZ 86003

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Mumme Living Trust
2367 E Mahogany Pl
Chandler AZ 85249

Aeme Remo LLC
2313 E Scarlet Bugler Cir
Payson AZ 85541

Yazzie Brown
2946 S Tex Ln
Flagstaff AZ 86001

Vij Living Trust
3636 E Shomi St
Phoenix AZ 85044

Scott Summers
2918 S Pepita Dr
Flagstaff AZ 86001

Geoffrey T Sitch
330 E Pierce St 2601
Phoenix AZ 85004

Brendon Cook
2916 W Paz De Avenida
Flagstaff AZ 86001

Robert A Davis
2912 W Paz De Avenida
Flagstaff AZ 86001

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Bozeman MT 59718

Emily Patch
2904 W Paz De Avenida
Flagstaff AZ 86001

Jonathan Chang
2900 W Paz De Avenida
Flagstaff AZ 86001

Cal Hamren
20735 N 62Nd Dr
Glendale AZ 85308

John Morgan
2919 S Pepita Dr
Flagstaff AZ 86001

Ryan Baker
2923 S Pepita Dr
Flagstaff AZ 86001

Roland Shay
2927 S Pepita Dr
Flagstaff AZ 86001

Kimberly Vera
2931 S Pepita Dr
Flagstaff AZ 86001

Joseph Hammer
2935 S Pepita Dr
Flagstaff AZ 86001

Kristen A Bennett
2939 S Pepita Dr
Flagstaff AZ 86001

Patrick Biggerstaff
2943 S Pepita Dr
Flagstaff AZ 86001

Francis Bamford
2947 S Pepita Dr
Flagstaff AZ 86001

Brandon S Johnson
2951 S Pepita Dr
Flagstaff AZ 86001

Crystal Dehoag
2955 S Pepita Dr
Flagstaff AZ 86001

Allen George
2959 S Pepita Dr
Flagstaff AZ 86001

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2236 Manzanita Dr
Lakeside AZ 85929

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Scottsdale AZ 85266

Van Nunley Sr
2917 W Paz De Avenida
Flagstaff AZ 86001

Erin Strout
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Flagstaff AZ 86001

2909 Presidio Pines LLC
9733 W Mountain View Rd
Peoria AZ 85345

Fox Family Trust
536 W Rancho Dr
Phoenix AZ 85013

Gustavo Rodriguez
2901 W Paz De Avenida
Flagstaff AZ 86001

Paul Kiehne
2897 W Paz De Avenida
Flagstaff AZ 86001

Jeffrey Smith
2899 W Presidio Dr
Flagstaff AZ 86001

Matthew Sieg
2903 W Presidio Dr
Flagstaff AZ 86001

Sarah Hammer
2907 W Presidio Dr
Flagstaff AZ 86001

Adam Zerger
2954 S Tex Ln
Flagstaff AZ 86001

Niraja Patel
2958 S Tex Ln
Flagstaff AZ 86001

Michael H Lavelle
2736 W Pico Del Monte Cir
Flagstaff AZ 86001

Mario Martusciello
4962 S Topaz Rd
Flagstaff AZ 86005

Brian Hanabury
2949 S Camel Dr
Flagstaff AZ 86001

Paul Giambalvo
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Flagstaff AZ 86003

Rusty Javelina Investments LLC
1220 E Seminole Dr
Phoenix AZ 85022

Wendell J Geist
7248 E Broken Rock Loop
Flagstaff AZ 86004

Decker Francis P & Deborah A Rev
Trust
23205 Coso
Mission Viejo CA 92692

Matthew Thomas
2925 S Camel Dr
Flagstaff AZ 86001

Girija Dasmahapatra
2921 S Camel Dr
Flagstaff AZ 86001

John Robbins
2917 S Camel Dr
Flagstaff AZ 86001

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Flagstaff AZ 86003

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2730 W Jaclyn Dr
Flagstaff AZ 86001

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1552 W Saltsage Dr
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1112 Dysart Dr
Banning CA 92220

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2706 W Jaclyn Dr
Flagstaff AZ 86001

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Flagstaff AZ 86001

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Flagstaff AZ 86003

Geraghty Trust
4750 Devonport Cir
Yorba Linda CA 92887

Elijah Kim
2793 W Pico Del Monte Cir
Flagstaff AZ 86001

J & L Family Trust
2797 W Pico Del Monte Cir
Flagstaff AZ 86001

Matthew R Brosius
16436 N 51St St
Scottsdale AZ 85254

Michael Rael
2805 W Pico Del Monte Cir
Flagstaff AZ 86001

Sean Strain
2809 W Pico Del Monte Cir
Flagstaff AZ 86001

Gabriel J Sherinian
21 W Pine Ave
Flagstaff AZ 86001

Bahraini Living Trust
5230 E Orchid Ln
Paradise Valley AZ 85253

Sanjay Patel
2821 W Pico Del Monte Cir
Flagstaff AZ 86001

Jon Shereck
2824 W Pico Del Monte Cir
Flagstaff AZ 86001

Timothy Brown
2820 W Pico Del Monte Cir
Flagstaff AZ 86001

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Chandler AZ 85249

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Flagstaff AZ 86001

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1962 E Canyon Way
Chandler AZ 85249

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2792 W Pico Del Monte Cir
Flagstaff AZ 86001

Jeremy Kingsbury
2788 W Pico Del Monte Cir
Flagstaff AZ 86001

Charles Hammersley
2305 W Mission Timber Cir
Flagstaff AZ 86001

David Crans
285 Kaibab Way
Sedona AZ 86351

T & L Investments Trust
31805 Temecula Pkwy No 595
Temecula CA 92592

Clatterbuck Family Trust
251 S Alanna Ct
Chino Valley AZ 86323

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6005 W Pinnacle Hill Dr
Glendale AZ 85310

Goal 42 LLC
2700 S Woodlands Village Blvd No
300-407
Flagstaff AZ 86001

Scott Boyce
13452 Calle Colina
Poway CA 92064

Paul Ferry
2333 W Mission Timber Cir
Flagstaff AZ 86001

Ara Nowack
2341 W Mission Timber Cir
Flagstaff AZ 86001

Griffith Family Trust
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Phoenix AZ 85016

Michael Rogers
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San Diego CA 92127

Mark Prusacki
2353 W Mission Timber Cir
Flagstaff AZ 86001

Kurt J Meyers
2263 E Camino Rio
Tucson AZ 85718

Vivian Collins
2361 W Mission Timber Cir
Flagstaff AZ 86001

Joel Lozano
2365 W Mission Timber Cir
Flagstaff AZ 86001

Odonnell T & S Fam Trust
10544 E Halley Dr
Sun Lakes AZ 85248

Douglas Hare
2373 W Mission Timber Cir
Flagstaff AZ 86001

Myles Abramowitz
2377 W Mission Timber Cir
Flagstaff AZ 86001

Berman Ami & Brenda Family Trust
2153 N Fremont Blvd
Flagstaff AZ 86001

Steven Burrell
2385 W Mission Timber Cir
Flagstaff AZ 86001

Bruce Higgins
2389 W Mission Timber Cir
Flagstaff AZ 86001

Allan Gerston
1949 Wilfred Way
San Jose CA 95124

Raymond Stead II
2397 W Mission Timber Cir
Flagstaff AZ 86001

Michael Vogler
2398 W Mission Timber Cir
Flagstaff AZ 86001

Jason Swinney
2394 W Mission Timber Cir
Flagstaff AZ 86001

Joshua Kuhn
2390 W Mission Timber Cir
Flagstaff AZ 86001

Jaime Thurgood
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Phoenix AZ 85048

Maloney Family Trust
PO Box 294727
Phelan CA 92329

Anne Nichols
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Flagstaff AZ 86001

Samantha Boyd
2354 W Mission Timber Cir
Flagstaff AZ 86001

Mark Molinaro
2350 W Mission Timber Cir
Flagstaff AZ 86001

Veronica Hipolito
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Flagstaff AZ 86001

Richard Jessee
2342 W Mission Timber Cir
Flagstaff AZ 86001

Christopher Kuzdas
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Phoenix AZ 85085

Fernando Jimenez
12849 N Steamboat Dr
Marana AZ 85653

Shawn Wood
2645 E Encinas Ave
Gilbert AZ 85234

Schwister Family Trust
9938 E Cactus Trl
Scottsdale AZ 85255

Schwimmer-Denmark Trust
6139 E Calle Del Media
Scottsdale AZ 85251

Michael Gehrman
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Flagstaff AZ 86001

Maxwell Wallace
2870 S Pantano Seco Ln
Flagstaff AZ 86001

Cole Charlebois
2884 S Pantano Seco Ln
Flagstaff AZ 86001

Angelica Matteson
2888 S Pantano Seco Ln
Flagstaff AZ 86001

Rielly Boyd
2892 S Pantano Seco Ln
Flagstaff AZ 86001

Sarah Bemiss
2896 S Pantano Seco Ln
Flagstaff AZ 86001

Jarod Evans
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Flagstaff AZ 86001

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Grand Canyon AZ 86023

Karen Van Der Veer
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Flagstaff AZ 86001

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Flagstaff AZ 86001

Shi Hu
2887 W Patio Del Presidio
Flagstaff AZ 86001

Gianna Elms
2883 W Patio Del Presidio
Flagstaff AZ 86001

Nicholas Blain
2879 W Patio Del Presido
Flagstaff AZ 86001

Chad Norris
2923 S Pardo Calle Dr
Flagstaff AZ 86001

Steven Brigham
2927 S Pardo Calle Dr
Flagstaff AZ 86001

Mccormick Trust
2931 S Pardo Calle
Flagstaff AZ 86001

Michael Ley
2935 S Pardo Calle
Flagstaff AZ 86001

Venkata R N Yaramasu
2939 S Pardo Calle
Flagstaff AZ 86001

Garrett Austin
2943 S Pardo Calle Dr
Flagstaff AZ 86001

Aaron Coleman
2947 S Pardo Calle Dr
Flagstaff AZ 86001

Debra Nankivell
2918 S Pardo Calle
Flagstaff AZ 86001

Brandon Sufia
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Chandler AZ 85248

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2921 W Caravaggio Ln
Phoenix AZ 85086

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Flagstaff AZ 86001

Annette Fredette
2191 W Mission Timber Cir
Flagstaff AZ 86001

Timothy Dohse
2195 W Mission Timber Cir
Flagstaff AZ 86001

Louis R Cirelli
2933 S Pais Del Norte
Flagstaff AZ 86001

Rachel Hagensen
20014 34Th Ave SE
Bothell WA 98012

Elizabeth Hoffman
2925 S Pais Del Norte
Flagstaff AZ 86001

Peter Brown
2921 S Pais Del Norte
Flagstaff AZ 86001

Michael Gowanlock
2932 S Pais Del Norte
Flagstaff AZ 86001

Brent Upson
3022 W Night Owl Ln
Phoenix AZ 85085

Preston Ellis
2445 W Pollo Cir
Flagstaff AZ 86001

John Prentice
2920 S Pais Del Norte
Flagstaff AZ 86001

Sandra Dunmyer
2900 W Patio Del Presidio
Flagstaff AZ 86001

Steve Tkachyk
3480 N Camino De La Familia
Tucson AZ 85750

James Mckirdy
2884 W Patio Del Presidio
Flagstaff AZ 86001

Chelsea Robb
2872 W Patio Del Presidio
Flagstaff AZ 86001

Joseph Weidinger
2705 W Jaclyn Dr
Flagstaff AZ 86001

Michael Becenti
2717 W Jaclyn Dr
Flagstaff AZ 86001

Kelly-Donohue Living Trust
1297 Sierry Peaks Dr
Prescott AZ 86305

Jeffrey Hampton
2741 W Jaclyn Dr
Flagstaff AZ 86001

Roxanne Nottingham
2892 W Pico Del Monte Cir
Flagstaff AZ 86001

Maggie Matheson
2876 W Pico Del Monte Cir
Flagstaff AZ 86001

Anderson Moyers
1105 W Overland Pass Dr
Flagstaff AZ 86005

Jeffrey Greene
2892 W Patio Del Presidio
Flagstaff AZ 86001

Carroll Vicki J Living Trust
2880 W Patio Del Presidio
Flagstaff AZ 86001

Ohana Krr Trust
PO Box 18621
Tucson AZ 85731

Daniel Tutay
2709 W Jaclyn Dr
Flagstaff AZ 86001

John Boyd III
3980 Westwood Cir
Flagstaff AZ 86005

Mellissa H Leborgne
3654 E Sinclair St
Phoenix AZ 85050

Stevie Stewart
6825 E Pearl St
Mesa AZ 85207

John G Forsythe
2245 N Elk Run St
Flagstaff AZ 86004

Winston W Walker
13450 N Kachina Dr
Oro Valley AZ 85755

Ryan Hill
2852 W Pico Del Monte Cir
Flagstaff AZ 86001

Thomas Tutwiler
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800 W Forest Meadows St, Apt 119
Flagstaff, AZ 86001

Adrian Skabelund
819 West Grand Canyon Ave.
Flagstaff, AZ 86001

Celia Barotz
3354 N Crest Street
Flagstaff, AZ 86001

David Carpenter
495 S River Run Suite 100
Flagstaff, AZ 86001

VP 66 & WOODY MOUNTAIN LLC
2502 E CAMELBACK RD NO 214
PHOENIX, AZ 85016

PERTEA GHEORGHE & MONICA
2919 W PRESIDIO DR
FLAGSTAFF, AZ 86001

PRESIDIO IN THE PINES
HOMEOWNER'S ASSOC INC
323 S RIVER RUN RD NO 1
FLAGSTAFF, AZ 86001

COOK BRENDON & APRIL
2916 W PAZ DE AVENIDA
FLAGSTAFF, AZ 86001

MOUNT CALVARY LUTHERAN
CHURCH
2605 N FT VALLEY RD
FLAGSTAFF, AZ 86001

RALSTON BARBARA JO
2514 E HEATHERBRAE DR
PHOENIX, AZ 85016

FOGLE DONALD & CAROLE
2236 MANZANITA DR
LAKESIDE, AZ 85929

HAMMER SARAH
2907 W PRESIDIO DR
FLAGSTAFF, AZ 86001

CARPENTER RYAN
2920 W PRESIDIO DR
FLAGSTAFF, AZ 86001

ROSENFELD RONALD B & TINA
8118 E SMOKEHOUSE TRL
SCOTTSDALE, AZ 85266

DAVIS ROBERT A & KAREN S
2912 W PAZ DE AVENIDA
FLAGSTAFF, AZ 86001

TOLBY ROY & MARJORIE
227 N TONTO TRL
PAYSON, AZ 85541

NUNLEY VAN A SR & SANDRA K
2917 W PAZ DE AVENIDA
FLAGSTAFF, AZ 86001

FOX FAMILY TRUST
536 W RANCHO DR
PHOENIX, AZ 85013

BOATENG DAVID FORBI
2593 W JOSSELYN DR
FLAGSTAFF, AZ 86001

2909 PRESIDIO PINES LLC
9733 W MOUNTAIN VIEW RD
PEORIA, AZ 85345

PHILLIPS JAMES & MARGARET
6 INDIAN PAINTBRUSH DR
BOZEMAN, MT 59718

SWARUP VIMAL P
6040 LAUREL LOOP
FLAGSTAFF, AZ 86004

STROUT ERIN M
2913 W PAZ DE AVENIDA
FLAGSTAFF, AZ 86001

GALYEN LISA A
2601 W JOSSELYN DR
FLAGSTAFF, AZ 86001

ROHS LANCE G
2602 W JOSSELYN DR
FLAGSTAFF, AZ 86001

BROCKIE MILLIE
PO BOX 1608
TUBA CITY, AZ 86045

WINBORNE VAUGHAN S JR & LISA
M
PO BOX 1538
FLAGSTAFF, AZ 86002

KISSINGER MARVIN & ILEANA
2597 W JOSSELYN DR
FLAGSTAFF, AZ 86001

LUCERO GREGORY A & NICHOLE M
2927 W PRESIDIO DR
FLAGSTAFF, AZ 86001

RHODS TRUST
1405 STONE MEADOW DR
CAMARILLO, CA 93010

WIEBE KRISTIN L
2924 W PRESIDIO DR
FLAGSTAFF, AZ 86001

CONGER MCCANTS FAMILY TRUST
2923 W PRESIDIO DR
FLAGSTAFF, AZ 86001

ZETICH DONALD S & MARYANN
2928 W PRESIDIO DR
FLAGSTAFF, AZ 86001

BETHKE MCKENZIE RAE
2574 W JOSSELYN DR
FLAGSTAFF, AZ 86001



Neighborhood Meeting and Citizen Outreach Plan

April 27, 2021

Via Email (Genevieve Pearthree Genevieve.Pearthree@flagstaffaz.gov)

Genevieve Pearthree
City of Flagstaff Planning & Development Services
211 W. Aspen Ave
Flagstaff, AZ 86001

RE: **Project:** Presidio in the Pines- Tract M
 Applicant: Miramonte Presidio, LLC

Dear Ms. Pearthree:

In connection with our application for (a) Conditional Use Permit, the applicant, Miramonte Presidio, LLC, (Miramonte) has formulated this Neighborhood Meeting and Citizen Outreach Plan and welcomes feedback from the City of Flagstaff (the "City") regarding any of the details set forth herein. The information herein is intended to comply with relevant portions of the Flagstaff Zoning Code (the "Code"), Section 10-20.30.060.

Introduction

Miramonte Presidio, LLC is proposing to develop a 2.77-acre parcel located at 2940 S. Woody Mountain Road, Flagstaff, AZ. 86001, Assessor Parcel Number 112-62-483, otherwise known as Tract M. The development will consist of three, (3) story apartment buildings consisting of 39-units. The buildings total 19,650 SF and residential units will range from 514-1,064 SF. The density per acre is 14.09 units and the lot coverage is 12.6%.

The Planned Residential Development (PRD) mechanism will be used, following standards: T4.N2 Transect Zone, Apartment Building Type, and Forecourt Private Frontage Type. As a condition of Civil Plan approval, a Conditional Use Permit (CUP) is required for the PRD in the HC zone.

Neighborhood Meeting

A. Purpose

Miramonte understands the purpose of the required neighborhood meeting to encompass the following goals:

- Encourage Miramonte to allow for informed decision making through the dissemination of proposals and alternatives. *See Code Section 10-20.30.060(B)(1).*
- Ensure that Miramonte pursues early and effective citizen participation in conjunction with its applications, giving it the opportunity to understand and try to mitigate any real or perceived impacts its applications may have on the community. *See Code Section 10-20.30.060(B)(2).*
- Ensure that the citizens and property owners within the community have an adequate opportunity to learn about how Miramonte's applications may affect them and to work with Miramonte to resolve concerns at an early stage of the process. *See Code Section 10-20.30.060(B)(3).*
- Facilitate ongoing communication between Miramonte potentially affected citizens and adjacent property owners, City staff, Planning Commissioners and elected officials throughout the application review process. *See Code Section 10-20.30.060(B)(4).*

B. Applicability and Requirements

Miramonte understands its Applications will require it to hold a neighborhood meeting and that it is responsible for the costs associated with the meeting. If the Director requires as much, Miramonte will host additional neighborhood meetings. Miramonte has not yet determined when the required neighborhood meeting will be held, however, Miramonte will inform the City once it has scheduled the neighborhood meeting.

C. Neighborhood Meeting Plan

Pursuant to Code Section 10-20.30.060(C)(2), Miramonte's plan for how it intends to conduct the neighborhood meeting must be submitted to and approved by the Director in compliance with the review schedule. In anticipation of this requirement, Miramonte includes the following proposed plan for conducting the neighborhood meeting. The neighborhood meeting will be hosted at a suitable gathering location at or near the proposed project site. Miramonte may hold the public meeting(s) at the subject site, if it is determined to be a suitable location for the meeting(s). Miramonte intends to hold in-person meetings, assuming that social distancing requirements caused by the COVID-19 pandemic can be met. If in-person meetings are not feasible as a result of the pandemic, then Miramonte will either delay the meeting until such time as in-person meeting can be suitably held or it will conduct the meeting online, if approved by the Director. Again, while

Miramonte has determined the location, date and time of the neighborhood meeting, it will include such information in its plan sent to the Director in compliance with the review schedule.

While the Director may determine that additional notices are required, Miramonte will, at a minimum, provide notices, via first class mail and email (if available) to the following parties:

- Property owners, citizens, jurisdictions and public agencies within 300 feet of the proposed project;
- The head of any homeowners association, or community/neighborhood representative within 1,000 feet of the proposed project;
- All persons or groups whose names are on the registry of persons and groups described in Code Section 10-20.30.080(B) who are interested in receiving such notice; and
- If required by the Director, to any party falling within an expanded notification area.

Further, Miramonte will post a sign on the subject property. The sign posted on the subject property will be at least 4' x 4' and will be clearly visible from Woody Mountain Road and will have an attached information tube containing copies of the meeting notice. This sign will be installed at least 10 days prior the neighbor meeting. In addition, each of these notices will set forth the purpose and substance of the proposed application, and the time, date and place of the neighborhood meeting. Miramonte will submit a copy of such notice to the Director.

At the meeting(s), Miramonte will circulate a sign-in sheet (or collection of participant information for a virtual meeting), and will provide an introduction of the proposed development, with an overview of the development's design and goals. After Miramonte provides an overview of the proposed project, Miramonte will engage in a charrette-style interaction, encouraging attendees' written contribution of any comments or concerns about the proposed development, and in particular will solicit attendees' desired community outcomes. For a virtual meeting, Miramonte will invite contribution of comments and concerns to be submitted in advance of the meeting via email and at the meeting via chat features through the online meeting service. Upon collection of the attendees' written responses, Miramonte will discuss some of the comments received and facilitate an open forum discussion with attendees. Miramonte will provide attendees with contact information to permit follow up discussions with any interested participant.

D. Record of Proceedings

Pursuant to Code Section 10-20.30.060(F), after the meeting(s), Miramonte will create a written summary of the meeting(s) and will submit the report to the Director in its next formal submission. The report will include the information specified in Code Section 10-20.30.060(F), including (i) certification, on a form established by the Director, that the meeting was properly noticed and conducted; (ii) dates and locations of all meetings; (iii) a copy of the notices provided, including dates and number of mailings or deliveries; (iv) a copy of the mailing list and a summary of where residents, property owners, and potentially affected citizens receiving notices, newsletters, or other

written materials were located; (v) the number and names of people that participated in the process based on the sign-in sheet; and a dated photograph of the sign installed on the subject property, as discussed above.

In addition, Miramonte's report will contain a summary of concerns, issues and problems expressed during the neighborhood meeting(s), including: (i) the substance of the concerns, issues, and problems raised during the process; (ii) how Miramonte has responded to these comments. Further, Miramonte's responses will be included in an associated report.

Finally, Miramonte will provide a copy of the written summary to all attendees who recorded their name on the sign-in sheet. Miramonte welcomes any feedback from the City regarding its proposed neighborhood meeting plan.

Notice of Public Hearings

A. Planning Commission Public Hearing

In addition to the neighborhood meeting(s), the Director must schedule a hearing with the Planning Commission to provide additional opportunities for interested members of the public to be informed of and provide comments on Miramonte's development proposals. Miramonte will notice the public hearing as required by Code Section 10-20.30.080.

As indicated above, Miramonte understands the need for heightened community involvement throughout the application process and welcomes the City's input on any of the information and plans set forth herein. To the extent not expressly indicated, Miramonte intends to conduct the neighborhood meeting(s) and citizen outreach in accordance with the requirements of the Code.

Sincerely,



Charity Lee
Land Acquisition & Development Manager
Miramonte Homes
102 S. Mikes Pike
Flagstaff, AZ. 86001

LEGEND & ABBREVIATIONS

	CENTERLINE (CL or CL)
	RIGHT OF WAY (R.O.W.)
	PROPERTY LINE (PL or PL)
	EXISTING WATER LINE
	NEW WATER LINE (WL)
	NEW SEWER LINE (SL)
	NEW FIRE SERVICE (FS)
	NEW WATER SERVICE (WS)
	NEW BUILDING SUPPLY LINE (BSL)
	NEW SEWER SERVICE (SS)
	EXISTING SEWER MANHOLE
	NEW SEWER MANHOLE (MH)
	EXISTING EDGE OF PAVEMENT / CURB
	NEW EDGE OF PAVEMENT / CURB
	PUBLIC UTILITY EASEMENT (PUE)
	GRADING LIMITS (GL)
	EXISTING OVERHEAD UTILITY LINE (EX OVHD)
	EXISTING FIRE HYDRANT (EX FH)
	NEW FIRE HYDRANT (FH)
	EXISTING WATER VALVE (EX WV)
	NEW WATER VALVE (WV)
	EXISTING WATER METER (EX WM)
	NEW WATER METER (WM)
	EXISTING STREET LIGHT (EX SL)
	NEW STREET LIGHT (SL)
	CROSSING
	RADIUS POINT
	RADIUS
	INTERSECTION
	DEPRESSED CURB
	BACK OF CURB (TOP)
	FACE OF CURB (TOP)
	BACK OF SIDEWALK
	FACE OF SIDEWALK
	CURB AND GUTTER
	EDGE OF PAVEMENT
	SIDEWALK
	PARKWAY
	DRIVEWAY
	FLOWLINE
	EXISTING GRADE
	FINISH GRADE
	END OF LINE BLOWOFF
	TAPPING SLEEVE and VALVE
	STORM DRAIN MANHOLE
	DRAIN BASIN
	TOP OF WALL
	GRADE BREAK
	TYPICAL
	EXISTING
	SHEET
	VALLEY GUTTER
	FINISH FLOOR ELEVATION (PRELIMINARY)
	EACH
	LINEAL FEET
	SQUARE FOOT
	SQUARE YARDS
	CUBIC YARDS
	DRAINAGE EASEMENT
	SLOPE EASEMENT
	GUTTER
	PAVEMENT
	CONCRETE
	LEFT
	RIGHT
	TRANSITION
	BACK FLOW PREVENTION
	HANDICAP
	MOGOLLON ENGINEERING & SURVEYING, INC.
	ELECTRIC VEHICLE
	CITY OF FLAGSTAFF

UNIT COUNT and PARKING INFORMATION

PARKING CALCULATIONS:	TOTAL PARKING REQUIRED
	No. OF PER PARKING
	UNITS UNIT SPACES
MARKET RATE UNITS	
STUDIO UNITS:	3 x 1.25 3.75 (4)
ONE BEDROOM UNITS:	12 x 1.5 18
TWO BEDROOM UNITS:	18 x 2 36
THREE BEDROOM UNITS:	6 x 2 12
TOTAL MARKET RATE UNITS:	39 70
VISITOR PARKING:	0.25/EACH 2+ BEDROOM = 24*0.25 = 6
REQUIRED PARKING:	76 SPACES REQUIRED
PARKING REDUCTIONS:	20% MAXIMUM = 15 SPACE MAX. REDUCTION
5% MAX. PER 10-50.80.060 F:	3 SPACE REDUCTION
	(12 BIKE RACKS / 4 = 3)
REQUIRED PARKING (AFTER REDUCTIONS):	76 - 3 = 73 SPACES REQUIRED (AFTER REDUCTION)
TOTAL PARKING PROVIDED:	74 SPACES
TOTAL HANDICAP PARKING PROVIDED:	4 SPACES

IMPERVIOUS SURFACES

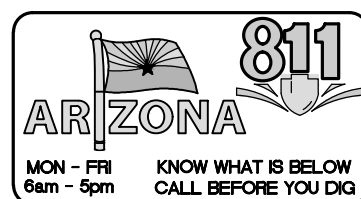
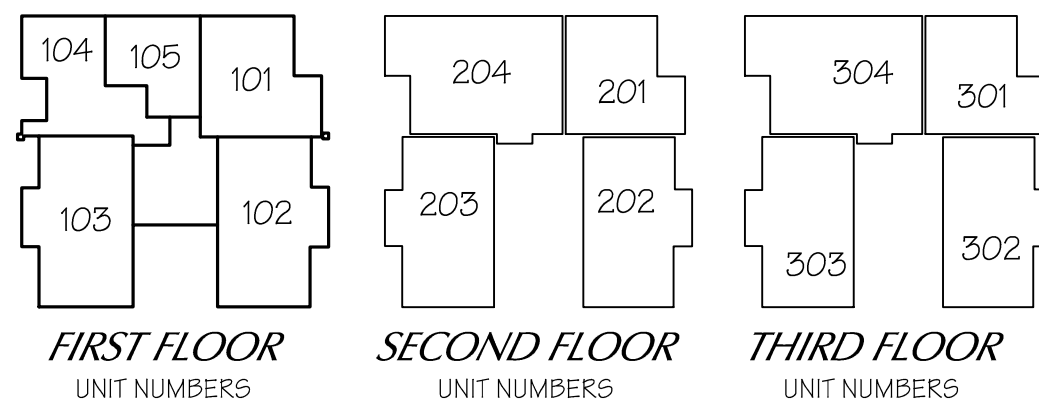
EXISTING IMPERVIOUS:	0 S.F.
NEW BUILDINGS:	19,650 S.F.
NEW A.C. PAVEMENT, CURB & DUMPSTER:	33,185 S.F.
NEW CONCRETE SIDEWALKS:	7,545 S.F.
NEW BIKE RACKS:	240 S.F.
TOTAL NEW IMPERVIOUS:	60,620 S.F.
ROCV REQUIRED = 60,620 x 1/12 = 5,052	
ROCV PROVIDED = 5,175 C.F. AT 2.15' PONDING	

ADEQUATE WATER SUPPLY

THE CITY OF FLAGSTAFF PROVIDES WATER (UTILITY) SERVICE PURSUANT TO STATE LAW, AND IS CURRENTLY OPERATING UNDER A DESIGNATION OF ADEQUATE WATER SUPPLY GRANTED BY THE ARIZONA DEPARTMENT OF WATER RESOURCES, APPLICATION No. 41-900002.0002.

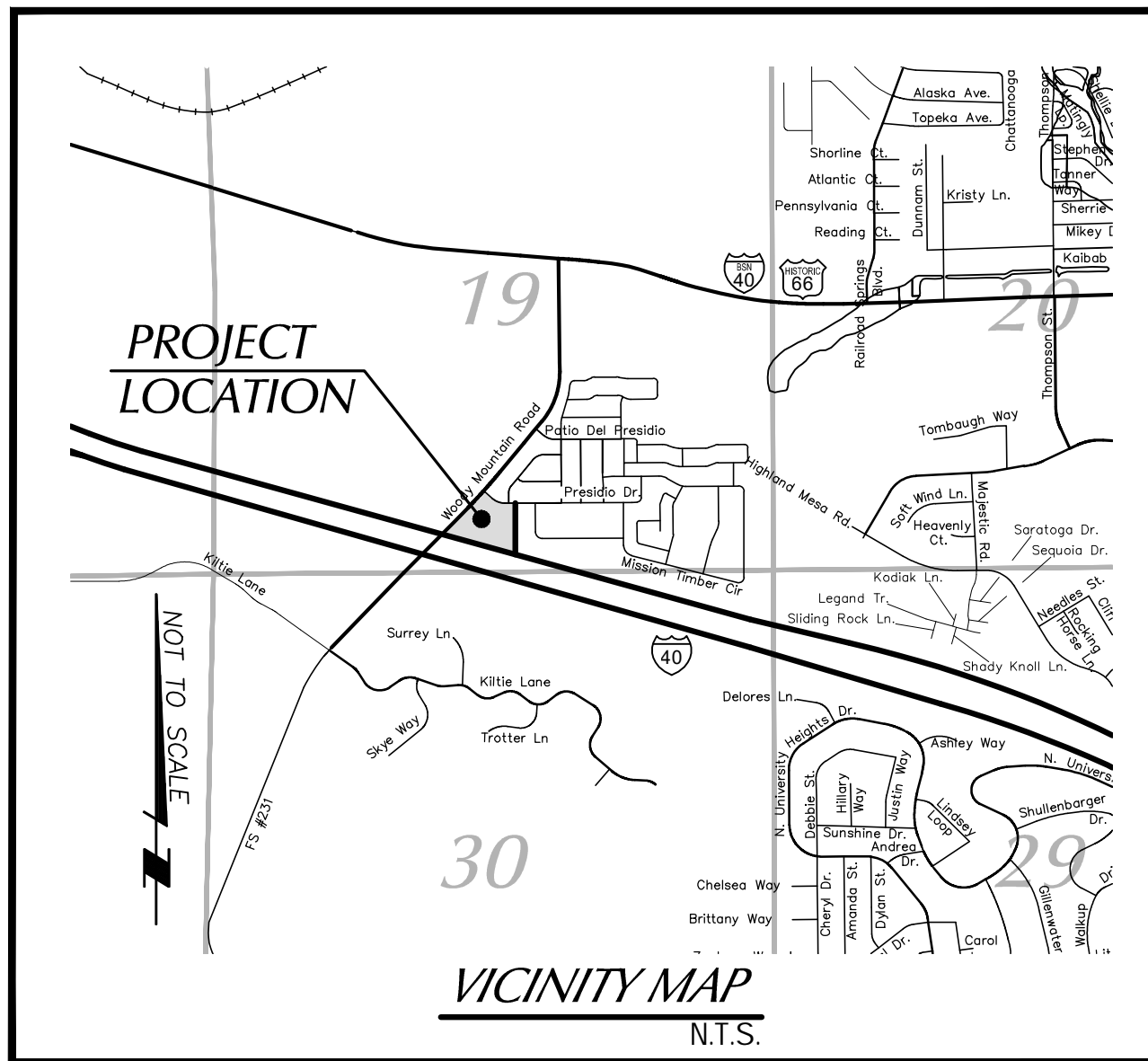
ADDRESSING

2940 S. WOODY MOUNTAIN ROAD



CITY OF FLAGSTAFF
SITE PLAN
FOR
MIRAMONTE AT PRESIDIO
IN THE PINES VI

TRACT M, PRESIDIO IN THE PINES, CASE 9 MAP 72
LOCATED IN THE S1/2 OF SECTION 19,
TOWNSHIP 21 NORTH, RANGE 7 EAST, G&S.R.M.
FLAGSTAFF, COCONINO COUNTY, ARIZONA



PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING

INDEX TO SHEETS

1	COVER SHEET, PROJECT INFORMATION
2	GRADING & DRAINAGE
3	UNDERGROUND UTILITIES
4	RESOURCE PROTECTION
5	AREA MAP

PRELIMINARY FINISH FLOOR ELEVATIONS

THE FINISH FLOOR ELEVATIONS SHOWN ON THIS SITE PLAN ARE TO BE CONSIDERED PRELIMINARY, FINISH FLOOR ELEVATIONS MAY CHANGE WITH THE DESIGN OF THE CIVIL CONSTRUCTION DOCUMENTS

P.U.E.'s FOR WATER & SEWER

ALL EASEMENTS ARE IN ACCORDANCE WITH C.O.F. ENGINEERING STANDARDS SECTION 13-09-001-0008
(2) UTILITY LINES = 26" WIDE P.U.E.
(1) UTILITY LINE = 20" WIDE P.U.E.
FIRE HYDRANTS = 8" WIDE P.U.E. EXTENDED 4' BEYOND F.H.
WATER METER = 6" WIDE P.U.E. EXTENDED 3' BEYOND W.M.

PUBLIC WATER & SEWER MAINS

ALL NEW 8" WATER & SEWER MAINS SHALL BE PUBLIC.

WATER & SEWER SERVICES

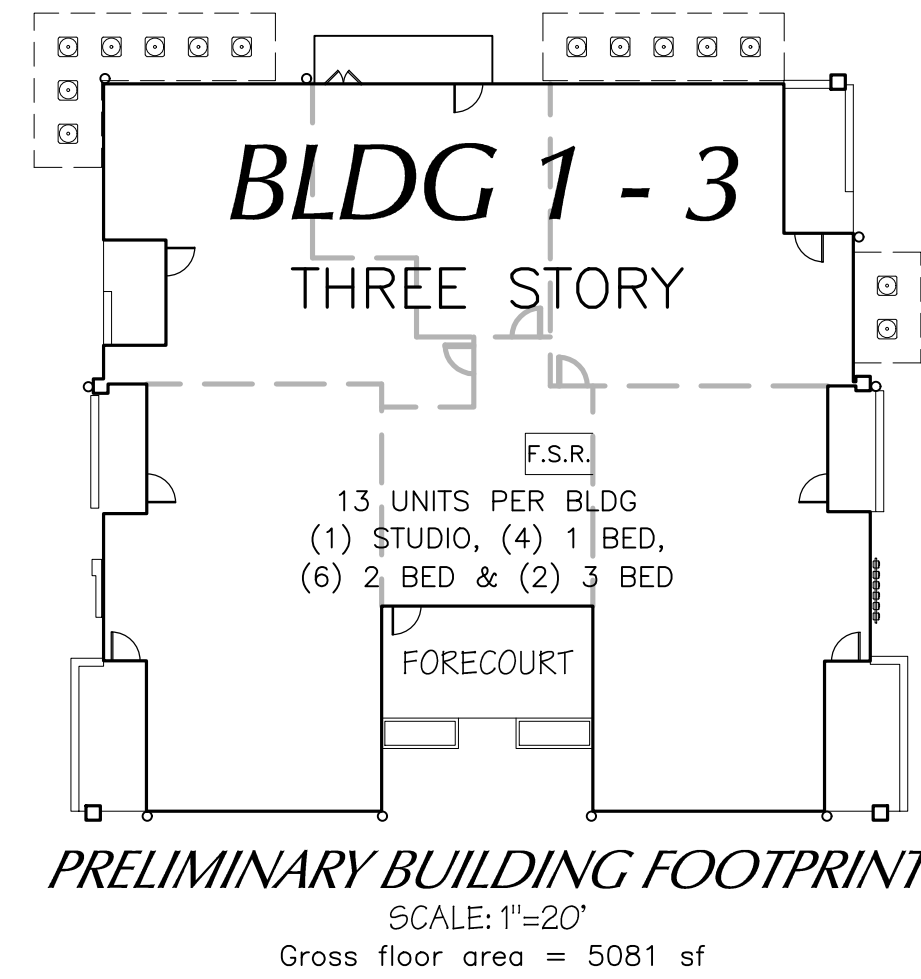
ALL NEW SEWER SERVICES SHALL BE 6" MINIMUM AND ALL NEW WATER SERVICES SHALL BE 2".

EXISTING CONTOURS

THE EXISTING CONTOURS SHOWN HEREON ARE BASED ON CITY OF FLAGSTAFF G.I.S. DATA WHICH IS BASED ON THE NAVD 88 DATUM. THE PRESIDIO IN THE PINES APPROVED CONSTRUCTION DOCUMENTS ARE BASED ON THE NGVD 29 DATUM. THE CONTOURS SHOWN HAVE BEEN LABELED TO REFLECT THE 3.412' DIFFERENCE (BASED ON VERTICAL DATUM CONVERSION FACTORS FOR THE CLAY AVENUE WASH - FEMA FLOOD INSURANCE STUDY (DATED SEPTEMBER 3, 2010))

OPEN SPACE

TOTAL LOT AREA:	120,564 S.F.
LESS IMPERVIOUS AREAS:	60,620 S.F.
OPEN SPACE AREA:	59,944 S.F.
OPEN SPACE PERCENTAGE:	49.7 %



Building Types	10-50.110.170
Alley	Apartment Building
Typical Alley-loaded Plan Diagram	Typical Front-loaded Plan Diagram
Key	
--- ROW/Property Line	Building Area
B. Lot	
Lot Size	
Width	100' min; 150' max.
Depth	100' min; 150' max.
C. Number of Units	
Units	8 min; 32 max.
D. Accession Access	
Main Entrance Location	Primary Street
Each unit may have an individual entry.	
E. Allowed Frontages	
Porch	Forecourt
Scoop	
Width	
Scoop	
F. Vehicle Access and Parking	
Where an alley is present, parking and services shall be accessed from the alley.	
Parking spaces may be enclosed, covered or open.	
G. Private Open Space	
Area	15% of lot area min.
Width	40' min.
Depth	40' min.
No private open space is required.	
H. Building Size and Massing	
Main Body	
Width	200' max.
Secondary Wing	
Width	40' max.
Miscellaneous	
Height	See transect zone in which the building is proposed.
End Notes	
* Applies to newly created lots.	
(Section 10-50.110.170 amended by Ord. 2016-07, adopted Feb. 16, 2016)	
Flagstaff Zoning Code	50.110-33

Specific to Private Frontages	10-50.120.080
Key	
--- ROW/Property Line	
--- Setback Line	
10-50.120.080 Forecourt	
A. Description	
A portion of the main facade of the building is at or near the frontage line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings or as an additional shopping or restaurant seating area within commercial areas when it is designed with a hard surface and landscaping as an edge treatment. The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort.	
B. Size	
Width, Clear	12' min.
Depth, Clear	12' min.
C. Miscellaneous	
In commercial areas this frontage type should be used sparingly and should not be repeated along a block frontage.	
A short wall or fence shall be placed along the BTL where it is not defined by a building.	
Flagstaff Zoning Code	50.120-9

SHEET NO. 1 OF 5
COF PROJECT # PZ-19-00204

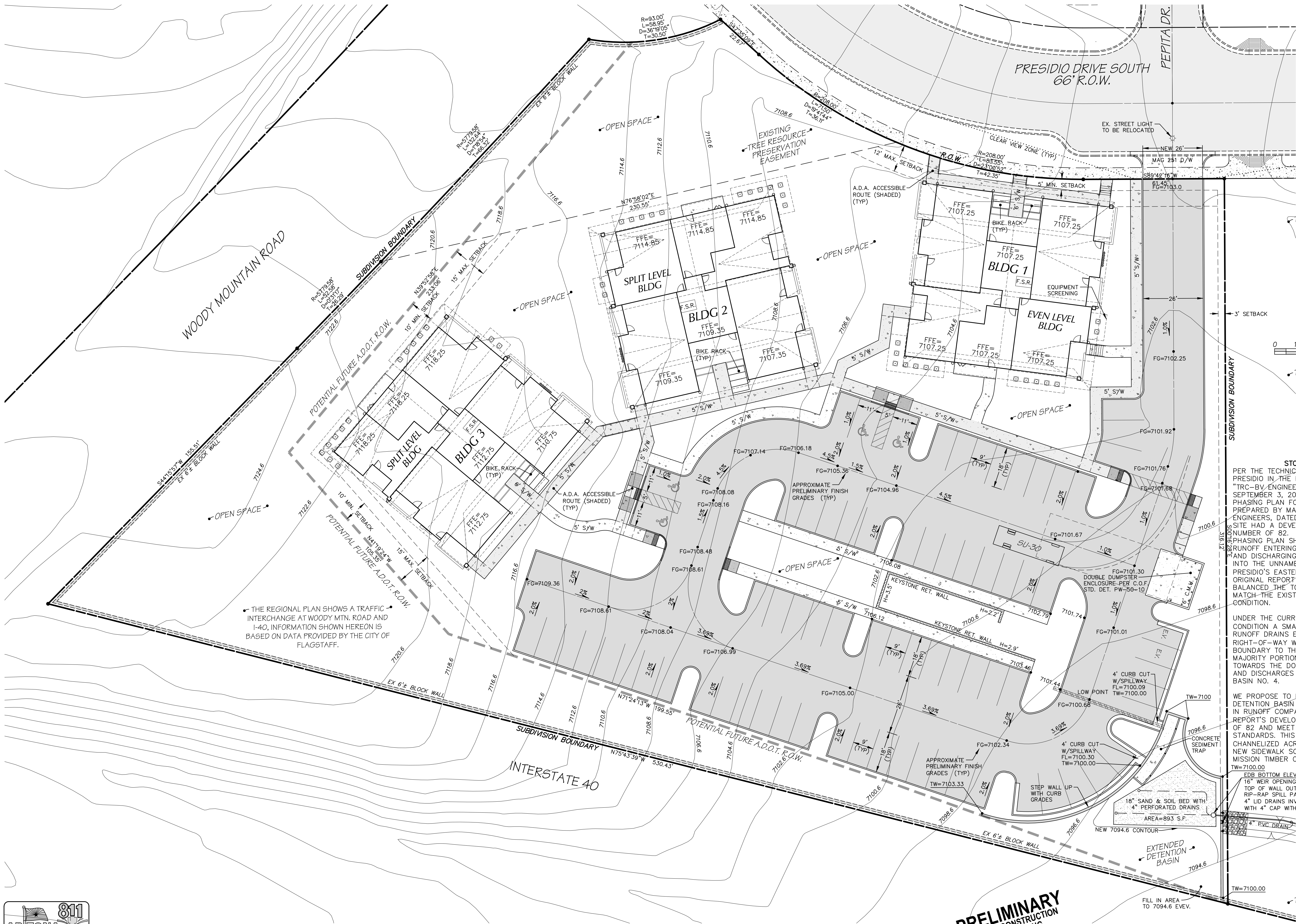
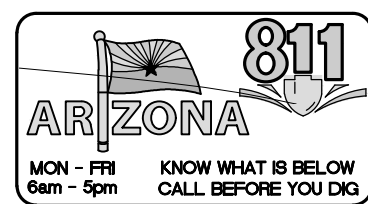
SITE #9

Mogollon ENGINEERING & SURVEYING
MIRAMONTE AT PRESIDIO
IN THE PINES VI
SITE PLAN - COVER SHEET & PROJECT INFO MES#15159
9/17/20

Mogollon ENGINEERING & SURVEYING
411 W. Santa Fe Avenue
Flagstaff, Arizona 86001
Phone: 928-214-0214

PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING

Mogollon ENGINEERING & SURVEYING
PROJECT NO. 15159
DESIGNED BY: MME
DRAWN BY: MME
CHECKED BY: KWH
REVISIONS PER C.O.F. COMMENTS DATED 8/6/20
PZ-SHEET-01.DWG
VERT SCALE: N/A
HOR SCALE: 1"=40'
DATE: 9/17/20
SHEET NO. 1 OF 5
COF PROJECT # PZ-19-00204



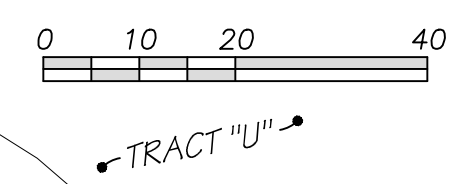
STORMWATER NOTE:
PER THE TECHNICAL DRAINAGE STUDY FOR PRESIDIO IN THE PINES, PREPARED BY "TRC-BV ENGINEERING NEVADA", DATED SEPTEMBER 3, 2004, AND THE CONSTRUCTION PHASING PLAN FOR PRESIDIO IN THE PINES, PREPARED BY MARTIN & MARTIN CIVIL ENGINEERS, DATED JUNE 6, 2006 THE PROJECT SITE HAD A DEVELOPED SCS RUNOFF CURVE NUMBER OF 82. THE ORIGINAL REPORT AND PHASING PLAN SHOWED THIS SITES DEVELOPED RUNOFF ENTERING THE ADOT RIGHT-OF-WAY AND DISCHARGING EASTERLY UN-DETAINED INTO THE UNNAMED EPHEMERAL WASH ALONG PRESIDIO'S EASTERLY BOUNDARY. THE ORIGINAL REPORT AND PHASING PLAN OVERALL BALANCED THE TOTAL DEVELOPED RUNOFF TO MATCH THE EXISTING UN-DEVELOPED CONDITION.

UNDER THE CURRENT UN-DEVELOPED CONDITION A SMALL PORTION OF THE SITE'S RUNOFF DRAINS EASTERLY ALONG THE I-40 RIGHT-OF-WAY WALL, INSIDE THE PRESIDIO'S BOUNDARY TO THE UNNAMED WASH AND A MAJORITY PORTION OF THE RUNOFF DRAINS TOWARDS THE DOWNSTREAM STREET SECTIONS AND DISCHARGES INTO THE EXISTING DETENTION BASIN NO. 4.

WE PROPOSE TO PROVIDE A EXTENDED DETENTION BASIN TO ADDRESS ANY INCREASE IN RUNOFF COMPARED TO THE ORIGINAL REPORT'S DEVELOPED RUNOFF CURVE NUMBER OF 82 AND MEET CURRENT C.O.F. LID STANDARDS. THIS RUNOFF DISCHARGE WILL BE CHANNELIZED ACROSS TRACT "U" TO A SET OF NEW SIDEWALK SCUPPERS AT THE CURVE ON MISSION TIMBER CIRCLE.

EDB BOTTOM ELEV.=7094.60
16" WEIR OPENING=7096.75, 8' LONG WEIR AT 7098.75
TOP OF WALL OUTSIDE OF WEIR=7099.42(MIN.) WITH RIP-RAP SPILL PAD
4" LD DRAINS INV.=7092.60 WITH 12" CLEAN-OUT WITH 4" CAP WITH 1.25" CONTROL ORIFICE DRILL HOLE.

NEW 7094.6 CONTOUR
EXTENDED DETENTION BASIN
FILL IN AREA TO 7094.6 ELEV.



PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING

Mogollon
ENGINEERING & SURVEYING
411 W. Santa Fe Avenue
Flagstaff, Arizona 86001
Phone: 928-214-0214

DATE: 9/17/20
DESIGNED BY: MME
DRAWN BY: MME
CHECKED BY: KVH

PROJECT NO. 15159
RNI SHEET-02.DWG
VERT SCALE: N/A
HOR SCALE: 1"=20'

REVISIONS PER C.O.F. COMMENTS DATED 8/6/20

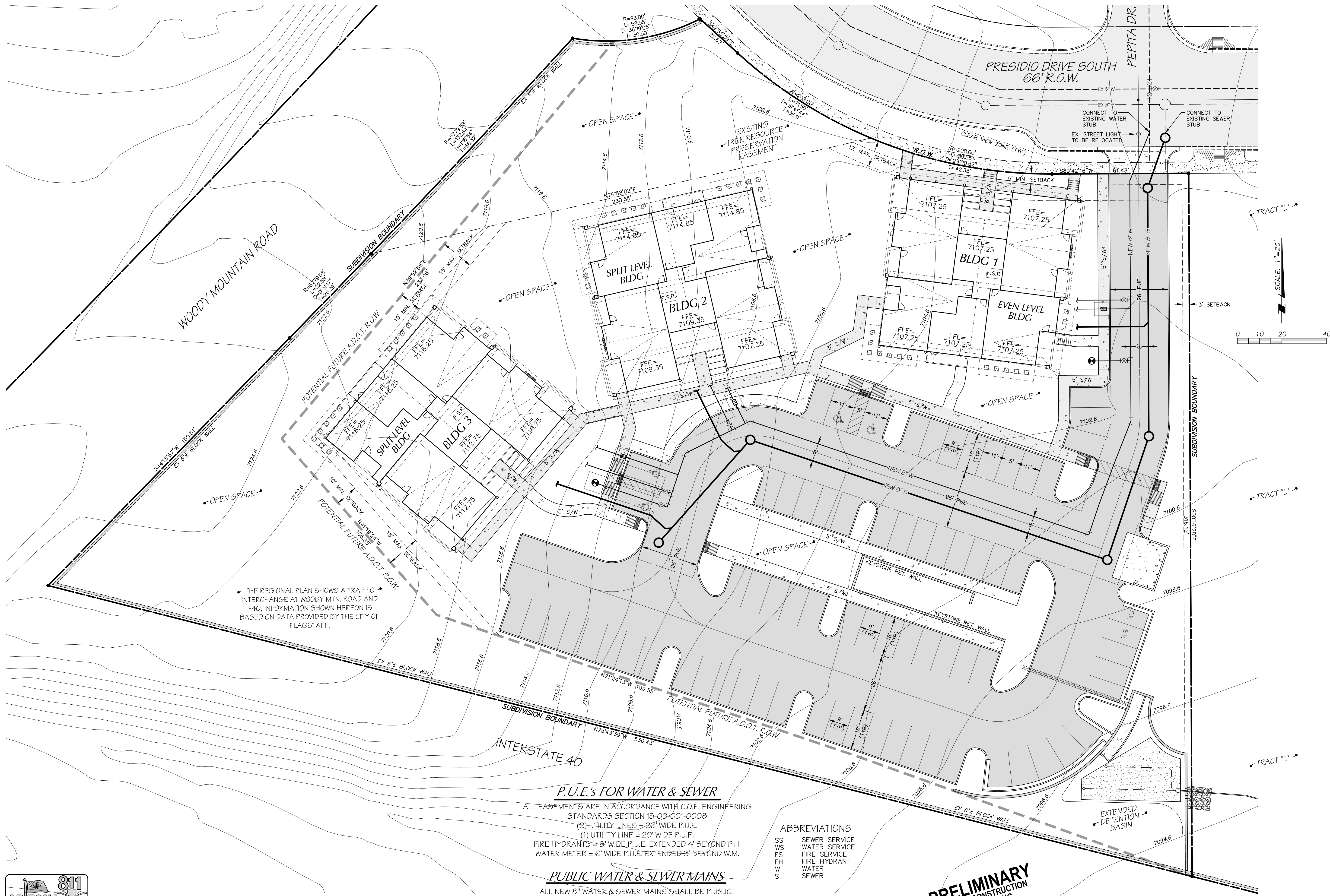
SITE #9

MIRAMONTE AT PRESIDIO
IN THE PINES VI

9/17/20
MES#15159

SITE PLAN - GRADING & DRAINAGE

PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING



P.U.E.'s FOR WATER & SEWER

ALL EASEMENTS ARE IN ACCORDANCE WITH C.O.F. ENGINEERING
STANDARDS SECTION 13-09-001-0008
(2) UTILITY LINES = 20' WIDE P.U.E.
(1) UTILITY LINE = 20' WIDE P.U.E.
FIRE HYDRANTS = 6' WIDE P.U.E. EXTENDED 4' BEYOND F.H.
WATER METER = 6' WIDE P.U.E. EXTENDED 3' BEYOND W.M.

PUBLIC WATER & SEWER MAINS

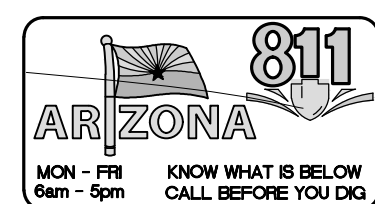
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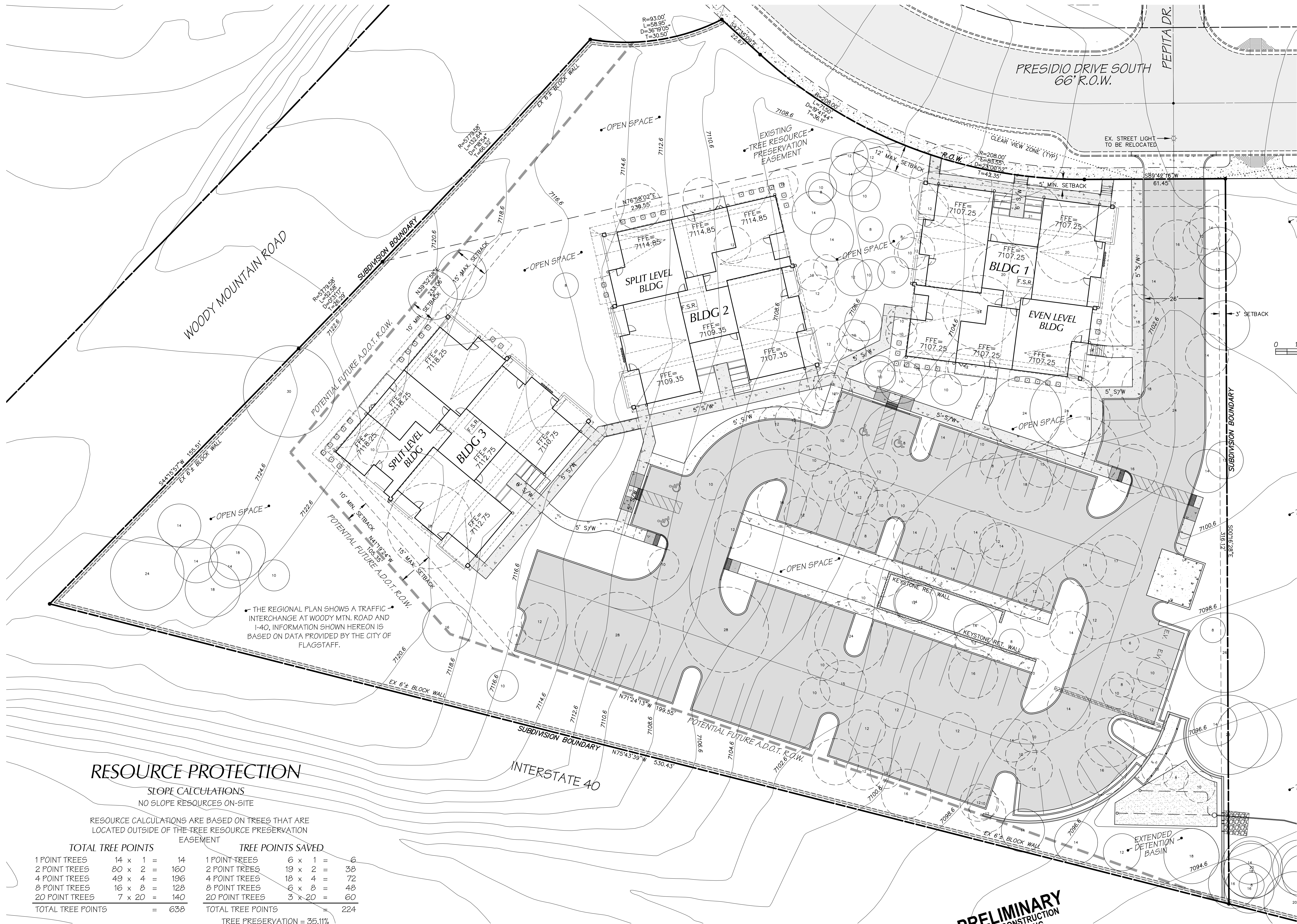
WATER & SEWER SERVICES

ALL NEW SEWER SERVICES SHALL BE 6" MINIMUM AND ALL
NEW WATER SERVICES SHALL BE 2".

ABBREVIATIONS
SS SEWER SERVICE
WS WATER SERVICE
FS FIRE SERVICE
FH FIRE HYDRANT
W WATER
S SEWER

PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING





RESOURCE PROTECTION

SLOPE CALCULATIONS
NO SLOPE RESOURCES ON-SITE

RESOURCE CALCULATIONS ARE BASED ON TREES THAT ARE
LOCATED OUTSIDE OF THE TREE RESOURCE PRESERVATION
EASEMENT

TOTAL TREE POINTS			TREE POINTS SAVED		
1 POINT TREES	14 x 1 =	14	1 POINT TREES	6 x 1 =	6
2 POINT TREES	80 x 2 =	160	2 POINT TREES	19 x 2 =	38
4 POINT TREES	49 x 4 =	196	4 POINT TREES	18 x 4 =	72
8 POINT TREES	16 x 8 =	128	8 POINT TREES	6 x 8 =	48
20 POINT TREES	7 x 20 =	140	20 POINT TREES	3 x 20 =	60
TOTAL TREE POINTS = 638			TOTAL TREE POINTS = 224		

TREE PRESERVATION = 35.11%

- TREE TO BE SAVED
- TREE TO BE REMOVED



PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING

SHEET NO. 4 OF 5

COF PROJECT # PZ-19-00204

EXISTING CONTOURS

THE EXISTING CONTOURS SHOWN HEREON ARE BASED ON CITY OF FLAGSTAFF G.I.S. DATA WHICH IS BASED ON THE NAVD 88 DATUM. THE PRESIDIO IN THE PINES APPROVED CONSTRUCTION DOCUMENTS ARE BASED ON THE NGVD 29 DATUM. THE CONTOURS SHOWN HAVE BEEN LABELED TO REFLECT THE 3.412' DIFFERENCE (BASED ON VERTICAL DATUM CONVERSION FACTORS FOR THE CLAY AVENUE WASH - FEMA FLOOD INSURANCE STUDY (DATED SEPTEMBER 3, 2010))

STORMWATER NOTE:

PER THE TECHNICAL DRAINAGE STUDY FOR PRESIDIO IN THE PINES, PREPARED BY "TRC-BV ENGINEERING NEVADA", DATED SEPTEMBER 3, 2004, AND THE CONSTRUCTION PHASING PLAN FOR PRESIDIO IN THE PINES, PREPARED BY MARTIN & MARTIN CIVIL ENGINEERS, DATED JUNE 6, 2006 THE PROJECT SITE HAD A DEVELOPED SCS RUNOFF CURVE NUMBER OF 82. THE ORIGINAL REPORT AND PHASING PLAN SHOWED THIS SITES DEVELOPED RUNOFF ENTERING THE ADOT RIGHT-OF-WAY AND DISCHARGING EASTERLY UN-DETAINED INTO THE UNNAMED EPHEMERAL WASH ALONG PRESIDIO'S EASTERLY BOUNDARY. THE ORIGINAL REPORT AND PHASING PLAN OVERALL BALANCED THE TOTAL DEVELOPED RUNOFF TO MATCH THE EXISTING UN-DEVELOPED CONDITION.

UNDER THE CURRENT UN-DEVELOPED CONDITION A SMALL PORTION OF THE SITE'S RUNOFF DRAINS EASTERLY ALONG THE I-40 RIGHT-OF-WAY WALL, INSIDE THE PRESIDIO'S BOUNDARY TO THE UNNAMED WASH AND A MAJORITY PORTION OF THE RUNOFF DRAINS TOWARDS THE DOWNSTREAM STREET SECTIONS AND DISCHARGES INTO THE EXISTING DETENTION BASIN NO. 4.

WE PROPOSE TO PROVIDE A DETENTION BASIN TO ADDRESS ANY INCREASE IN RUNOFF COMPARED TO THE ORIGINAL REPORT'S DEVELOPED RUNOFF CURVE NUMBER OF 82. THIS RUNOFF DISCHARGE WILL BE CHANNELIZED ACROSS TRACT "U" TO A SET OF NEW SIDEWALK SCUPPERS AT THE CURVE ON MISSION TIMBER CIRCLE.

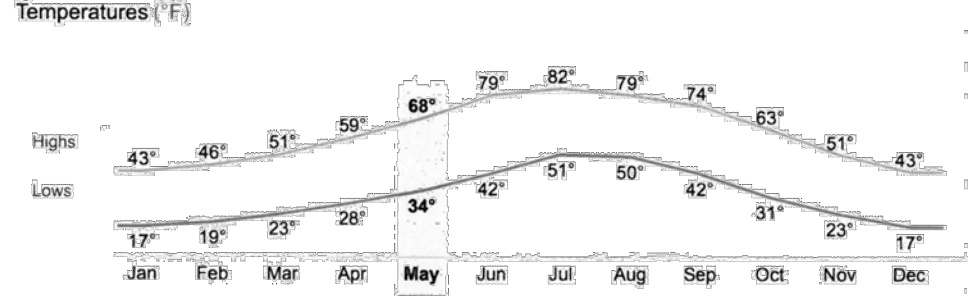
WEATHER AVERAGES CHART

Flagstaff, AZ

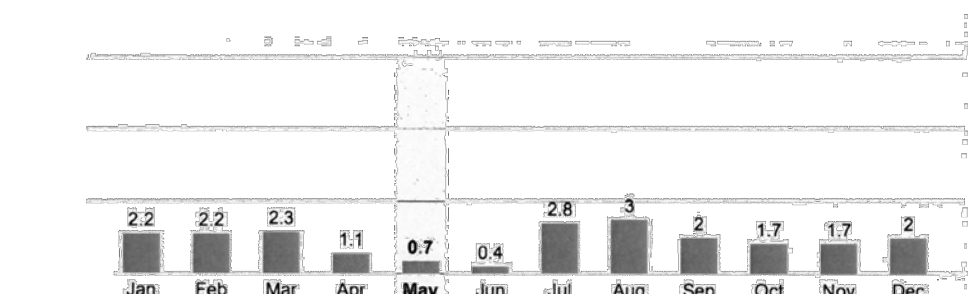
Weather averages

Overview

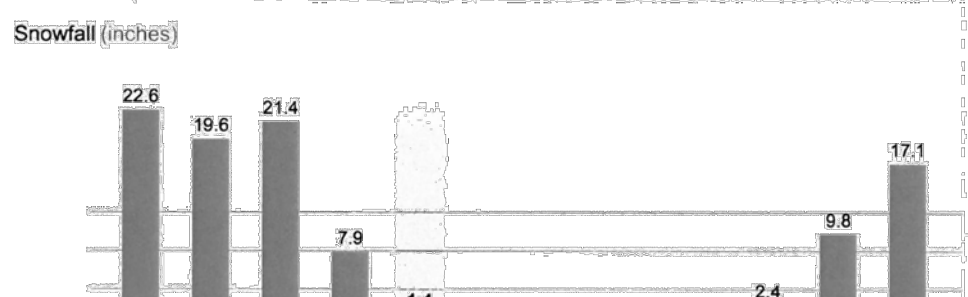
Temperatures (°F)



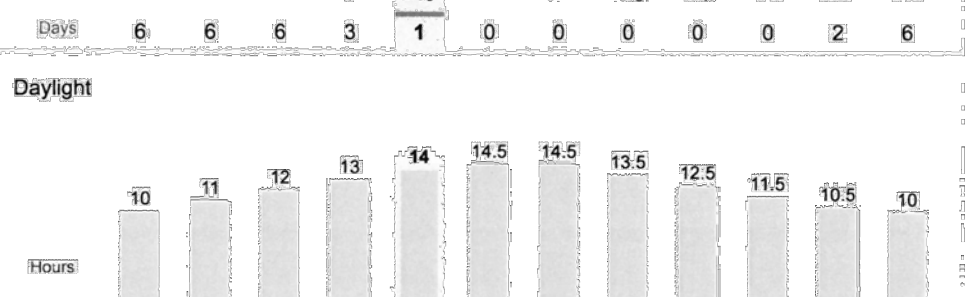
Rainfall (inches)



Snowfall (inches)



Daylight



Source: NOAA

Climate Flagstaff - Arizona and Weather averages Flagstaff

<https://www.usclimatedata.com/climate/flagstaff/arizona/united-states/usa20068>

Average temperature: 43.8°F. Average annual precipitation - rainfall: 23.14 inch.

Average temperature: 43.8°F. Annual high temperature: 60.8°F.

Average annual precipitation - rainfall: 23.14 inch. Annual low temperature: 26.8°F.

SLOPES

THERE ARE NO SLOPES OVER 17% LOCATED WITHIN THE PROJECT AREA.

PRECIPITATION PATTERN NOTE

THERE ARE TWO DISTINCT PERIODS OF PRECIPITATION IN FLAGSTAFF. THE FIRST OCCURS DURING THE WINTER MONTHS FROM NOVEMBER THROUGH APRIL WHEN THE JET STREAM CAN BE LOCATED OVER THE STATE ALLOWING PACIFIC STORM SYSTEMS TO MOVE OVERHEAD. THE OTHER DISTINCT PERIOD IS CLASSIFIED AS THE SUMMER RAINY SEASON, OR "SUMMER MONSOON". THE MONSOON RAINY PERIOD USUALLY OCCURS DURING JULY AND AUGUST WHEN MOST OF ARIZONA IS SUBJECTED TO WIDESPREAD THUNDERSTORM ACTIVITY. THESE THUNDERSTORMS ARE EXTREMELY VARIABLE IN INTENSITY AND LOCATION AND OCCUR MAINLY BETWEEN THE HOURS OF 11 a.m. AND 6 p.m.. SOME OF THESE STORMS CAN REACH SEVERE LEVELS, WITH LARGE HAIL, DAMAGING WINDS, AND OCCASIONALLY EVEN A TORNADO. (EXCERPT FROM THE CITY OF FLAGSTAFF SUSTAINABILITY PROGRAM RECOMMENDATIONS - CLIMATE SECTION - DATED OCTOBER 17, 2012)

SOIL PROPERTIES

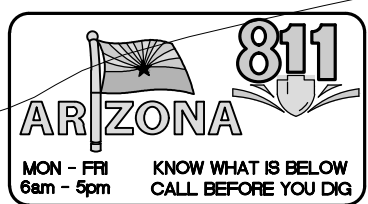
SOILS ARE BROLIAR STONY CLAY LOAM BASED ON INFORMATION PROVIDED BY THE U.S. DEPT. OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE - CUSTOM SOIL RESOURCE REPORT (DATED MARCH 26, 2020)

NOTE

THERE ARE NO PREHISTORIC OR HISTORIC SITES, STRUCTURES OR ROUTES LOCATED ON THE SUBJECT PARCELS.

SHEET NO. 5 OF 5

COF PROJECT # PZ-19-00204



PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING

RAINWATER HARVESTING REQUIREMENTS

USE ALL NATIVE/DROUGHT TOLERANT PLANTS IN COMPLIANCE WITH
COF LANDSCAPING STANDARDS & UTILIZE PASSIVE RAINWATER HARVESTING.
NOTES:
1. ROOF RUNOFF COLLECTED IN GUTTERS/DOWNSPOUTS
WILL PASSIVELY IRRIGATE AT-GRADE LANDSCAPING
2. ALL LANDSCAPING INSTALLED PER CITY OF FLAGSTAFF
LANDSCAPE STANDARDS SECTION 10-50.60

PROJECT INFORMATION

PROJECT NAME:	MIRAMONTE AT PRESIDIO IN THE PINES VI
PROJECT LOCATION:	2940 S. WOODY MOUNTAIN
APNs:	112-62-48
TOTAL SQUARE FOOTAGE:	120564 SQUARE FEET
TOTAL ACREAGE:	2.77 ACRES
CURRENT ZONING DISTRICT:	HC (P.R.D. UTILIZING THE T4N.2
REGIONAL PLAN DESIGNATE:	SUBURBAN
TOTAL NUMBER OF RESIDENTIAL:	39 UNITS
DENSITY:	14.09 UNITS / ACRE (10 MIN., 22
BUILDING TYPE:	APARTMENT
FRONTAGE TYPE:	FORECOURT
CURRENT USE:	VACANT
PROPOSED USE:	CONDOMINIUM
FLOOD PLAINS:	NONE
DEVELOPER:	MIRAMONTE HOMES
	102 S. MIKES PIKE ST.
	FLAGSTAFF, AZ 86001
	928-774-0028

TABULATIONS










STREET BUFFER:	930 LF/25 = 37 TREES 74 SHRUBS 74 GROUND COVERS REQUIRED
EXISTING TREES CREDITS:	49 TREES 98 SHRUBS 98 GROUND COVERS
PERIPHERAL BUFFER:	316 LF/25 = 13TREES 26 SHRUBS 26 GROUND COVERS REQUIRED
EXISTING TREES CREDITS:	13 TREES 26 SHRUBS 26 GROUND COVERS
PARKING AREAS:	74 / 8 * 2 = 19 TREES 38 GROUND COVERS
EXISTING TREES CREDITS:	7 TREES 14 SHRUBS 14
PLANTS REQUIRED:	5 TREES 10 SHRUBS 10 GROUND COVERS
BUILDING FOUNDATIONS (BUILDING 1):	367 LF/25 = 14.68 TREES 29.36 SHRUBS 15 TREES 30 SHRUBS 30 GROUND COVERS REQUIRED
EXISTING TREES CREDITS:	24 TREES 48 SHRUBS 48 GROUND COVERS
BUILDING FOUNDATIONS (BUILDING 2):	367 LF/25 = 14.68 TREES 29.36 SHRUBS 15 TREES 30 SHRUBS 30 GROUND COVERS REQUIRED
EXISTING TREES CREDITS:	26 TREES 52 SHRUBS 52 GROUND COVERS
BUILDING FOUNDATIONS (BUILDING 3):	367 LF/25 = 14.68 TREES 29.36 SHRUBS 15 TREES 30 SHRUBS 30 GROUND COVERS REQUIRED
EXISTING TREES CREDITS:	11 TREES 22 SHRUBS 22 GROUND COVERS
PLANTS REQUIRED:	4 TREES 8 SHRUBS 8 GROUND COVERS
TOTAL PLANTS REQUIRED: WITHOUT CREDITS	114 TREES 228 SHRUBS 228 GROUND COVERS REQUIRED
TOTAL PLANTS REQUIRED: WITH CREDITS	273
NEW TREES PROVIDED:	546 (2 PLANTED @ EACH TREE)
NEW SHRUBS PROVIDED:	546 (2 PLANTED @ EACH TREE)
NEW GROUND COVER PROVIDED:	546 (2 PLANTED @ EACH TREE)




LANDSCAPE NOTES

- ALL MAINTENANCE SHALL BE PERFORMED PER FLAGSTAFF CITY CODE SECTION #910.12.
 - PRUNING AND CLIPPING FOR PEDESTRIAN VEHICULAR ACCESS.
 - REPLACEMENT OF DEAD AND UNHEALTHY PLANTS WITH PLANTS OF SAME SIZE AND SPECIES.
 - REPLACEMENT OF ERODED OR WASHED OUT D.G. WITH SAME.
 - MAINTENANCE OF IRRIGATION SYSTEM.
- DECOMPOSED GRANITE (D.G.) SHALL BE INSTALLED TO A 2" DEPTH OVER ALL PLANTERS AND DISTURBED AREAS INCLUDING ADJACENT RIGHTS OF WAY.
- MATERIALS WITHIN SITE VISIBILITY TRIANGLES SHALL BE PLACED AND MAINTAINED SO AS NOT TO INTERFERE WITH A VISIBILTY PLANE DESCRIBED BY 2 HORIZONTAL LINES 30 INCHES AND 72 INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.

MIRAMONTE AT PRESIDIO
IN THE PINES VI
LANDSCAPE PLAN

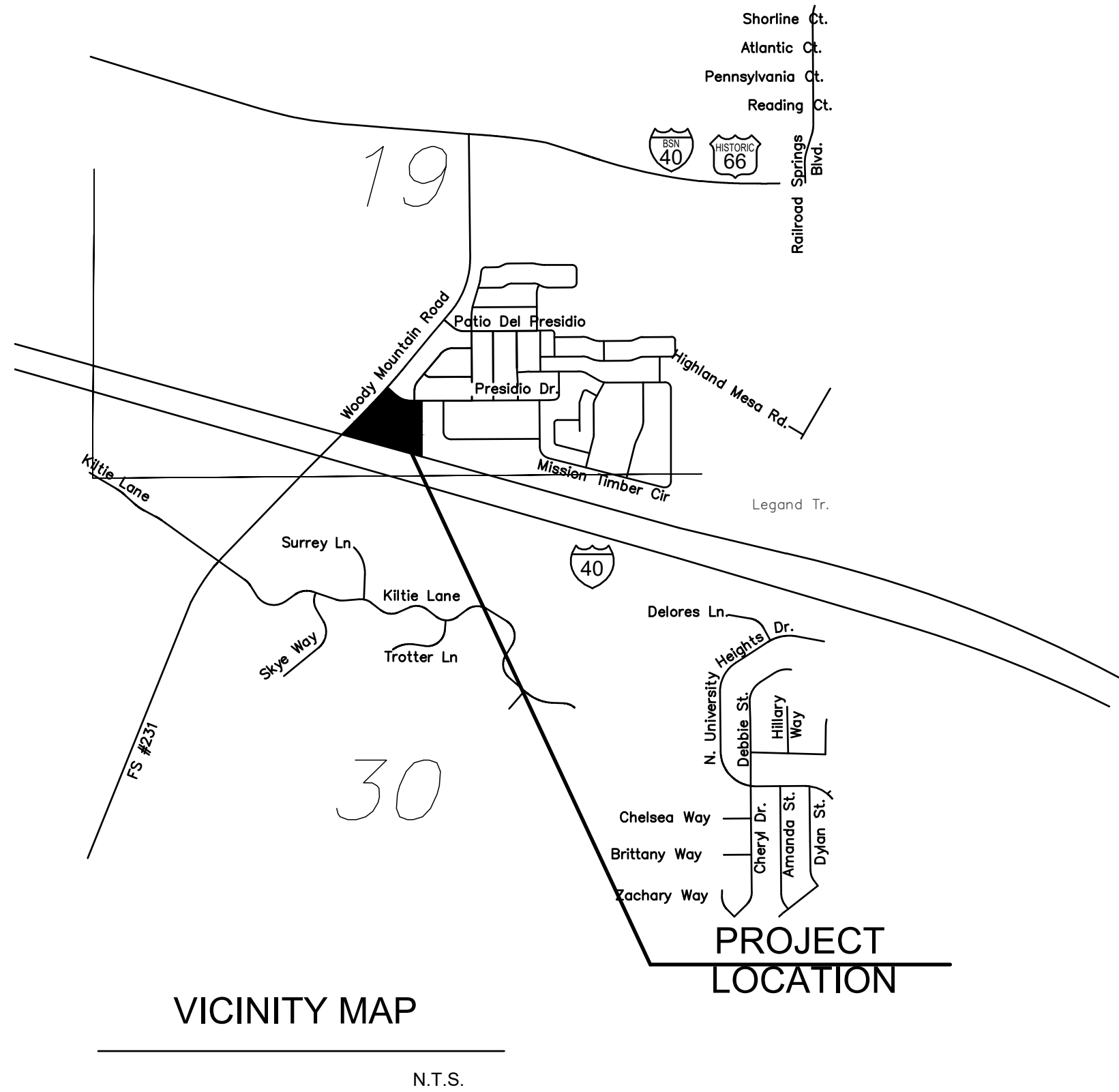
TRACT M, PRESIDIO IN THE PINES, CASE
LOCATED IN THE S1/2 OF SECTION 19
TOWNSHIP 21 NORTH, RANGE 7 EAST, G&S.R.M.
FLAGSTAFF, COCONINO COUNTY, ARIZONA

PLANT LIST					
KEY	BOTANICAL NAME	COMMON NAME	REMARKS	SIZE	QTY.
TREES					
	CERCIS OCCIDENTALIS	WESTERN REDBUD		6' HT.	5
	FRAXINUS VELUTINA	ARIZONA ASH	NATIVE	15 G.C.	4
	GLEDITSIA TRIACANTHUS 'INERMIS'	HONEY LOCUST		6' HT	7
	MALUS SPECIES	FLOWERING CRAB APPLE		6' HT	2
SHRUBS					
	BERBERIS FREMONTII	FREMONT BARBERRY	NATIVE	1 G.C.	16
	JUNIPERUS CHINENSIS	SEA GREEN JUNIPER		5 G.C.	8
	MAHONIA AQUIFOLIUM	OREGON GRAPE		5 G.C.	10
GROUND COVERS AND ACCENTS					
	ARABIS CAUCASICA	WALL ROCKCRESS		1 G.C.	16
	JUNIPERUS HORIZONTALIS	PROSTRATE JUNIPER		1 G.C.	20

IRRIGATION EQUIPMENT SCHEDULE			
SYMBOL	DESCRIPTION	SPECIFICATION	QUANTITY
	CONTROLLER	RAINBIRD ESP-SMT - WALL MOUNT 4 STA.	1
	BACKFLOW PREVEVTER	FEBCO 825Y 3/4"	1
	DRIP VALVE ASSEMBLY	RAINBIRD XCZ-075-PRF	2
	TREE EMITTER	RAINBIRD XB-10-6	18
	SHRUB EMITTER	RAINBIRD XB-10-6	70

IRRIGATION NOTES

- MAINLINE & VALVE LOCATIONS SHOWN FOR CLARITY LOCATE IN PLANTER AREAS AND WITHIN PROJECT BOUNDARY.
- ALL MAINLINE SHOWN IS CL200 PVC., ALL POLY SHOWN IS 1/2". INSTALL TRACER WIRE AT ALL MAINLINES.
- INSTALL ALL PIPE BENEATH WALKS AND PAVING WITHIN A SCH 40 PVC SLEEVE 2 SIZES LARGER THAN IRRIGATION PIPE (PVC AND POLYETHYLENE (PE)).
- SEE CIVIL DWG. FOR WATER SOURCE SIZE & LOCATION PROVIDE METER PER WATER CO. REQ'S.
- IRRIGATION DESIGN PRESSURE 30 PSI FOR SYSTEM. CONTRACTOR SHALL VERIFY EXIST. WATER PRESSURE AT VALVE & NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES. BETWEEN EXISTING & DESIGN PRESSURE PRIOR TO CONTINUING WORK.
- ELECTRIC POWER TO THE CONTROLLER IS SUPPLIED BY ELECTRICAL CONTRACTOR IN LOCATIONS SHOWN.
- COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER SOURCE.
- EACH CONTROLLER TO BE EQUIPPED WITH RAIN SHUT OFF SENSOR AND MOISTURE SENSOR.



	BLDG 1 FOUNDATION EXISTING TREE CREDITS	
CALIPER	CALCULATIONS	CREDITS
6"-10"	2 @ 1:1	2
10"-18"	8 @ 2:1	16
>18"	2 @ 3:1	6
	TOTAL	24

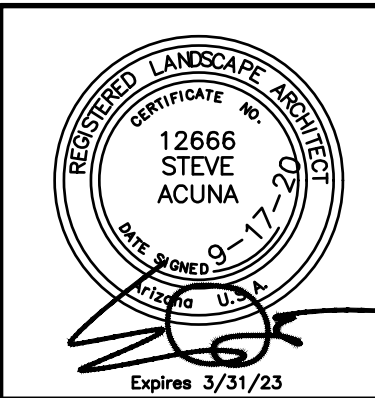
	BLDG 2 FOUNDATION EXISTING TREE CREDITS	
CALIPER	CALCULATIONS	CREDITS
6"-10"	2 @ 1:1	2
10"-18"	12 @ 2:1	24
>18"	0 @ 3:1	0
	TOTAL	26

	BLDG 3 FOUNDATION EXISTING TREE CREDITS	
CALIPER	CALCULATIONS	CREDITS
6"-10"	0 @ 1:1	0
10"-18"	4 @ 2:1	8
>18"	1 @ 3:1	3
	TOTAL	11

	STREET BUFFER EXISTING TREE CREDITS	
CALIPER	CALCULATIONS	CREDITS
6"-10"	1 @ 1:1	1
10"-18"	20 @ 2:1	40
>18"	3 @ 3:1	9
	TOTAL	49

	PERIPHERAL BUFFER EXISTING TREE CREDITS	
CALIPER	CALCULATIONS	CREDITS
6"-10"	0 @ 1:1	0
10"-18"	5 @ 2:1	10
>18"	1 @ 3:1	3
	TOTAL	13

	PARKING AREA EXISTING TREE CREDITS	
CALIPER	CALCULATIONS	CREDITS
6"-10"	1 @ 1:1	1
10"-18"	3 @ 2:1	6
>18"	0 @ 3:1	0
	TOTAL	7



MIRAMONTE AT PRESIDIO
IN THE PINES IV
LANDSCAPE PLAN COVER SHEET

Acuña Coffeen
Landscape Architects
3532 N. Avenida Albor Tucson, Arizona 85745
(520) 441-2754

HORIZ.	
VERT.	
F.B.	
DESIGN	SA
DRAWN	SA
CHKD.	SA
JOB NO.	

PLANT LIST		
KEY	BOTANICAL NAME	COMMON NAME
TREES		
	CERCIS OCCIDENTALIS	WESTERN REDBUD
	FRAXINUS VELUTINA	ARIZONA ASH
	GLEDITSIA TRIACANTHUS 'INERMIS'	HONEY LOCUST
	MALUS SPECIES	FLOWERING CRAB APPLE
SHRUBS		
	BERBERIS FREMONTII	FREMONT BARBERRY
	JUNIPERUS CHINENSIS	SEA GREEN JUNIPER
	MAHONIA AQUIFOLIUM	OREGON GRAPE
GROUND COVERS AND ACCENTS		
	ARABIS CAUCASICA	WALL ROCKCRESS
	JUNIPERUS HORIZONTALIS	PROSTRATE JUNIPER

	BLDG 1 FOUNDATION EXISTING TREE
	BLDG 2 FOUNDATION EXISTING TREE
	BLDG 3 FOUNDATION EXISTING TREE
	STREET BUFFER EXISTING TREE
	PERIPHERAL BUFFER EXISTING TREE
	PARKING AREA EXISTING TREE

SEE SHEET L1 FOR TREE CREDITS

EXISTING TREE LEGEND	
SYMBOL	DESCRIPTION
	EXISTING TREE TO BE REMOVED NUMBER WITHIN DENOTES CALIPER
	EXISTING TREE TO BE PRESERVED IN PLACE NUMBER WITHIN DENOTES CALIPER




LANDSCAPE PLAN

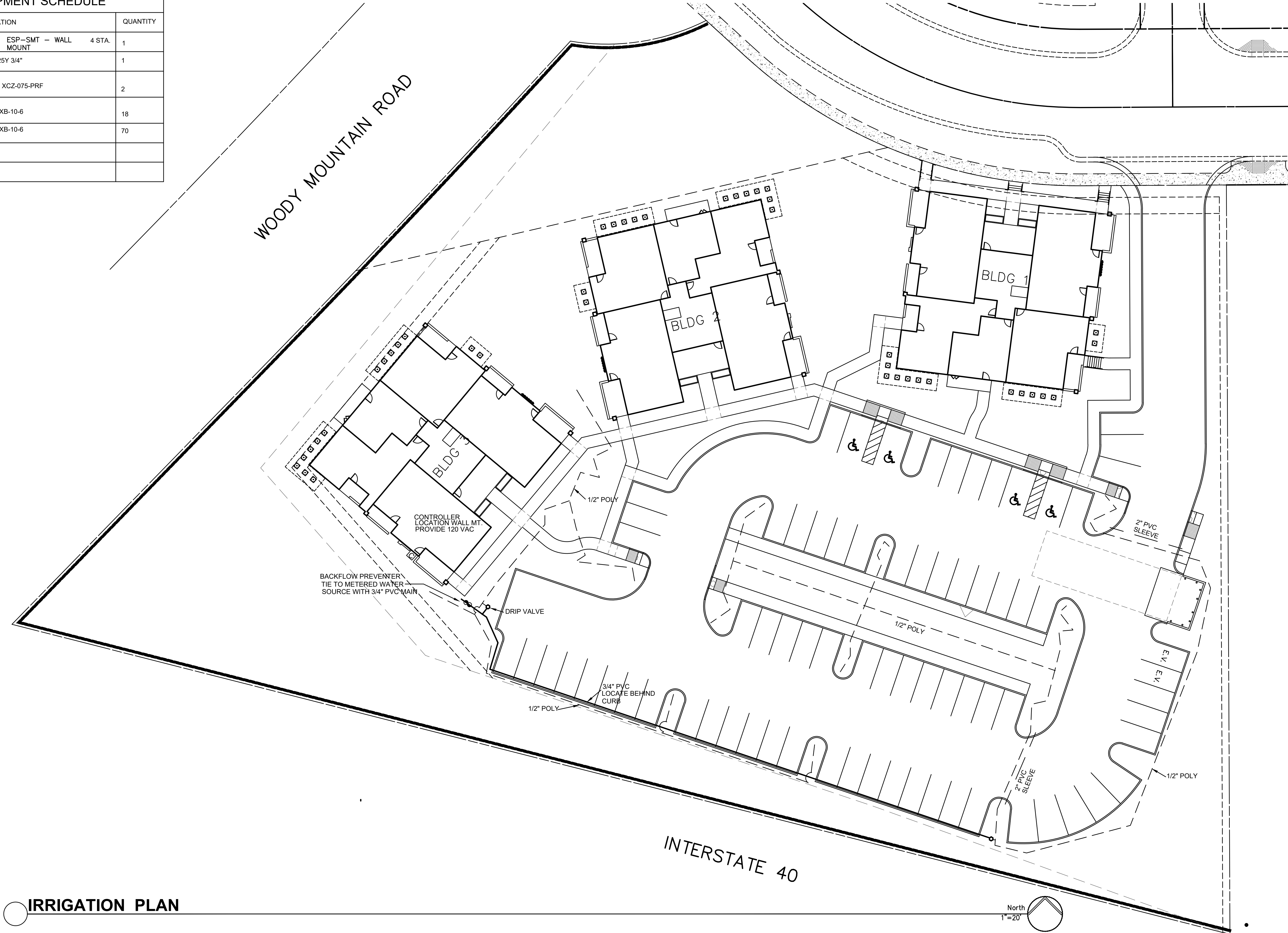


MIRAMONTE AT PRESIDIO
IN THE PINES IV
LANDSCAPE PLAN

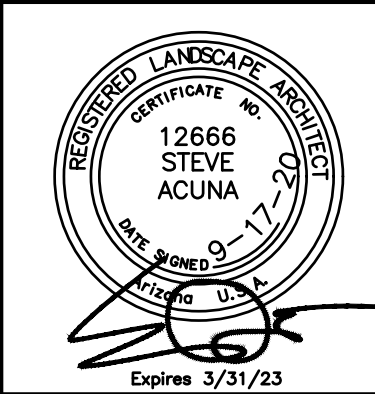
Acuña Coffeen
Landscape Architects
3532 N. Avenida Albor Tucson, Arizona 85745
(520) 441-2754

HORIZ.	
VERT.	
F.B.	
DESIGN	SA
DRAWN	SA
CHKD.	SA
JOB NO.	

IRRIGATION EQUIPMENT SCHEDULE			
SYMBOL	DESCRIPTION	SPECIFICATION	QUANTITY
	CONTROLLER	RAINBIRD ESP-SMT - WALL MOUNT 4 STA.	1
	BACKFLOW PREVEVTER	FEBCO 825Y 3/4"	1
	DRIP VALVE ASSEMBLY	RAINBIRD XCZ-075-PRF	2
	TREE EMITTER	RAINBIRD XB-10-6	18
	SHRUB EMITTER	RAINBIRD XB-10-6	70



IRRIGATION PLAN

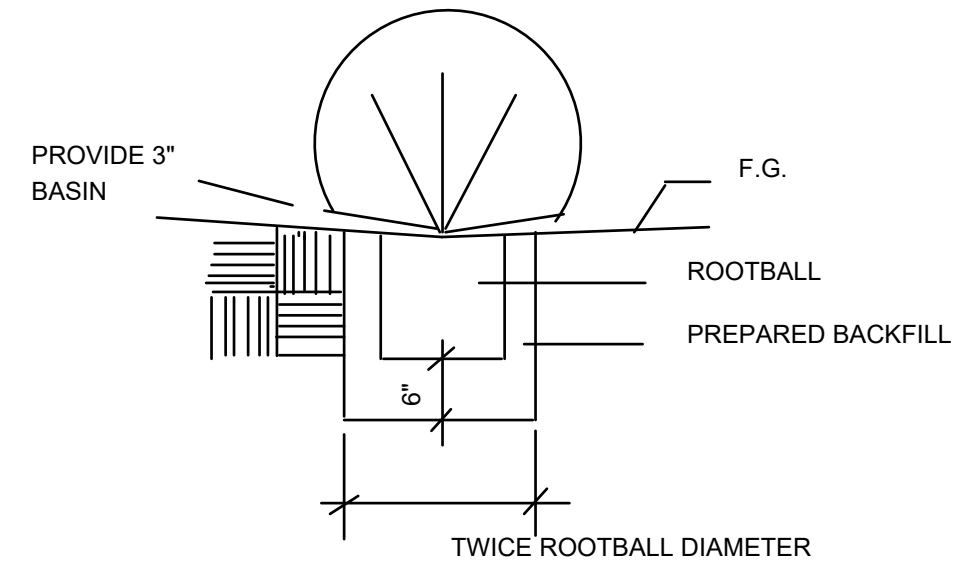


MIRAMONTE AT PRESIDIO
IN THE PINES IV
IRRIGATION PLAN

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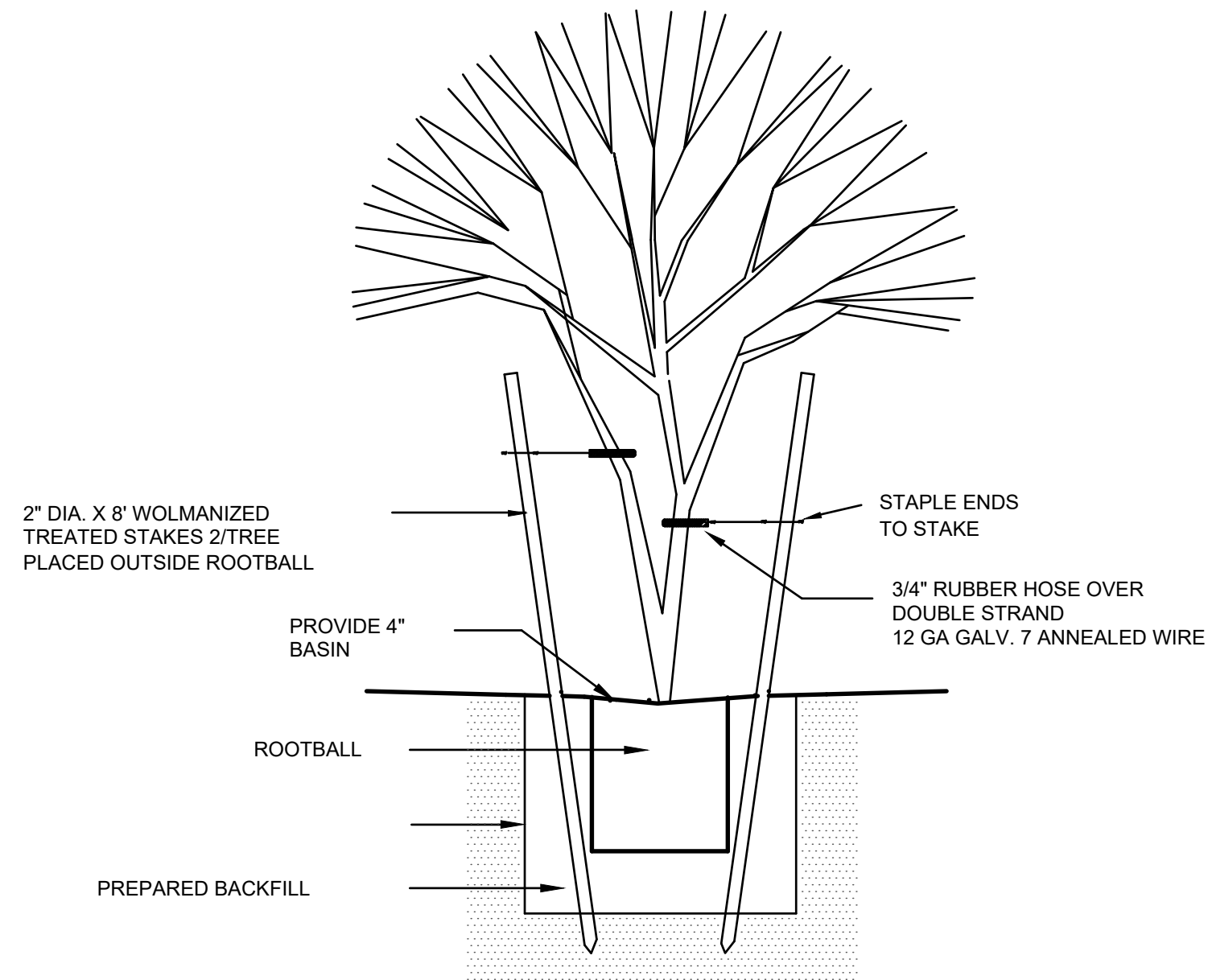
L3 of 4

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VERT.	
F.B.	
DESIGN	SA
DRAWN	SA
CHKD.	SA
JOB NO.	



1 SHRUB PLANTING DETAIL

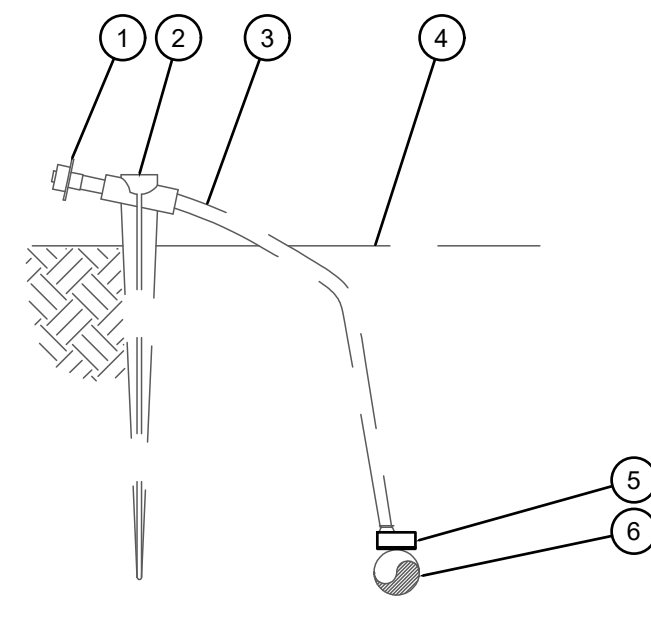
NTS



* NO STAKES FOR BOXED TREES SIZES

2 TREE PLANTING DETAIL

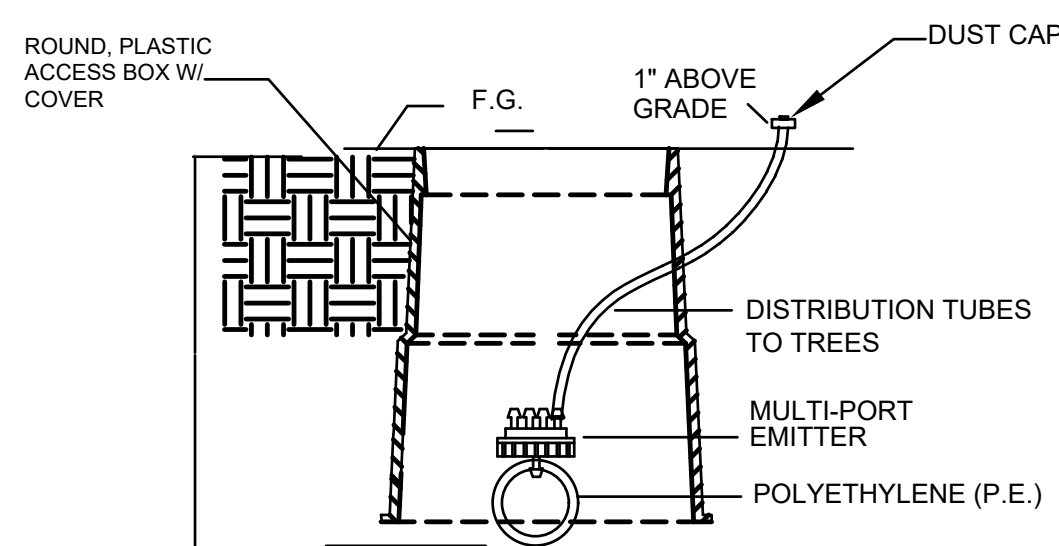
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3 SINGLE OUTLET EMITTER DETAIL

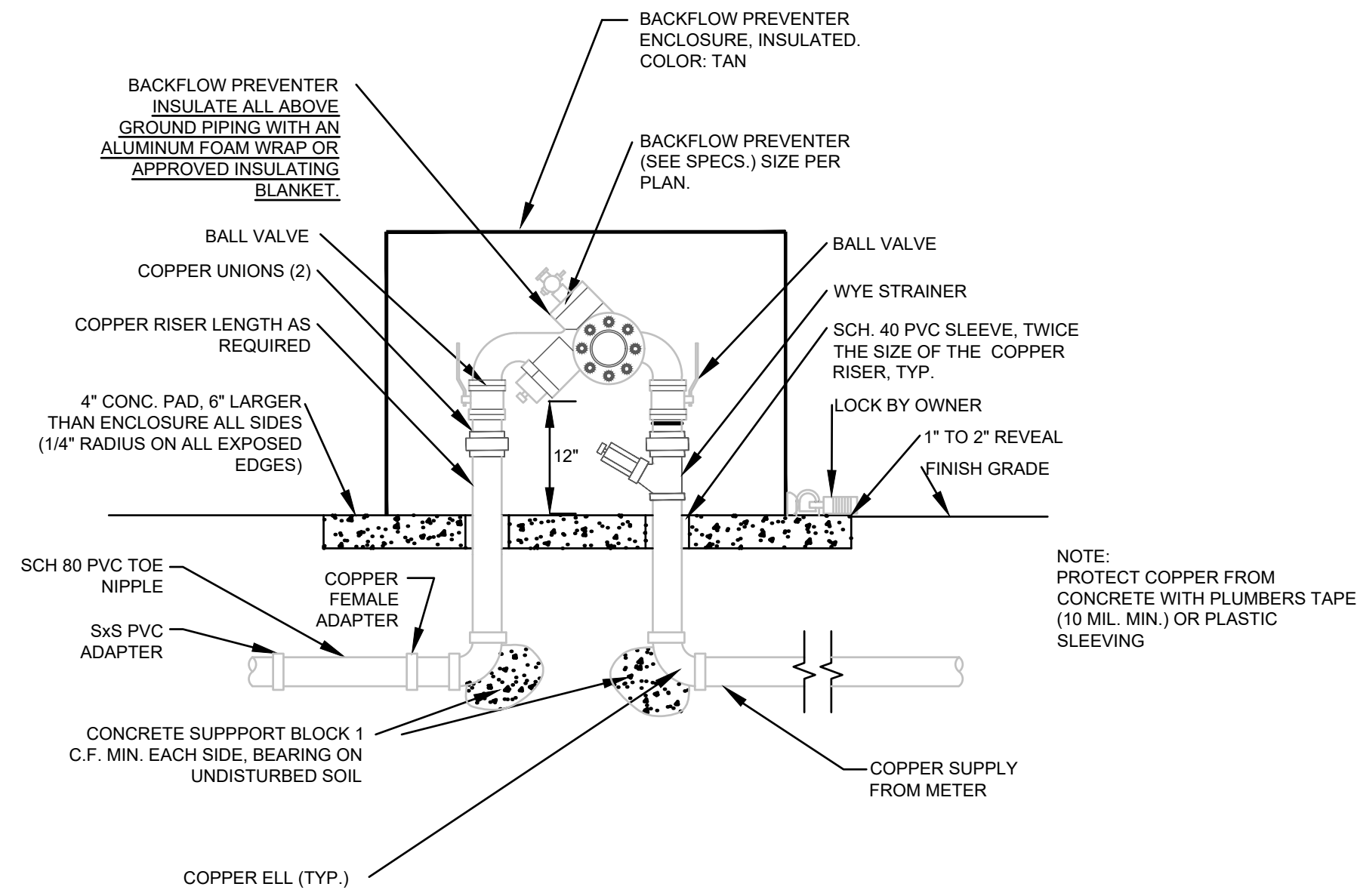
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NOTES:
1. USE RAIN BIRD XERIMAN TOOL XM-TOOL TO INSERT EMITTER DIRECTLY INTO 1/2\"/>



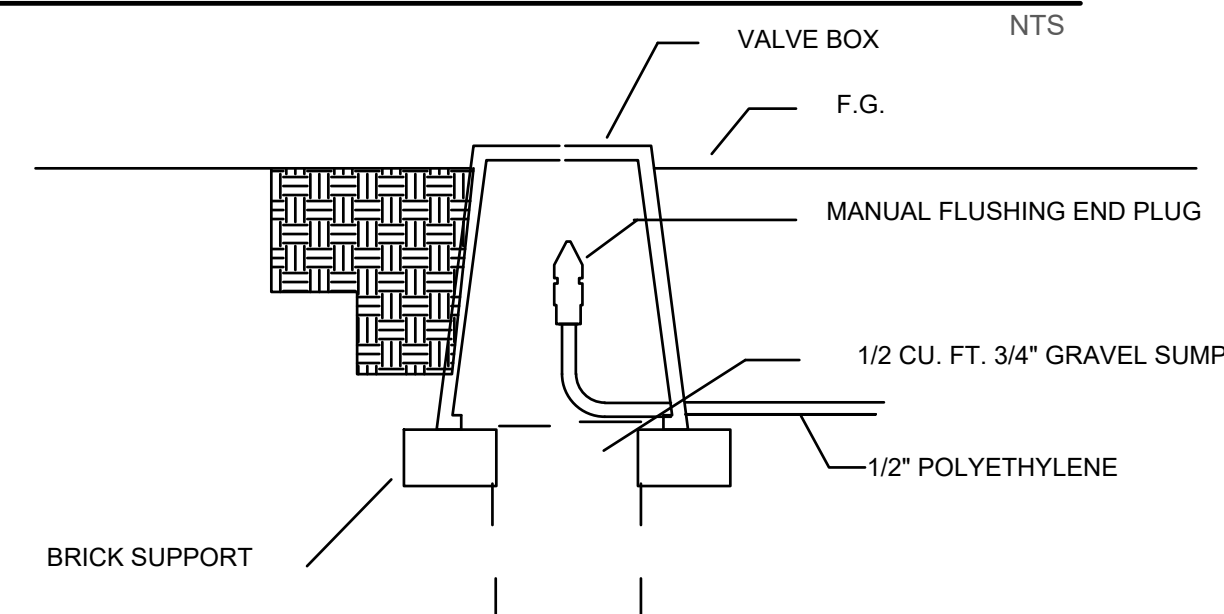
3A MULTI OUTLET EMITTER DETAIL

NTS



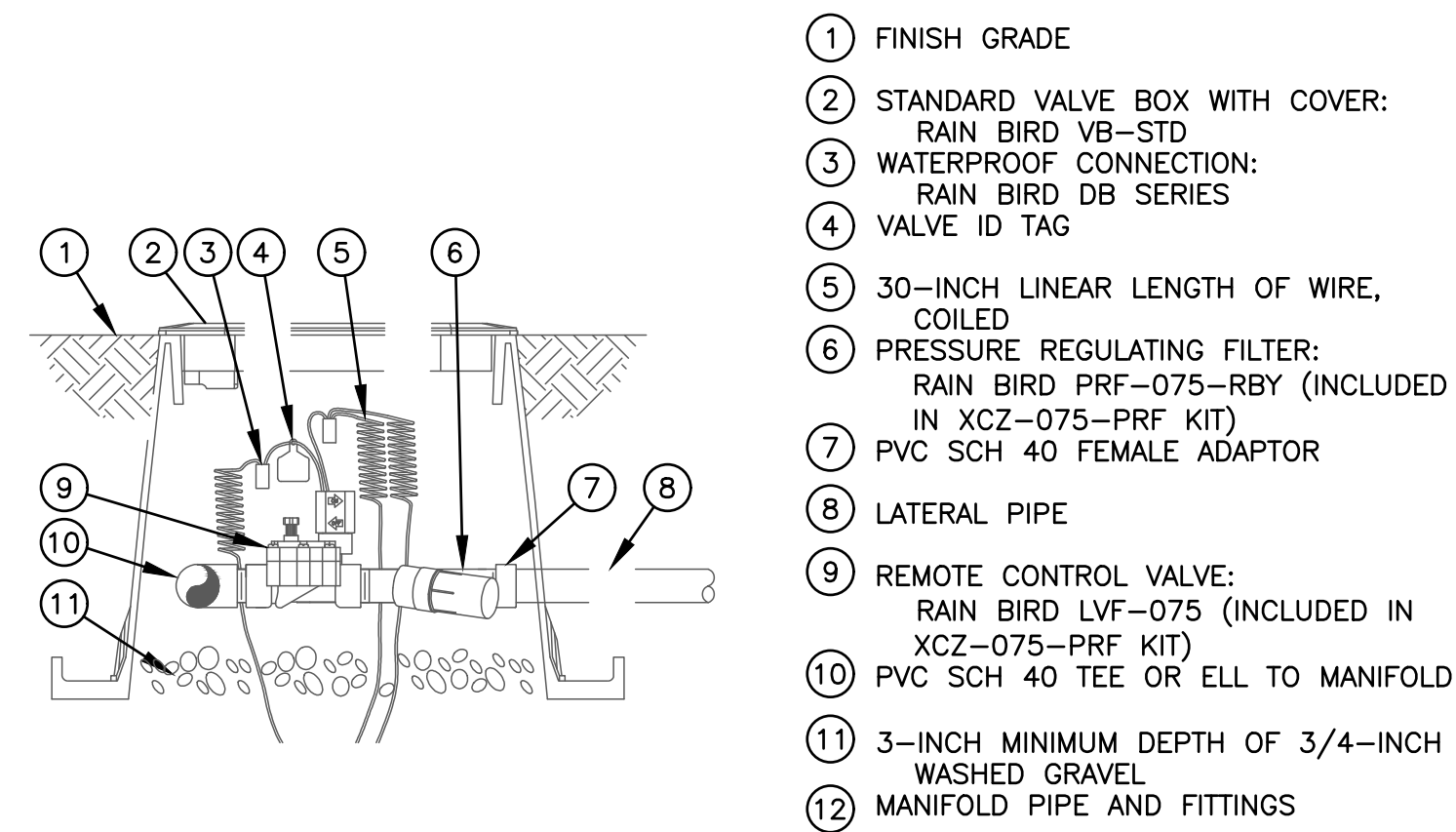
4 BACKFLOW PREVENTER DETAIL

NOTE:
PROTECT COPPER FROM CONCRETE WITH PLUMBERS TAPE (10 MIL. MIN.) OR PLASTIC SLEEVING



5 HOSE END CAP DETAIL

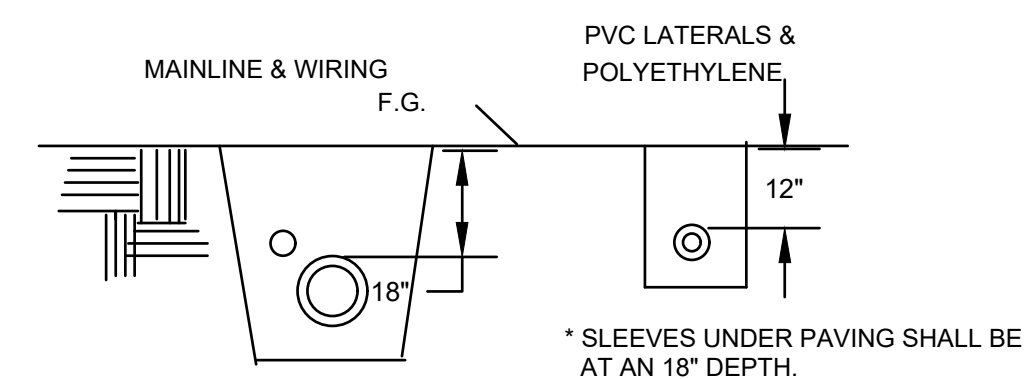
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6 DRIP VALVE ASSEMBLY

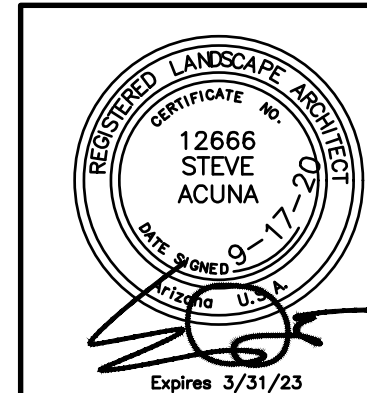
USE NON PRESSURE REGULATING FILTER WHERE REMOTE PRESSURE REGULATORS ARE USED.

NTS



7 TRENCHING DETAIL

NTS



MIRAMONTE AT PRESIDIO
IN THE PINES IV
LANDSCAPE DETAILS

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Landscape Architects
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(520) 441-2754

HORIZ.	
VERT.	
F.B.	
DESIGN	SA
DRAWN	SA
CHKD.	SA
JOB NO.	

L4 of 4



E1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



E6 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

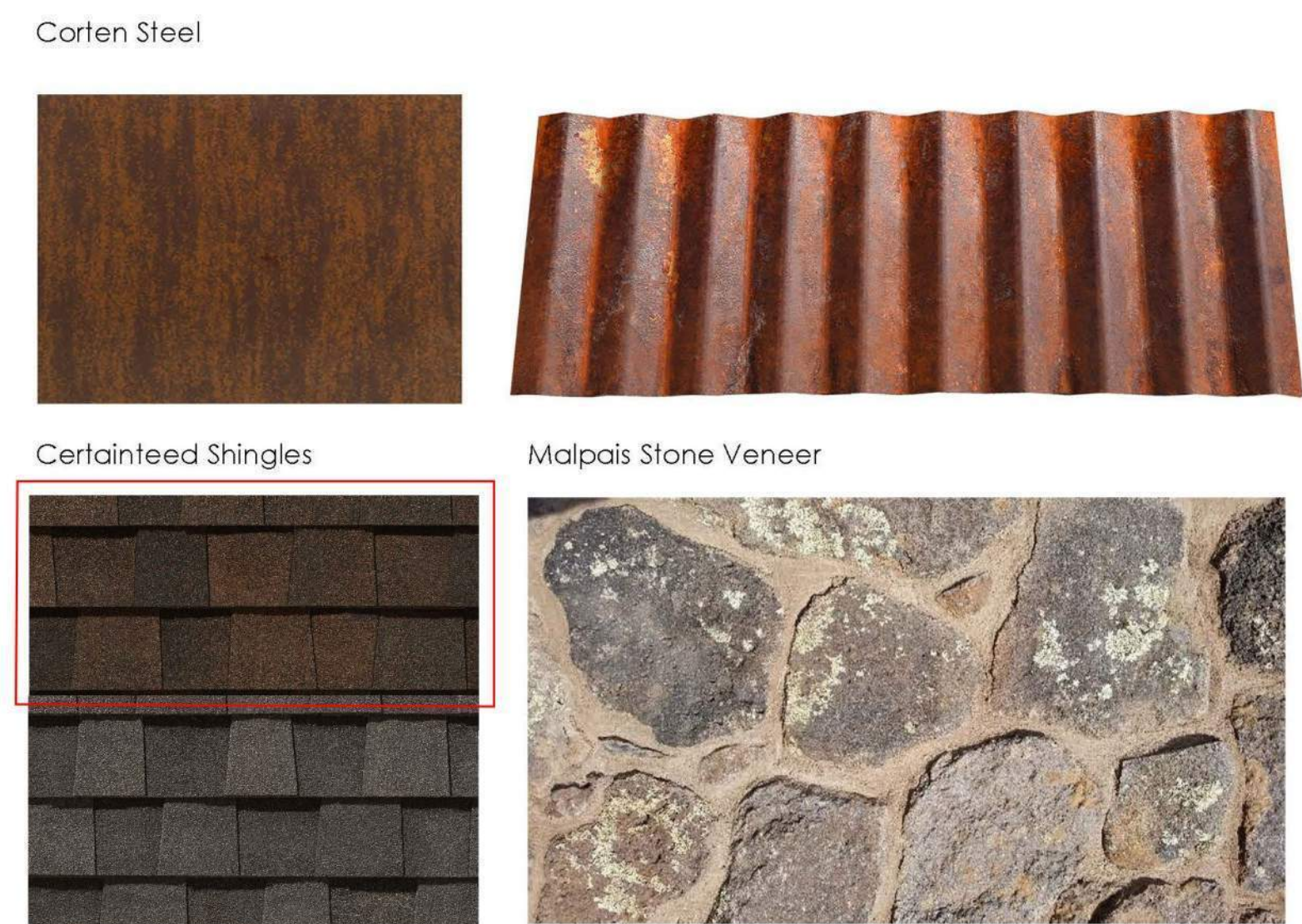


A1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



A6 EAST ELEVATION
SCALE: 1/8" = 1'-0"

Scheme 1	Scheme 2	Scheme 3	Scheme 4	Scheme 5	Scheme 6
Rookwood Brown	Weathered Shingle	Weathered Shingle	Rookwood Medium Brown	Sycamore Tan	Downing Earth
Renwick Olive	Roycroft Brass	Rookwood Brown	Downing Earth	Roycroft Pewter	Roycroft Bronze Green
Rookwood Dark Brown	Rookwood Dark Brown	Rookwood Dark Brown	Rookwood Dark Brown	Rookwood Dark Brown	Rookwood Dark Brown
Aurora Brown	Aurora Brown	Aurora Brown	Aurora Brown	Aurora Brown	Aurora Brown



REVISIONS/SUBMISSIONS	DATE
No	



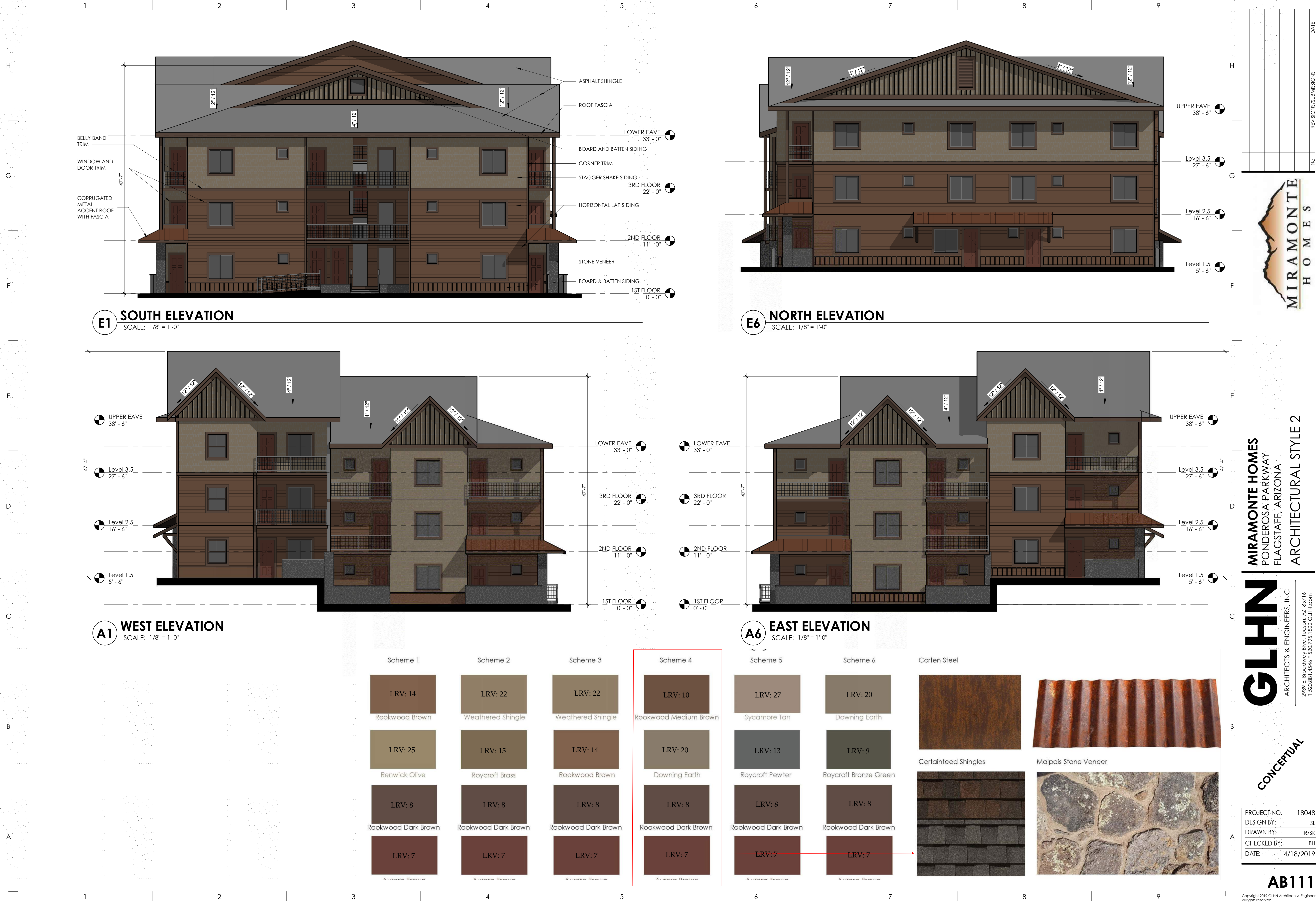
MIRAMONTE HOMES
PONDEROSA PARKWAY
FLAGSTAFF, ARIZONA
ARCHITECTURAL STYLE 1

GLHN
ARCHITECTS & ENGINEERS, INC.
2939 E. Broadway Blvd. Tucson, AZ 85716
T 520.881.4546 F 520.795.1822 GLHN.com

CONCEPTUAL

PROJECT NO.	18048
DESIGN BY:	SL
DRAWN BY:	TR/SK
CHECKED BY:	BH
DATE:	5/16/2019

AB113



E1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

E6 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

A1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

A6 EAST ELEVATION
SCALE: 1/8" = 1'-0"

Scheme 1	Scheme 2	Scheme 3	Scheme 4	Scheme 5	Scheme 6	Corten Steel	
LRV: 14 Rookwood Brown	LRV: 22 Weathered Shingle	LRV: 22 Weathered Shingle	LRV: 10 Rookwood Medium Brown	LRV: 27 Sycamore Tan	LRV: 20 Downing Earth		
LRV: 25 Renwick Olive	LRV: 15 Roycroft Brass	LRV: 14 Rookwood Brown	LRV: 20 Downing Earth	LRV: 13 Roycroft Pewter	LRV: 9 Roycroft Bronze Green		
LRV: 8 Rookwood Dark Brown	LRV: 8 Rookwood Dark Brown	LRV: 8 Rookwood Dark Brown	LRV: 8 Rookwood Dark Brown	LRV: 8 Rookwood Dark Brown	LRV: 8 Rookwood Dark Brown		
LRV: 7 Aurora Brown	LRV: 7 Aurora Brown	LRV: 7 Aurora Brown	LRV: 7 Aurora Brown	LRV: 7 Aurora Brown	LRV: 7 Aurora Brown		

Certainfeed Shingles

Malpais Stone Veneer

MIRAMONTE HOMES

MIRAMONTE HOMES
PONDEROSA PARKWAY
FLAGSTAFF, ARIZONA
ARCHITECTURAL STYLE 2

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ARCHITECTS & ENGINEERS, INC.
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CONCEPTUAL

PROJECT NO. 18048
DESIGN BY: SL
DRAWN BY: TR/SK
CHECKED BY: BH
DATE: 4/18/2019

AB111

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E1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



E6 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



A1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



A6 EAST ELEVATION
SCALE: 1/8" = 1'-0"

Scheme 1



Rookwood Brown



Renwick Olive

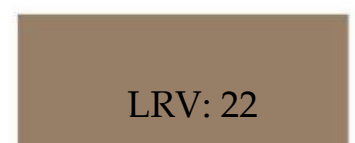


Rookwood Dark Brown



Aurora Brown

Scheme 2



Weathered Shingle



Roycroft Brass

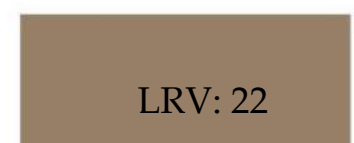


Rookwood Dark Brown



Aurora Brown

Scheme 3



Weathered Shingle



Rookwood Brown



Rookwood Dark Brown



Aurora Brown

Scheme 4



Rookwood Medium Brown



Downing Earth

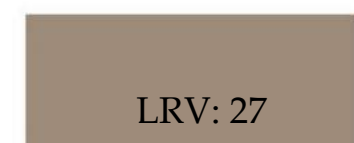


Rookwood Dark Brown



Aurora Brown

Scheme 5



Sycamore Tan



Roycroft Pewter



Rookwood Dark Brown



Aurora Brown

Scheme 6



Downing Earth



Roycroft Bronze Green



Rookwood Dark Brown



Aurora Brown

Corten Steel



Certainteed Shingles



Malpais Stone Veneer



REVISIONS/SUBMISSIONS	DATE
No	

MIRAMONTE
H O M E S

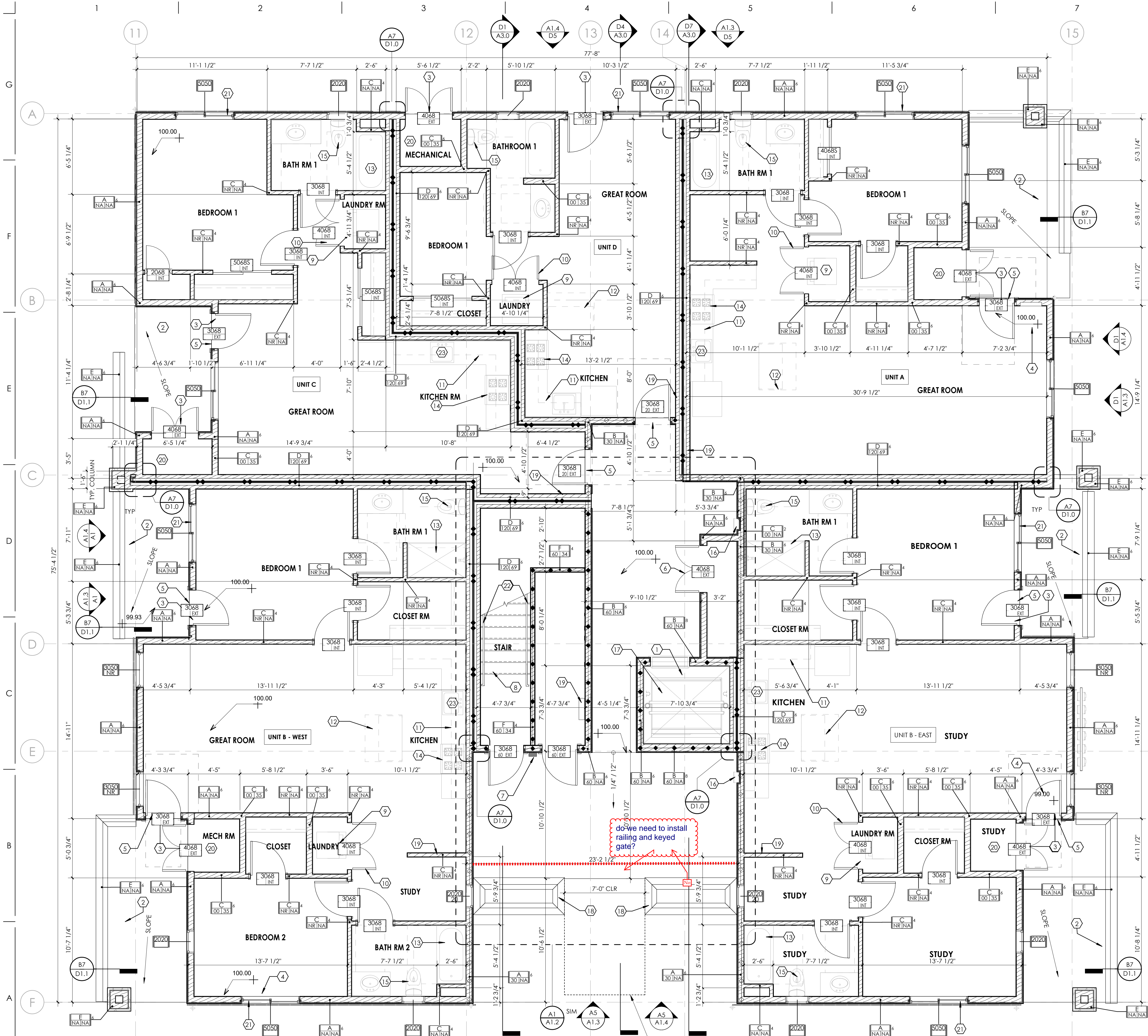
MIRAMONTE HOMES
PONDEROSA PARKWAY
FLAGSTAFF, ARIZONA
ARCHITECTURAL STYLE 2

GLHN
ARCHITECTS & ENGINEERS, INC.
2939 E. Broadway Blvd. Tucson, AZ 85716
T 520.881.4546 F 520.795.1822 GLHN.com

CONCEPTUAL

PROJECT NO.	18048.00
DESIGN BY:	SL
DRAWN BY:	TR/SK
CHECKED BY:	BH
DATE:	2019/05/16

AB114



A1 EVEN-LEVEL BUILDINGS - 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

1:20 MAX. SLOPE, AS REQUIRED,
COORDINATE WITH CIVIL SITE PLAN

EVEN-LEVEL BUILDINGS

GENERAL NOTES:

- WHERE ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS, OR OTHER ITEMS ARE RECESSED IN FIRE RATED FIXTURES, WALLS OR PARTITIONS, LINE THE BACK AND SIDES OF THE WALL AND RECESS WITH GYPSUM WALL BOARD TO MAINTAIN FIRE-RESISTIVE CONSTRUCTION OF THE WALL.
- THE CONTRACTOR SHALL COORDINATE ALL TRADES FOR ALL OPENINGS THROUGH NEW OR EXISTING CONSTRUCTION FOR DUCTS, PIPES, CONDUITS, CABINETS, AND EQUIPMENT. VERIFY SIZES, AND LOCATIONS.
- USE APPROVED FIRESTOP SLEEVES, AND SEALANTS WHERE PIPES, DUCTS, CONDUITS, OR OTHER SYSTEMS PENETRATE FIRE OR SMOKE-RESISTIVE WALLS.
- PACK INSULATION AROUND PIPES, CONDUITS, DUCTS, OR OTHER EQUIPMENT THAT PENETRATE NON-RATED PARTITIONS.** ← Spray Insulation
- ALL TRADES WORKING CONCURRENTLY TOGETHER WHICH ARE INTERDEPENDENT INSTALLATIONS SHALL COORDINATE AND SEQUENCE THEIR INSTALLATIONS TO FACILITATE THE TIMELY INSTALLATION OF BOTH TRADES.
- ALL TRADES SHALL REPORT DEFECTIVE CONDITIONS OF OTHER WORK INTENDED TO SUPPORT THEIR INSTALLATION 5 WORKING DAYS PRIOR TO THEIR SCHEDULED START DATE.
- PER IBC 2018, 703.7 FIRE BARRIERS, SMOKE BARRIERS, AND SMOKE PARTITIONS SHALL BE PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE. SEE GENERAL NOTES (FIRE ASSEMBLIES) HEREIN FOR ADDITIONAL INFO.

KEYNOTE LEGEND

1	ELEVATOR PIT TO BE 4' MIN. BELOW FFE OF FIRST LEVEL CORE
2	PATIO TO HAVE A MINIMUM 2% SLOPE DOWN AWAY FROM BUILDING AND DRAIN TO PATIO WALL END OPENING. SEE CIVIL DRAWINGS
3	DEPRESS STEM 4" AND POUR SLAB OVER, SEE DETAIL B5/D1.1 AND STRUCTURAL DRAWINGS
4	REFER TO CIVIL DRAWINGS FOR FINISHED FLOOR ELEVATIONS
5	THRESHOLDS AT DOORWAYS: BASE DESIGN (TYPE B UNITS) SHALL BE 4" MAX IN HEIGHT WHERE EXTERIOR DECK, PATIO OR BALCONY SURFACE MATERIALS ARE IMPERVIOUS (2017 ICC A117.1 SECTION 1104.4.2), DESIGN OPTION (TYPE A UNITS) SHALL BE 1/2" MAX IN HEIGHT, RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY WITH SECTION 302 AND 303 OF 2017 ICC A117.1.
6	LETTERS 4" TALL ON EXTERIOR OF DOOR STATING "FIRE RISER ROOM", IN CONTRASTING COLOR FROM BACKGROUND.
7	KNOX LOCK BOX PER LOCAL FIRE DEPARTMENT. LOCATION APPROXIMATE. COORDINATE WITH FIRE DEPARTMENT.
8	STAIRS: MAX RISER HEIGHT SHALL BE 7". MIN TREAD DEPTH SHALL BE 11" (2018 IBC SECTION 1011.5.2) MIN HEAD ROOM IN ALL PARTS OF THE STAIRS SHALL NOT BE LESS THAN 6'-8" (2018 IBC 1011.3) THE LEADING 2" OF THE TREAD SHALL HAVE VISUAL CONTRAST OF DARK-ON-LIGHT OR LIGHT-ON-DARK FROM THE REMAINDER OF THE TREAD.
9	STACKABLE WASHER AND DRYER FOR BASE DESIGN (TYPE B); 2 IN 1 WASHER/ DRYER FOR DESIGN OPTION (TYPE A). FRONT LOAD PER 2017 ICC A117.1 SECTION 611. DRYER WITH METAL VENT DUCT WITH SMOOTH INTERIOR SURFACES, EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER, SEE MECH DRAWINGS. WASHING MACHINE WITH PRE-FABRICATED GALVANIZED METAL PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR. DRAIN TO EXTERIOR.
10	UNDERCUT OR PROVIDE 10"x10" VENT AT BOTTOM HALF OF LAUNDRY DOOR
11	UPPER CABINETS, WALL MOUNTED ABOVE, 12" DEEP TYPICAL. 36" UPPER AND 42" UPPER OPTIONAL.
12	OPTIONAL KITCHEN ISLAND, PROVIDE 40" MIN CLEARANCE ALL THE WAY AROUND, INCLUDING COUNTER AND OTHER APPLIANCES.
13	SHOWER OR TUB/ SHOWER COMBO, PROVIDE A SMOOTH HARD, NON-ABSORBENT SURFACE OVER MOISTURE RESISTANT GYPSUM BOARD TO HEIGHT OF MIN 70" ABOVE THE DRAIN INLET. LOCATE SHOWER HEAD AT +84" AFF. PROVIDE SOLID BLOCKING FOR FUTURE GRAB BARS, SEE A3.3 AND G1.0 FOR CLEARANCE AND HEIGHTS. COORD. SHORT WALL DIM. W/ INSTALLED PRE-FAB UNIT. EXTEND 3" BEYOND UNIT.
14	COOKING APPLIANCES: 30" RANGE WITH 30" MICRO/ HOOD, LIGHT, EXHAUST FAN ABOVE. RANGE VENT TO BE VENTED TO EXTERIOR PER MECHANICAL PLAN. ALL KITCHEN APPLIANCES IN BASE DESIGN (TYPE B UNITS) TO COMPLY WITH 2017 ICC A117.1 SECTION 1104.12.2; IN DESIGN OPTION (TYPE A UNITS) TO COMPLY WITH 2017 ICC A117.1 SECTION 1103.12.5
15	TOILET WITH SOLID BLOCKING FOR FUTURE GRAB BARS. SEE A3.3 AND G1.0 FOR CLEARANCE AND HEIGHTS. BASE DESIGN (TYPE B) SHOWN. SEE A3.3 FOR DESIGN OPTION (TYPE A).
16	SEMI-RECESSED FIRE RATED FIRE EXTINGUISHER CABINET
17	ELEVATOR SHAFT. CONFIRM CLEAR DIMENSION WITH ELEVATOR SHOP DRAWINGS
18	OWNER PROVIDED AND INSTALLED MANUFACTURED PLANTERS
19	ELECTRICAL PANEL, SEE ELECTRICAL DRAWINGS
20	MECHANICAL ROOM WITH FURNACE AND INSTAHOT FOR INDIVIDUAL DWELLING UNIT. SEE MECH AND PLUMBING DRAWINGS
21	EMERGENCY ESCAPE AND RESCUE OPENING (EVERY SLEEPING ROOM), WINDOW WITH SILL HEIGHT 3'-0" (NOT MORE THAN 44"). OPERABLE OPENING NOT LESS THAN 5.7 SF (5 SF AT LEVEL 1) WITH NET CLEAR HEIGHT NOT LESS THAN 24", NET CLEAR WIDTH NOT LESS THAN 20" (2018 IRC SECTION R310.1, R310.2)
22	HANDRAILS ON EACH SIDE WALL AT STAIRCASE (2018 IBC SECTION 1011.1.1) HANDRAIL DESIGN TO COMPLY WITH 2018 IBC SECTION 101.4. SEE DETAIL A1/D1.3.4
23	KITCHEN SINK AND WORK SURFACE WIDTH AND HEIGHT REQUIREMENT FOR DESIGN OPTION (TYPE A UNITS) SEE G1.0 (2017 ICC A117.1 FIG 1103.12.3 AND 1103.12.4)

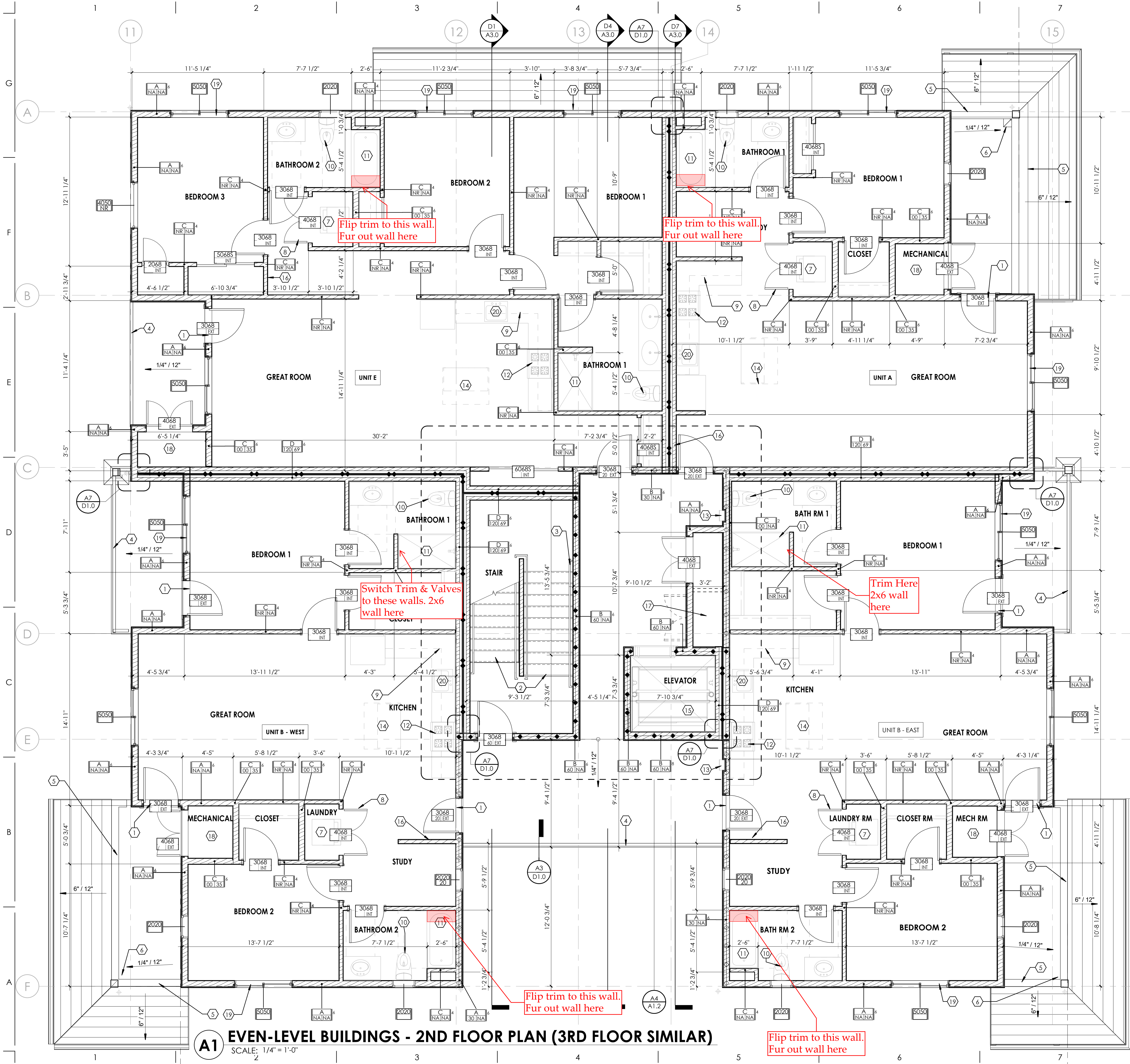
MIRAMONTE
HOMES

MIRAMONTE HOMES
PONDEROSA PARKWAY

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2939 E. BROADWAY BLVD. TUCSON, AZ 85714
T: 520.581.4546 F: 520.795.1822 GLHN.COM

PROJECT NO.: 18048.00
DESIGN BY: SL
DRAWN BY: TR
CHECKED BY: CK
DATE: 2020/01/24

A1.0
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A1 EVEN-LEVEL BUILDINGS - 2ND FLOOR PLAN (3RD FLOOR SIMILAR)
SCALE: 1/4" = 1'-0"

EVEN-LEVEL BUILDINGS

- GENERAL NOTES:**
- WHERE ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS, OR OTHER ITEMS ARE RECESSED IN FIRE RATED FIXTURES, WALLS OR PARTITIONS, LINE THE BACK AND SIDES OF THE WALL AND RECESS WITH GYPSUM WALL BOARD TO MAINTAIN FIRE-RESISTIVE CONSTRUCTION OF THE WALL.
 - THE CONTRACTOR SHALL COORDINATE ALL TRADES FOR ALL OPENINGS THROUGH NEW OR EXISTING CONSTRUCTION FOR DUCTS, PIPES, CONDUITS, CABINETS, AND EQUIPMENT. VERIFY SIZES, AND LOCATIONS.
 - USE APPROVED FIRESTOP SLEEVES, AND SEALANTS WHERE PIPES, DUCTS, CONDUITS, OR OTHER SYSTEMS PENETRATE FIRE OR SMOKE-RESISTIVE WALLS.
 - PACK INSULATION AROUND PIPES, CONDUITS, DUCTS, OR OTHER EQUIPMENT THAT PENETRATE NON-RATED PARTITIONS.
 - VERIFY ALL ROUGH-IN DIMENSIONS, AND SERVICE CONNECTION REQUIREMENTS FOR OWNER-FURNISHED EQUIPMENT, AND EQUIPMENT INCLUDED IN THIS CONTRACT.
 - ALL TRADES WORKING CONCURRENTLY TOGETHER WHICH ARE INTERDEPENDENT INSTALLATIONS SHALL COORDINATE AND SEQUENCE THEIR INSTALLATIONS TO FACILITATE THE TIMELY INSTALLATION OF BOTH TRADES.
 - ALL TRADES SHALL REPORT DEFECTIVE CONDITIONS OF OTHER WORK INTENDED TO SUPPORT THEIR INSTALLATION 5 WORKING DAYS PRIOR TO THEIR SCHEDULED START DATE.
 - NEW MATERIALS, EQUIPMENT, ASSEMBLIES, COMPONENTS, ACCESSORIES, ETC. SHALL MATCH & CONFORM TO THE SAME PRODUCTS IN THE EXISTING FACILITY AS DEFINED IN THE OWNER'S 'MAINTENANCE & OPERATIONS' STANDARD TO ASSURE UNIFORMITY, INTERCHANGEABILITY, AND COMPATIBILITY WITH AND BETWEEN EXISTING AND NEW.
 - ALL EXISTING AND NEW PENETRATIONS THROUGH NON-RATED WALL MEMBRANES, ABOVE CEILINGS, SHALL BE SEALED WITH DRYWALL TAPE AND MUD, AIR TIGHT, BOTH SIDES OF WALL. AT VISUALLY EXPOSED FACES WHERE NO CEILING IS PRESENT FINISH AND PAINT ADJACENT SURFACE TO MATCH EXISTING OR AS SCHEDULED FOR NEW WORK.
 - PER IBC 2018, 703.7 FIRE BARRIERS, SMOKE BARRIERS, AND SMOKE PARTITIONS SHALL BE PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE. SEE GENERAL NOTES (FIRE ASSEMBLIES) HEREIN FOR ADDITIONAL INFO.

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3	HANDRAILS ON EACH SIDE WALL AT STAIRCASE (2018 IBC SECTION 1011.11) HANDRAIL DESIGN TO COMPLY WITH 2018 IBC SECTION 1014. SEE DETAIL A1/D1.3.4
4	GUARDRAIL SHALL BE NO LESS THAN 42" IN HEIGHT AT EDGE OF BALCONIES. GUARDRAIL DESIGN TO COMPLY WITH 2018 IBC SECTION 1015. SEE DETAILS ON D1.0.
5	GUARD WALL NO LESS THAN 42" IN HEIGHT, SIDING ON BALCONY SIDE WITH TYVEK BUILDING WRAP ON BOTH SIDES, SHEATHING AND WALL STUD SIZE PER STRUCTURE, TOP WITH GALVANIZED METAL FLASHING CAP AND SELF-ADHERING FLASHING OVER TYVEK, PAINTED METAL FLASHING TO MATCH METAL ROOF. SEE F5/D1.2
6	FLOOR DRAIN CONNECT TO DOWNSPOUT
7	STACKABLE WASHER AND DRYER FOR BASE DESIGN (TYPE B), 2 IN 1 WASHER / DRYER FOR DESIGN OPTION (TYPE A). FRONT LOAD PER 2017 ICC A117.1 SECTION 611. DRYER WITH METAL VENT DUCT WITH SMOOTH INTERIOR SURFACES, EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER. SEE MECH DRAWINGS. WASHING MACHINE WITH PRE-FABRICATED GALVANIZED METAL PAN UNDER WASHING MACHINE LOCATED ON UPPER FLOOR, DRAIN TO EXTERIOR.
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14	OPTIONAL KITCHEN ISLAND. PROVIDE 40" MIN CLEARANCE ALL THE WAY AROUND, INCLUDING COUNTER AND OTHER APPLIANCES.
15	ELEVATOR SHAFT. CONFIRM CLEAR DIMENSION WITH ELEVATOR SHOP DRAWINGS
16	ELECTRICAL PANEL. SEE ELECTRICAL DRAWINGS
17	ELEVATOR CONTROL ROOM, AT 3/F ONLY. SEE CORE PLAN, CONFIRM CLEARANCE AND FIRE-RATING REQUIREMENT WITH ELEVATOR SHOP DRAWINGS
18	MECHANICAL ROOM WITH FURNACE AND INSTAHOT FOR INDIVIDUAL DWELLING UNIT. SEE MECH AND PLUMBING DRAWINGS
19	EMERGENCY ESCAPE AND RESCUE OPENING (EVERY SLEEPING ROOM), WINDOW WITH SILL HEIGHT 3'-0" (NOT MORE THAN 44"). OPERABLE OPENING NOT LESS THAN 5.7 SF (5 SF AT LEVEL 1) WITH NET CLEAR HEIGHT NOT LESS THAN 24". NET CLEAR WIDTH NOT LESS THAN 20" (2018 IRC SECTION R310.1, R310.2)
20	KITCHEN SINK AND WORK SURFACE WIDTH AND HEIGHT REQUIREMENT FOR DESIGN OPTION (TYPE A UNITS) SEE G1.0 (2017 ICC A117.1 FIG 1103.12.3 AND 1103.12.4)

MIRAMONTE
HOMES

MIRAMONTE HOMES
PONDEROSA PARKWAY

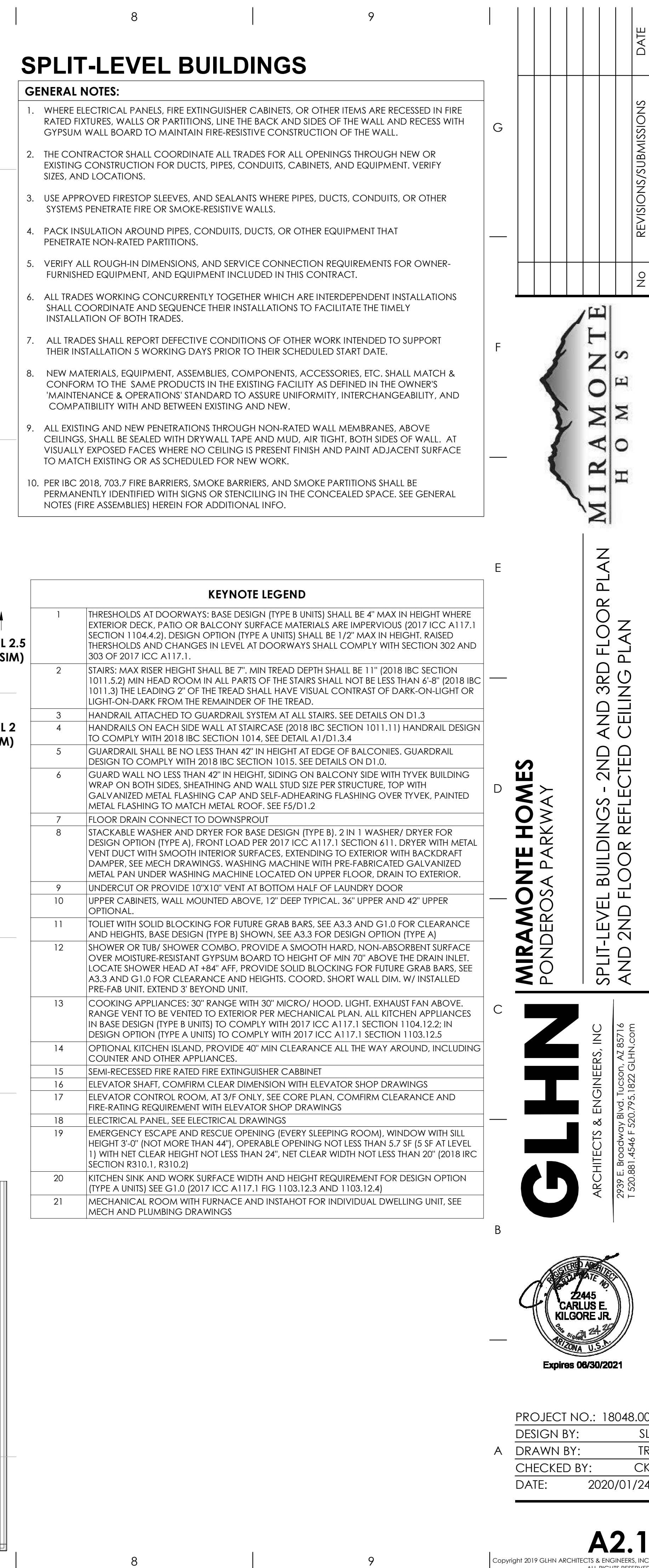
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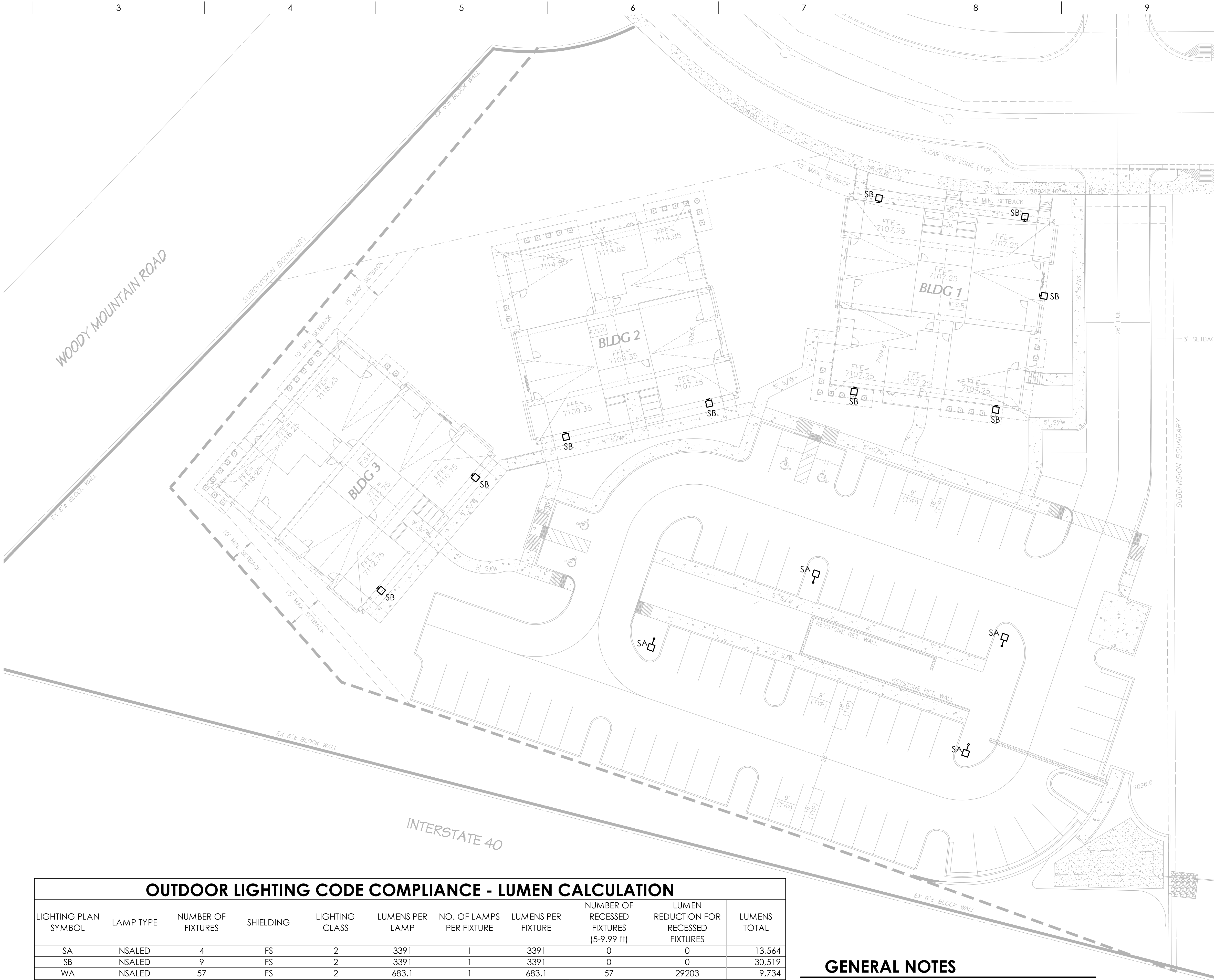
PROJECT NO.: 18048.00
DESIGN BY: SL
DRAWN BY: TR
CHECKED BY: CK
DATE: 2020/01/24



ADA SLOPE, 1:20 MAX. SLOPE, AS
REQUIRED, COORDINATE WITH CIVIL
SITE PLAN

A2.0
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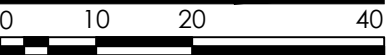


OUTDOOR LIGHTING CODE COMPLIANCE - LUMEN CALCULATION										
LIGHTING PLAN SYMBOL	LAMP TYPE	NUMBER OF FIXTURES	SHIELDING	LIGHTING CLASS	LUMENS PER LAMP	NO. OF LAMPS PER FIXTURE	LUMENS PER FIXTURE	NUMBER OF RECESSED FIXTURES (5-9.99 ft)	LUMEN REDUCTION FOR RECESSED FIXTURES	LUMENS TOTAL
SA	NSALED	4	FS	2	3391	1	3391	0	0	13,564
SB	NSALED	9	FS	2	3391	1	3391	0	0	30,519
WA	NSALED	57	FS	2	683.1	1	683.1	57	29203	9,734
								TOTAL LUMENS USED ON SITE:		53,817
TOTAL OUTDOOR LIGHT OUTPUT LIMITS PER DIVISION 10-50.70 (OUTDOOR LIGHTING STANDARDS) OF THE ZONING CODE FOR CITY OUTDOOR LIGHTING STANDARDS						LIGHTING ZONE	SITE ACRES	ALLOWED PER ACRE		50,000
						2	2.77	FOR LED (divided by 1.43)		34,965
								TOTAL SITE LUMENS ALLOWED		96,853

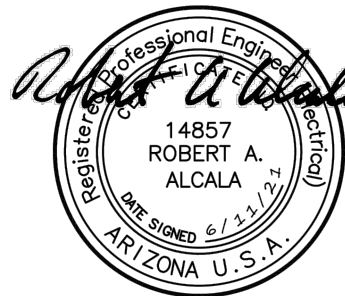
GENERAL NOTES

- A. EACH UNIT PORCH HAS ONE "WA" FIXTURE FOR A TOTAL OF 19 FIXTURES PER BUILDING. THE FIXTURE SHALL BE MOUNTED SUCH THAT ALL PARTS OF THE LIGHT FIXTURE ARE AT LEAST 5'-0" FROM THE NEAREST OUTDOOR OVERHANG EDGE.

A2 LIGHTING SITE PLAN
SCALE: 1" = 20'-0"



MIRAMONTE HOMES
MIRAMONTE AT PRESIDIO IN THE PINES VI
LIGHTING SITE PLAN AND CALCULATIONS



PROJECT NO.: 21041.00
DESIGN BY: BW
DRAWN BY: BW
CHECKED BY: YZ
DATE: 2021/06/11



102 S. Mikes Pike
Flagstaff, Arizona 86001
928-774-0028

September 14, 2021

Via Email (TAntol@flagstaffaz.gov)

Tiffany Antol, Planning Development Manager
City of Flagstaff Planning & Development Services
211 W. Aspen Ave
Flagstaff, AZ 86001

RE: **Tract M, Presidio in the Pines**
Project PZ-19-00204-02

Dear Tiffany:

In connection with the City Council's decision to review the August 25 CUP denial by the Planning Commission, Miramonte Homes submits the following information which addresses concerns raised by some who spoke in opposition to the pending application.

Is parking sufficient?

The amount of parking required is determined by the City, not the developer. City Code § 10-50.80.040. In this case, the City has required that Miramonte provide 73 off-street parking spaces. Miramonte is providing 74 spaces, which exceeds the requirement. **In fact, Miramonte is providing a parking space for every single bedroom in the development (totaling 69), plus four additional spaces.** Development staff requests as a condition of the CUP that all spaces be assigned to individual condominium units, which is agreeable to Miramonte.

Will 39 more units in Presidio make the subdivision too dense?

Presidio's final plat was approved with 470 lots, plus Tract A and Tract B designated as "Future Condominium" and "Future Retail/Residential Condominium" development sites. The Development Master Plan for Presidio, as well as its CC&Rs, called for 232 condo units on Tract A and 23 on Tract B. These would have been three- and four-story tall buildings. Instead, Tract A was developed as 42 townhomes, and Tract B was developed as 14 townhomes. **The as-built density will be about 200 units less than originally designed, with all of this reduction in density being on the same street as Tract M.** Some neighbors may feel the subdivision is dense, but it is about 25% less dense than originally planned.

Is traffic too dense?

Tract M sits at the far southwest corner of the Presidio subdivision, with quick access to Woody Mountain Road. Because there are few public services within the subdivision, it can be anticipated that almost all traffic will be on Woody Mountain Road and not through the subdivision. Even so, as noted in the Staff Report: "No traffic impact analysis was required for this development as the density falls within the range of the original development approvals for Presidio in the Pines **which already mitigated its anticipated traffic impacts.**"

Can Tract M be used for condos, or must it be a church?

Tract M may not be developed as a church, or for that matter as anything other than the specific project now before Council for approval. In December 2020, the City Council unanimously approved the Fourth Amendment to Development Agreement. That contract was subsequently signed by Mayor Deasy and recorded with the Coconino County Recorder. Under the contract, Tract M may only be developed as follows:

Subject to any requirement for a conditional use permit and other requirements as set forth in the Flagstaff City Code or in this section. the Church Site depicted on Exhibit 4 of the Master Plan **shall be developed as for-sale, condominium, Multiple Family Development as set forth in the Presidio in the Pines Tract M Site Plan** (PZ-19-00204-01) approved by the City on September 25, 2020 (herein, the "Project").

Some neighbors have said they do not oppose housing on tract M, they just don't like the project under consideration. However, the approved site plan is the only option available to Miramonte.

Is attainable housing being properly provided?

Miramonte and the City have already entered into a contract on this point. From the Development Agreement: "The Project will designate a minimum of ten percent (10%) of the total residential condominium ownership units to be initially sold at or below 100% of the Area Median Income ("AMI") affordability level ("Attainable Units")." **Although Miramonte is not seeking any development incentives for this project, it will provide 10% of the units (four in total) under an attainable housing program to which Miramonte and the City have already agreed.** Miramonte, of course, intends to honor its agreement.

Is Tract M part of the existing Presidio HOA?

Although Tract M is part of the overall Presidio subdivision, it is not part of the Presidio Homeowner's Association, which is detailed in Miramonte's letter to the Planning Development Manager on August 17, 2021. Miramonte is aware that the Presidio HOA has expressed an opposing viewpoint. The fact is even if the HOA were correct, it would need to amend its CC&Rs to include Tract M. Such amendments are difficult. **Instead, in their contract, the City and Miramonte agreed that Miramonte will create an association to govern the 39 condos that are part of this project.** "Developer will form one or more Arizona nonprofit corporations to serve as the homeowners' association(s) ("HOA") for the Project." As well, Miramonte will work to ensure good relations between the associations to further their common interests.

How will the property provide drainage?

There are multiple options for proper drainage. That said, the property slope naturally drains into the neighboring tract, which is Tract U as shown on the plat. The plat states that Tract U is reserved for "open space, tree resource preservation, recreation areas, private utilities and designated public pathways (bicycle & pedestrian)." It is a natural drainage area and Miramonte's improvements will have the effect of benefitting all the subdivision.

Will condos be compatible with existing development?

Miramonte's condominiums are architecturally compatible with the original plans for Presidio, which called for three- and four-story residential and commercial buildings. They are also architecturally compatible with the subdivision as built, much of which was designed and built by Miramonte itself. Additionally, once built, Tract M will feature three buildings and significant tree coverage within a Tree Resource Preservation Easement, all of which in turn **buffers the southwest corner of Presidio from the I-40 offramp eventually planned for Woody Mountain Road**. The ADOT right-of-way runs along the south and west portions of Tract M. This project bookends and shields the interior of the Presidio subdivision from what otherwise will be a freeway exit.

Please do not hesitate to reach out if we can answer questions or provide additional information.

Sincerely,



Charity Lee

NAZ Land Acquisition and Development Manager

928-600-3594

CITY OF FLAGSTAFF

STAFF SUMMARY REPORT

To: The Honorable Mayor and Council
From: Leah Bloom, Housing Project Manager
Date: 09/16/2021
Meeting Date: 09/28/2021



TITLE:

Update and Review of Flagstaff's Draft 10-Year Housing Plan

DESIRED OUTCOME:

Informational only.

EXECUTIVE SUMMARY:

There is a strong and growing movement among Flagstaff community members, housing advocates, and City Council to ensure all Flagstaff residents have access to affordable housing. On December 1, 2020, City Council declared a Housing Emergency in Flagstaff, committing to prioritizing affordable housing within City operations to create safe, decent, and affordable housing opportunities for all community members.

Although the City has several Housing planning documents, when declaring the Housing Emergency, Flagstaff City Council directed staff to create a single, comprehensive community-facing document to summarize the City's immediate and long-term needs and strategies to improving housing affordability.

The draft plan discusses how housing is interconnected to health, neighborhoods and equity, sustainability, zoning and land use, and to economic growth. The draft plan provides results regarding;

- Housing data and needs assessment,
- Market rate and subsidized housing gap analysis; and,
- Findings from the City of Flagstaff Housing Survey.

This draft Plan defines the Housing Emergency in Flagstaff and provides policy initiatives and strategies to address it over the next 10 years. As the City implements the 10-Year Housing Plan, the goal is to substantially increase the number of available and affordable housing options for Flagstaff residents at all income levels and to increase housing subsidies for our low to moderate-income neighbors.

For the detailed list of policy initiatives and strategies refer to page 44 of the draft Plan.

INFORMATION:

Extensive and inclusive public participation has occurred through informal working group meetings, Housing Commission meetings, and the City of Flagstaff's Housing Survey. These interactions have resulted in the creation of Flagstaff's Draft 10-Year Housing Plan.

Informal working groups convened on the topics of housing and health, neighborhood and equity, housing and sustainability, and zoning and land use. Informal working groups were composed of City

staff, Housing Commissioners, and community experts. City Housing Section staff and the Economic Vitality Section worked together to discuss the connection between housing and economic growth. The working groups discussed how mutually connected housing is to all the above topics. The groups defined housing barriers and challenges for residents and created policies initiatives and strategies to address the Housing Emergency and advance housing opportunities for all.

The 10-Year Housing Plan Survey collected data from Flagstaff residents on local living conditions, the cost of housing, and household goals. The survey was shared with Flagstaff businesses, multifamily developments, community members, and the service provider network known as the Continuum of Care. The City shared the survey via social media, Housing Authority program participant newsletters, Flagstaff's Community Forum, and clients of emergency shelters and transitional housing. The survey was available online via Survey Monkey and in print at local libraries and with various service providers. Both English and Spanish surveys were available. 2,949 responses were collected.

The draft 10-Year Housing Plan and the Community Forum Survey can be located on the City's webpage during the public comment period. Upcoming public participation opportunities are:

- Sept. 29 – Nov. 2 – Public Comment Period & Community Forum Survey
- October 5 – Economic Collaborative of Northern Arizona
- October 7 – Northern Arizona Association of Realtors
- October 7 – Virtual Public Outreach – City of Flagstaff Commissioners
- October 19 – Friend of Flagstaff's Future
- October 21 – Flagstaff Chamber of Commerce
- October 27 – Virtual Public Outreach
- November 2 – Coconino County Continuum of Care
- November 29 – Housing Commission Meeting for consideration of approval of Final Plan
- December 7 – City Council Consideration of adoption of Final 10 Year Housing Plan

Attachments: Draft 10 Year Housing Plan
 Presentation

HOMES FOR ALL FLAGSTAFF RESIDENTS



10-YEAR HOUSING PLAN

CREATE. CONNECT. PRESERVE. PROTECT.



City of Flagstaff | Housing Section | flagstaff.az.gov

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Note from the Housing Commission

To the Flagstaff community,

Coming soon

DRAFT

HOUSING IS A COLLECTIVE BENEFIT

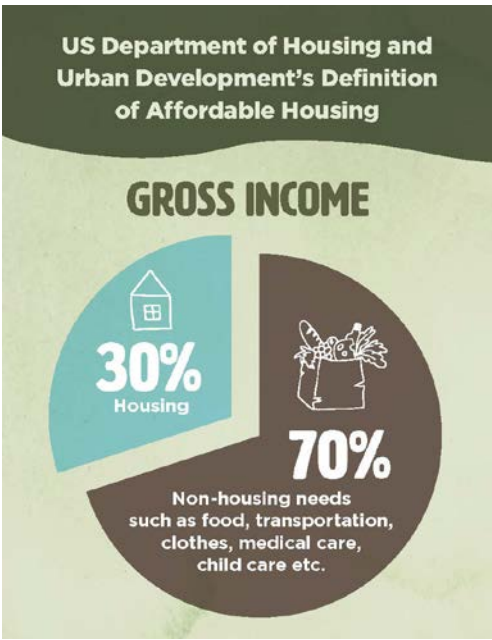
There is a strong and growing movement among Flagstaff community members, housing advocates and City Council to ensure all Flagstaff residents have access to affordable housing. On December 1, 2020, City Council declared a Housing Emergency in Flagstaff, committing to prioritizing affordable housing within City operations to create safe, decent and affordable housing opportunities for all community members.

The current Housing Emergency has deep roots and the situation is desperate for relief. This Plan will begin with the basics, defining what affordable housing means and how affordable, accessible and decent housing is of critical importance to our community's overall health and viability.

The United States Department of Housing and Urban Development (HUD) defines affordable housing as spending no more than 30% of monthly gross income towards housing costs. Households that spend more than 30% on rent or mortgage costs are considered "housing cost burdened;" households spending more than 50% are "severely housing cost burdened." Throughout this Plan, "affordable housing" will be defined as households paying 30% or less of monthly gross income towards the home in which they reside, using HUD's definition.

In an expensive housing market like Flagstaff's, some form of subsidy is necessary in order for housing to be affordable for many lower income households. Housing subsidies come in many forms. Forms of housing subsidies include rental assistance, eviction prevention and down payment assistance. Other forms include non-profit affordable housing, public housing, voucher programs and some forms of co-operative and private sector housing. Throughout this Plan the term "housing subsidy" is defined as any form of financial assistance aimed towards decreasing housing costs.

The stories we hear from residents and local reports verify that a lack of affordable housing is not just an individual problem, but rather a community problem that has collective consequences that negatively impact Flagstaff. This Plan will demonstrate how the consequences of failing to create, preserve and provide access to affordable housing in Flagstaff is linked to lasting negative effects on our



neighborhoods^{1,2,3}, health, children^{4,5}, environment⁶ and jobs⁷. This Plan provides a path forward for the next ten years and solutions to reducing Flagstaff's Housing Emergency.

Addressing Flagstaff's Housing Emergency

Although the City has a number of Housing planning documents, when declaring the Housing Emergency, Flagstaff City Council directed staff to create a single, comprehensive community-facing document to summarize the City's immediate and long-term needs and strategies to improving housing affordability. This Plan defines the Housing Emergency in Flagstaff and provides policy initiatives and strategies to address it over the next 10 years. As the City implements the 10 Year Housing Plan, the goal is to substantially increase the number of available and affordable housing options for Flagstaff residents at all income levels and to increase housing subsidies for our neighbors that are unable to afford housing in Flagstaff.

The City of Flagstaff's Carbon Neutrality Plan notes that Flagstaff faces a multitude of community challenges and competing priorities which must be met with open dialogue, innovative thinking, and good faith that we can find creative solutions that move us forward towards a healthier, more inclusive community. Partnerships across the City organization and the community at large are vital for addressing the Housing Emergency and creating a healthier, more resilient Flagstaff.

¹ [La Plaza Vieja Neighborhood Specific Plan](#), City of Flagstaff, November 2015

² [Southside Community Specific Plan](#), City of Flagstaff, September 2020

³ [Flagstaff's Lived Black Experience Strategic Plan: A Forgotten People Forging a Path Forward](#), The Lived Black Experience Community Coalition, 2020

⁴ [Community Needs Assessment](#), Coconino County Arizona – January 2021

⁵ [City of Flagstaff Five-Year Consolidate Plan](#), May 2021

⁶ [The Flagstaff Carbon Neutrality Plan](#), City of Flagstaff, June 2021

⁷ [Housing Attainability for the Flagstaff Workforce](#), Economic Collaborative of Northern Arizona, November 2017

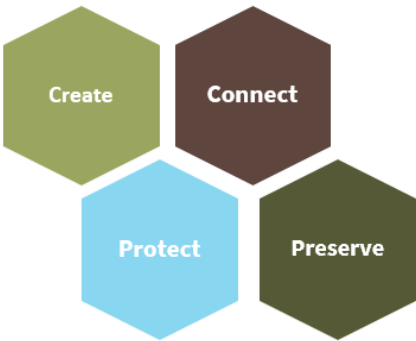
Flagstaff's Vision

Flagstaff's 10 Year Housing Plan's vision is to create a vibrant and more livable community through increased housing options for residents at all income levels and family sizes.

This document is a framework for action: it outlines a single overarching goal with thirteen (13) robust policy initiatives and fifty-eight (58) comprehensive strategies. The policy initiatives and strategies provide a foundational framework for establishing housing programs, prioritizing staff work and allocating necessary funding for implementation.

The four policy initiatives are:

- ▲ Create
- ▲ Connect
- ▲ Preserve
- ▲ Protect



OVERARCHING GOAL

This Plan establishes one overarching goal, supported by two fundamental elements that together will significantly impact housing attainability. The goal will be achieved through the implementation of the policy initiatives and strategies in this document. Implementation of the policy initiatives and strategies will be accomplished by the City of Flagstaff through the budget process, collaboration with City staff and private, public and nonprofit partnerships.

Reduce the current affordable housing need in our community by half over the next ten years.

- ▲ Element one: Create or preserve 7,976 units by 2031 with a minimum of 10% affordable to increase the overall supply of market rate, workforce and affordable housing occupied by local residents.
- ▲ Element two: Impact 6000 low to moderate Flagstaff residents through a combination of unit creation or subsidy provision

POLICY INITIATIVES

Create housing options for households at all income levels and family sizes occupied by local residents.

- Create 1:** Create a dedicated funding source for affordable housing in Flagstaff.
- Create 2:** Explore building innovation and cost-saving practices.
- Create 3:** Ensure that the Flagstaff Regional Plan includes robust affordable housing goals and policies.
- Create 4:** Amend the Flagstaff Zoning Code to facilitate the development of all housing types.
- Create 5:** Incentivize the creation of affordable units through various programs and mechanisms.

Connect people to equitable housing solutions.

- Connect 1:** Implement a framework for centering equity in proposed and existing housing practices, policies and programs.
- Connect 2:** Reduce homelessness in the Flagstaff community and seek creative solutions to foster housing permanency for all.
- Connect 3:** Integrate healthcare into housing programs, and housing into healthcare programs, as appropriate.

Preserve affordable housing

- Preserve 1:** Expand efforts to preserve existing housing stock.
- Preserve 2:** Encourage the adaptive reuse of buildings.

Protect people from housing discrimination and remove housing barriers.

- Protect 1:** Continue Flagstaff's commitment to further Federal and Arizona Fair Housing laws in all housing-related services and programs, valuing the efforts of those who seek to reduce barriers to equitable housing opportunities, and providing Fair Housing education and resources to the community.
- Protect 2:** Ensure affordable housing is a part of every Flagstaff neighborhood and work to address disparate impact as part of any development or redevelopment.
- Protect 3:** Continue to lobby and support federal and state legislation to encourage changes to federal and state laws, and to increase the amount of funding available for the preservation and construction of affordable housing.

For a detailed list all policy initiatives and strategies, refer to the Detailed List of Policy Initiatives and Strategies on page 44.

FORGING AHEAD FOR HOUSING ADVANCEMENT

Action Needed

FLAGSTAFF CITY COUNCIL & HOUSING COMMISSION

The success of this Plan is contingent on the Flagstaff City Council continuing its leadership and support for advancing housing affordability. Implementation of the Plan relies on funding, the creation and preservation of affordable housing, increasing housing subsidies, continued public support for affordable housing and advocacy by City Council and the community.

The Flagstaff City Council will have oversight responsibility for this Plan and will make policy decisions, budgetary appropriations and workplan approvals that will facilitate implementation. The Housing Commission will provide recommendations to City Council on the implementation of this Plan. Council and the community will receive an annual update on the progress of Plan implementation.

The Flagstaff City Council will:

- ▲ Prioritize policy initiatives and strategies for the upcoming City Council term that will support Plan implementation.
- ▲ Identify City Council budget priorities and funding to support Plan implementation.
- ▲ Identify state and federal legislative priorities that support the policy initiatives and strategies of the Plan and enable implementation of Plan actions.
- ▲ Provide leadership in community conversations around housing and the tensions surrounding competing priorities.

Actions specific to the Flagstaff Housing Commission:

These actions are detailed in Resolution 2020-66, which created the Housing Commission.

- ▲ Examine funding sources available for housing in Flagstaff, make recommendations to the City Council on potential funding sources, including bond measures, and provide oversight of any funds approved by the electorate for housing purposes.
- ▲ Make recommendations on the creation and implementation of housing and housing policies and programs for the benefit of Flagstaff and its citizens.
- ▲ Make recommendations regarding the prioritization of the community's housing needs.
- ▲ Make recommendations regarding how affordable market rate housing can be responsibly stimulated through changes in the City Code as well as other potential solutions.
- ▲ Examine and make recommendations regarding increasing the affordability of housing in Flagstaff.
- ▲ Explore alternative models of housing and make recommendations to Council.

- ▲ Advise and assist the City Council on ways to educate the community on housing, including the role housing plays as infrastructure in Flagstaff.
- ▲ Upon request, serve as a resource on implementation of housing policy and programs.

FLAGSTAFF CITY LEADERSHIP

To address the Housing Emergency, it is critical that every part of the municipal organization is involved in the implementation of this Plan. From the City Manager's Office and the Leadership Team to individual Sections, Team Flagstaff must proactively consider housing affordability when conducting City operations. Refer to the [Detailed List of Policy Initiatives and Strategies](#) on page 44 for division involvement for each strategy.

The City Manager's Office will actively support the Council's commitment to advance housing affordability by requiring the involvement of all appropriate City divisions in implementation of this Plan. Opportunities to incorporate affordable housing policy initiatives and strategies into internal decision-making processes include:

- ▲ The budget process
- ▲ Procurement decisions
- ▲ Division strategic planning
- ▲ Facility management
- ▲ State and Federal Policy Priorities
- ▲ Community engagement and education

Accountability

The City will ensure accountability through consistent and transparent annual reporting to the community and the Housing Commission, which will monitor and report on the Plan's implementation progress.

A LIVING DOCUMENT

This Plan is a living document that will evolve with market conditions, community housing needs and budgetary status. This section presents a structure for ongoing monitoring, evaluation and reporting on Plan progress. Investing in data collection and consistent reporting increases transparency and is a key aspect of implementation.

EVALUATION & REPORTING

Regular reporting will ensure transparency and continued progress. Updates will be provided by city staff at Housing Commission meetings. City staff will measure progress on key performance indicators and will report to the City Council, Housing Commission and community annually regarding policy initiatives and strategy development. Refer to the [Detailed List of Policy Initiatives and Strategies](#) on page 42 for the

anticipated term lengths for each strategy. On an annual basis, city staff will provide a Plan update that includes:

- ▲ Progress towards achieving the Plan's goal and implementation status of policy initiatives and strategies.
- ▲ Relevant developments in market conditions, resources and community efforts.

FUNDING

Funding is imperative for the implementation of the 10 Year Housing Plan's goal, policy initiatives and strategies. Funding sources include the City budget, agency grants, private, public and nonprofit community partners and new sources such as general obligation bonds.

LOCAL HOUSING DATA & NEEDS ASSESSMENT

Flagstaff's Housing Emergency is a result of multiple factors and has been a documented need for more than 50 years. In order to effectively address the Housing Emergency in Flagstaff, we must first understand local housing data. In partnership with Housing Solutions of Northern Arizona, the City of Flagstaff's Housing Section co-created an infographic titled "Affordable Housing Needs Assessment for the Flagstaff Community". Infographics from the needs assessment are shared throughout the Plan. Refer to [Appendix 3](#) for the Affordable Housing Needs Assessment.

Flagstaff's Area Median Income Levels

The Department of Housing and Urban Development (HUD) publishes Area Median Income (AMI) data for Flagstaff Metropolitan Statistical Area on an annual basis. The calculation takes into consideration a family's income level based on their household size. The Area Median Income is the midpoint of an area's income distribution, meaning that half of households in an area earn more than the median and half earn less than the median. A household's income is calculated by its gross income, which is the total income received before taxes and other payroll deductions. For a three-person household (the average household size in Flagstaff), their 100% Area Median Income is \$69,200 annual gross income.

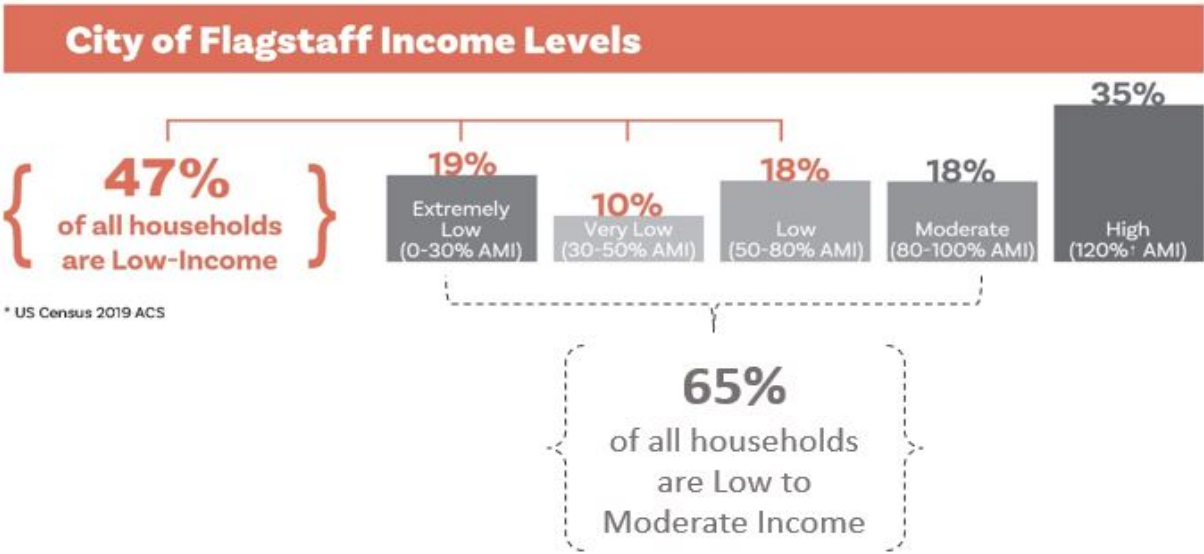
Area Median Income (AMI) limits are another key factor to understanding the funding availability for affordable housing programs because it determines eligibility for many housing subsidies. Federal, State and local housing subsidy programs such as the Community Development Block Grant (CDBG), Low-Income Tax Credit Housing (LIHTC), Public Housing and Section 8 Housing Choice Vouchers have different income eligibility requirements that restricts eligibility to 60% - 80% AMI for a household depending on the program. These programs are available citywide and have limited funding.

HUD Flagstaff Area Median Income (AMI) Limits | 2021

Income Category	AMI %	AMI Income Ranges*
Extremely Low	0 - 30%	\$0 - \$21,960
Very Low	30 - 50%	\$21,961 - \$34,600
Low	50 - 80%	\$34,601 - \$55,350
Low to Moderate	80 - 120%	\$55,351 - \$83,040
Moderate to High	120% >	\$83,041 >

** Income ranges based on three person household*

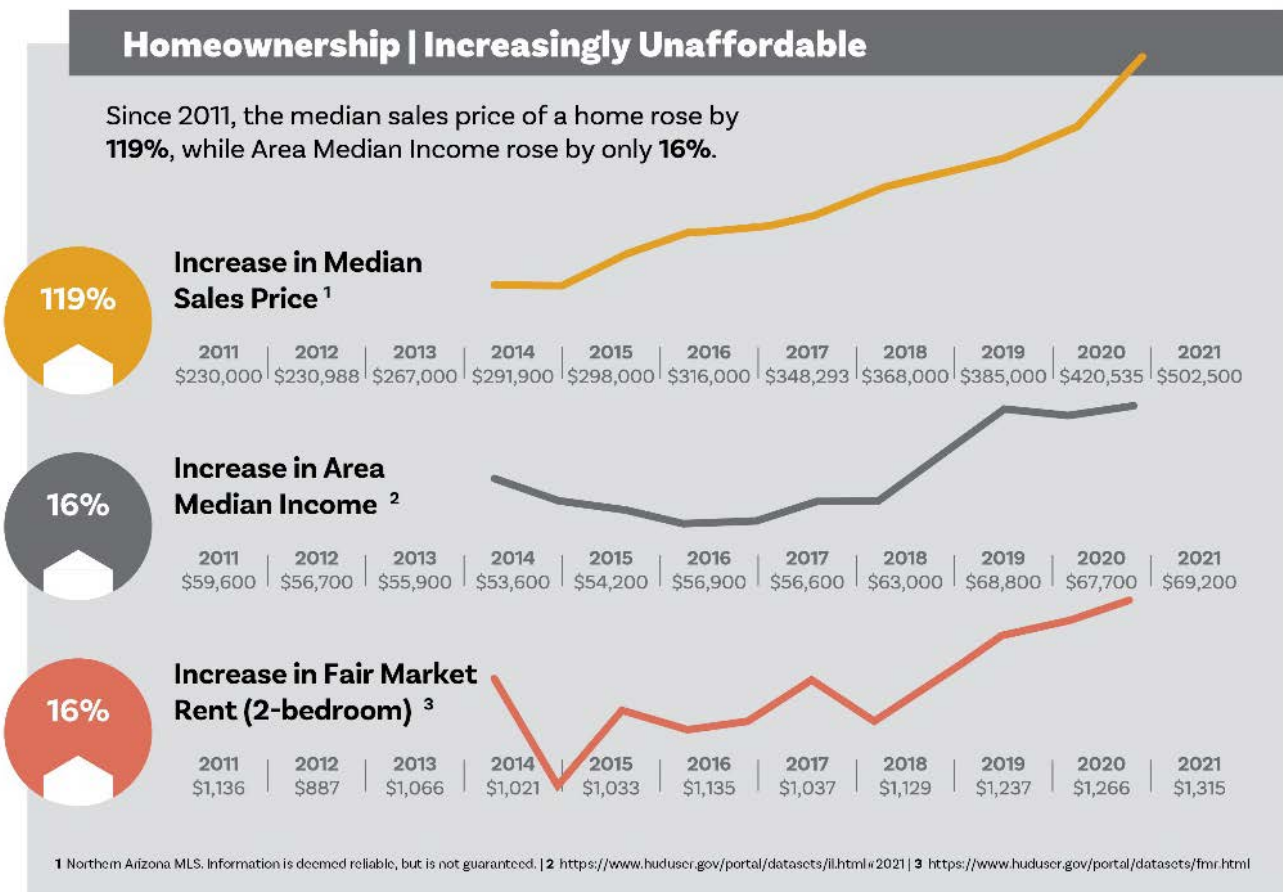
Nearly half (47%) of Flagstaff residents are low-income, earning no more than \$55,350 annually. In Flagstaff's current housing market, 65% of households that fall within or below the moderate-income level would require some form of subsidy to achieve housing that is considered affordable.



Flagstaff Is Increasingly Unaffordable

Over the past half-century, Flagstaff's households have seen a dramatic shift in their budgets. Rents have risen, home prices have increased, and incomes have not kept pace. As a result, households are spending a growing portion of their income on housing. The costs to rent or own a home continue to rise and are outpacing local incomes.

Since 2011, the median sales price of a home rose by 119%, while the Area Median Income rose by only 16%. In Flagstaff's current housing market, the median sales price of a home is \$502,500 and the median annual gross income is \$69,200. Consequently, many local residents need some form of a housing subsidy to achieve affordable homeownership.



Flagstaff's Housing Cost Burden

According to HUD, cost burdened households pay more than 30% of their monthly income towards housing.

Currently, 27% of homeowners and 57% of renters are housing cost burdened, meaning that 22,073 Flagstaff community members are living with a housing cost burden.

Cost burden helps us understand how much strain housing costs can place on a household's overall financial position. The lower your income, the more likely you are to be cost burdened. Households that are housing cost burdened have little money to cover other basic necessities, such as food, childcare, transportation, clothing and health care, leaving the households in a precarious financial situation and making it harder to achieve economic mobility and housing advancement⁸. Renters that are housing cost burdened are less likely to be able to save up for a down payment required for accomplishing homeownership.

Flagstaff is a community where 45% of all households living in a housing cost burdened situation, the cost of living is 13% higher and housing is 29% higher than the national averages. It is therefore imperative to create and preserve more housing options and to establish more funding for programs that help residents attain affordable housing.

Housing Cost Burden Analysis

22,073

Flagstaff Community Members are housing cost burdened. *



All Households

Total Households with Payments | 19,531
Households Cost Burdened | 8,829

45% Cost Burdened



Homeowners

Total Households with mortgages | 7,542
Cost Burdened Homeowners | 2,005

27% Cost Burdened



Renters

Total Renter Households | 11,989
Cost Burdened Renters | 6,824

57% Cost Burdened

* Cost burdened households pay more than 30% of their monthly income towards housing.

* US Census 2019 ACS

Cost of Living & Housing | National Comparison

Flagstaff Cost of Living



13.1% higher than the national average

Flagstaff Cost of Housing



29% higher than the national average

Data is from the Council for Community Economic Research 2020 Annual Average Data Report

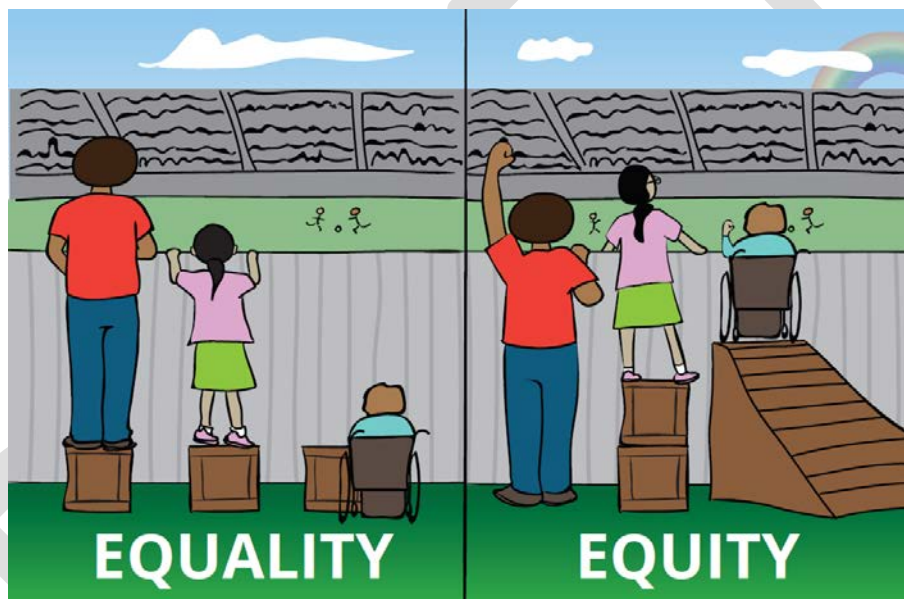
⁸ [Homeownership Is Affordable Housing](#), Housing Finance Policy Center, Urban Institute, Mike Loftin, May 2021

Important Topics in Housing

HOUSING EQUITY

Housing equity is central to this Plan. Equity is a different from the concept of equality. Equality is defined as treating everyone the same and giving everyone access to the same opportunities, under the assumption that everyone will benefit from the same support and services. Some groups are situated differently because of historical and current discrimination against them. Equity addresses those differences. Equality is about sameness, focusing on making sure everyone gets the same thing, while equity is about fairness, ensuring that each person gets what the person or population needs. Policies that aim to achieve equity may result in an unequal distribution of resources but will lead to more equitable outcomes for everyone.⁹

Source: Equity Tool



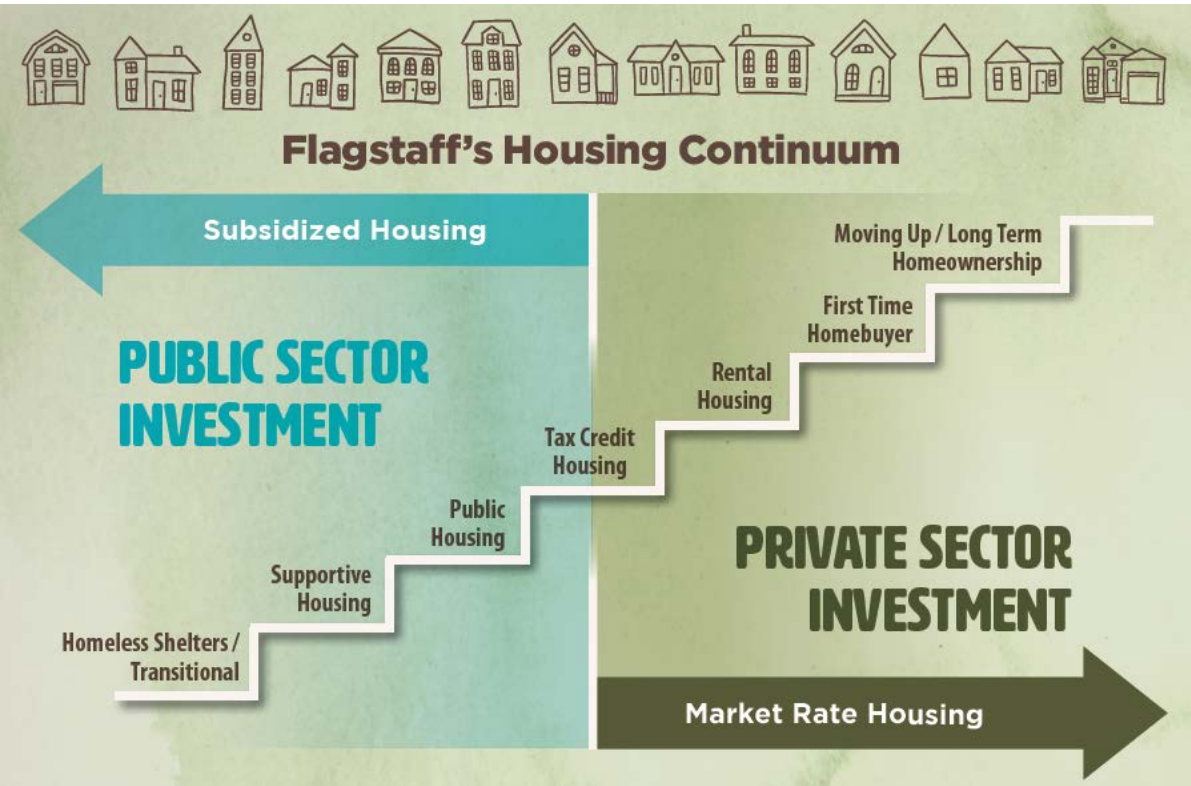
⁹ [Homeless System Response: Part1: Equity as the Foundation](#), Department of Housing and Urban Development

HOUSING CONTINUUM






The housing continuum is a strategy that represents a variety of housing types available for households at all income levels. It indicates that households with different levels of income require different levels of subsidy to move up or advance through the housing continuum. For the purpose of this Plan, we will use the housing continuum as a method to communicate possible housing solutions for households at all income levels.

For example, an extremely low-income, three-person household earning less than \$21,960 (30% AMI) annually requires greater levels of housing subsidies (such as move-in assistance and public housing). This household would fall on a different place on the housing continuum compared to a low-income, three-person household earning less than \$55,350 (80% AMI), who may need a smaller housing subsidy (such as assistance paying for their rental deposit).

Addressing the Housing Emergency will require adequate funding for programs such as eviction prevention, down payment assistance and employer assisted housing programs. It will also require the creation and preservation of affordable rental and ownership opportunities. These bold steps must be accomplished in partnership across the housing sector, including all levels of government, non-profit housing providers, private industry and housing advocacy from our community at large.



WHAT CAN FLAGSTAFF FAMILIES AFFORD?

What Can Flagstaff Families Afford?					
Household Type	Retiree on Fixed Income	Service Industry Worker @ \$15/hr.	Single Parent with 2 children	Family of 4 people	Young married couple
					
Number in Household	1	1	3	4	2
Estimated Household Income	\$16,140	\$31,200	\$55,350	\$76,800	\$73,800
% of Area Median Income	30%	58%	80%	100%	120%
Max Rent They Can Afford	\$404	\$780	\$1,384	\$1,920	\$1,845
Max Home Purchase Price They Can Afford *	\$49,000	\$125,000	\$248,000	\$359,000	\$343,000
\$ Needed for Downpayment & Closing Costs *	\$3,185	\$8,125	\$16,120	\$23,335	\$22,295

* 4.0% interest rate; 30-year term with 3.5% down payment. Assumes 30% housing ratio and that household debt does not impact affordability. Insurance = \$50/mo. Taxes = \$120/mo. No HOA payment. Monthly MI @0.28%.

Image & below text provided by Housing Solutions of Northern Arizona

The image above, created by Housing Solutions of Northern Arizona and the City's Housing Section, provides a visual of households that fall within extremely low income, very low income, low income, median income and moderate- income categories. This image presents these household situations and the maximum rent and maximum mortgage that each household can tolerate in order to obtain an affordable housing situation. For details on the methodology used, please refer to the Survey and Methodology Document.

Summary for What Families in Our Community Can Afford:

- ▲ Very low-income households, including those on fixed incomes, cannot afford to purchase a home in our community. They struggle to find a rental they can afford, as extremely few studios or 1-bedroom units are available for \$404 per month.
- ▲ In general, minimum-wage workers cannot afford to purchase a home in our community. These families also struggle to find decent rentals even with a higher monthly budget for rent. While a few units with rent below \$780 per month may be found, a household is hard pressed to find a rental that is not a studio or a single room at that price.
- ▲ 80% AMI households can likely rent a market rate unit, although they possibly may pay more than an "affordable" portion of their monthly income. They struggle to find a house to purchase, with buying power around \$250,000. In September of 2021, Flagstaff's Multiple Listing Service (MLS) had three homes in that price range on the market. Of those homes, all three are two bedrooms or less. Homes in this price range are often condos with Home Owner Association (HOA) fees, increasing the monthly cost of housing.

- ▲ Households in the 100% to 120% AMI range can likely find a rental for their families and can potentially afford a mortgage that allows them to purchase a home in the Flagstaff market. Down payment and up-front loan costs are often barriers to homeownership for these families because it is very difficult to save the necessary amount when households are rental-cost-burdened and home prices in Flagstaff continue to rapidly increase. If we assume a family is using FHA financing (which has one of the lowest down payment requirements a minimum of 3.5%), this family would need to have a minimum of \$20,000 in cash available for their home purchase.

Homeownership in Flagstaff

The American Dream of homeownership is slipping away for families in Flagstaff. Our community continues to see home price appreciation exceed wage increases, creating a larger and larger gap between home sales prices and what Flagstaff residents can afford. In the first half of 2021, Multiple Listing Services (MLS) data showed that the median home sales price in Flagstaff exceeded \$500,000 for the first time. Homeownership is now attainable for wealthy families in Flagstaff, but a distant dream for our workforce. The consequences of home price increases are dire, as more and more members of our workforce look to leave Flagstaff's high-cost housing market and relocate to other communities where housing is within reach. Over one in four survey respondents (26.7%) indicated that they were either very likely or nearly certain to leave Flagstaff due to housing costs. Right now, homeownership barriers include the lack of lower-priced inventory and the need to have more money for down payment and closing costs. In 2021, we are fortunate to have continued low interest rates, but if and when mortgage interest rates increase, buying power will be reduced and the challenge will be even greater.

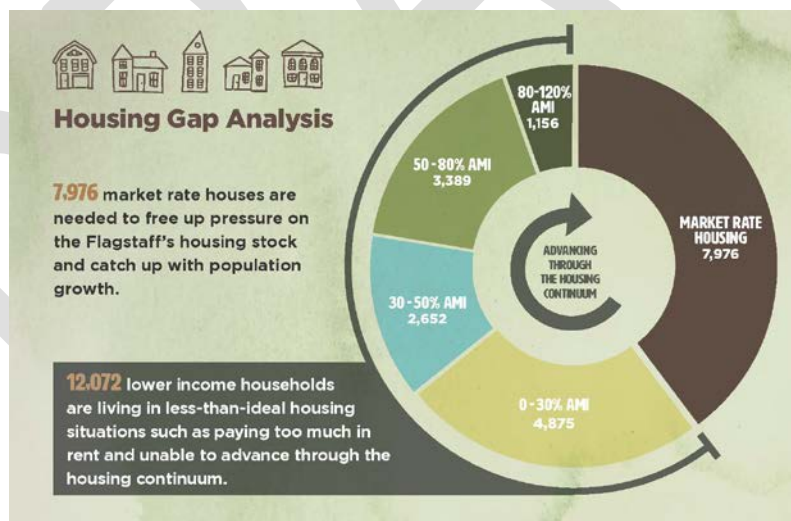
FLAGSTAFF'S HOUSING GAP ANALYSIS -

QUANTITATIVE RESULTS

This Plan seeks to understand the gap between available housing and Flagstaff's housing needs. City staff, Housing Commission members and community experts created an Informal Working Group that performed a housing gap analysis to determine both Flagstaff's current housing needs and its available housing stock. To determine the affordable housing need a methodology from the Joint Center for Housing Studies of Harvard University¹⁰, Montgomery County Interagency Commission on Homelessness¹¹, and Freddie Mac Housing and Economic Research¹² division was applied. The housing gap analysis reveals the estimated number of affordable housing units needed based on local income levels and bedroom sizes.

To define the City's need for market rate housing, the team used a proxy figure: the gap in housing supply from declines in housing construction and conversion from long-term housing to short-term rentals (STRs) since 2000. Other influential elements that also impact Flagstaff's overall housing supply include the decrease in average household size, an increase in second homes in Flagstaff, an increase in university student population and limited developable land in Flagstaff.

The housing gap analysis found that Flagstaff currently has an undersupply of 7,976 housing units and 12,072 households with an affordable housing need.



¹⁰ Joint Center for Housing Studies of Harvard University, [Estimating the Gap in Affordable and Available Rental Units For Families](#), Witney Airgood-Obrycki, Jennifer Molinsky, April 2, 2019

¹¹ Montgomery County Interagency Commission on Homelessness, Appendix Four: [Housing Demand and Supply](#)

¹² Freddie Mac, [Insight Report](#), The Housing Supply Shortage: State of the States, February 27, 2020

Importantly, Flagstaff's undersupply of housing does not alone mean that our community has 20,048 households living without a place to call home. It means, that 12,072 lower income households are living in less-than-ideal housing situations such as paying too much in rent and unable to advance through the housing continuum, while the remaining 7,976 market rate houses are needed to free up pressure on the Flagstaff's housing stock and catch up with population growth.

This Plan establishes one overarching goal, supported by two fundamental elements that together will significantly impact housing attainability. The goal will be achieved through the implementation of the policy initiatives and strategies in this document. Implementation of the policy initiatives and strategies will be accomplished by the City of Flagstaff through the budget process, collaboration with City staff and private, public and nonprofit partnerships.

Goal: Reduce the current affordable housing need in Flagstaff by half.

- ▲ Element one: Create or preserve 7,976 units by 2031 with a minimum of 10% affordable to increase the overall supply of market rate, workforce and affordable housing occupied by local residents.
- ▲ Element two: Impact 6000 low to moderate Flagstaff residents through a combination of unit creation or subsidy provision

In a market without enough homes and without adequate subsidies, the people who lose out are Flagstaff's low- to moderate-income residents: 47% of our population. This Plan's policy initiatives and strategies include increasing both the number of housing units and subsidies that provide targeted assistance to households in need. Both elements above are mutually interchangeable and will require bold action to address the Housing Emergency.

Affordable and Subsidized Housing Gap Analysis

Flagstaff is faced with demand for housing that far exceeds supply. To capture the demand and supply imbalance, the City analyzed the distribution of household size and income ranges from the 2019 American Community Survey, Census Data and the Coconino County Assessor's office. These figures identify and highlight the types of housing units that are under- or over-supplied in the Flagstaff city limits, including communities in the 86004 and 86005 zip codes like Doney Park, Kachina Village and Mountainaire.

12,072 lower income households are living in less-than-ideal housing situations such as paying too much in rent and unable to advance through the housing.

This housing gap analysis found there is not enough affordable-priced housing or subsidies available for households earning less than \$66,400 (0-80% AMI) per year.

- ▲ For extremely low- to low-income households, Flagstaff currently has 10,916 households living in less than ideal housing situations. Of those households, 7,335 are living in one- and two-bedroom homes. These low income (0-80% AMI) households make up 47% of Flagstaff's

population and require substantial subsidies to achieve housing that is defined as affordable at their income level.

For low- to moderate-income households earning between \$66,400 and \$101,520 (80- 120%), the affordable housing gap analysis found that while these households have a slightly higher advantage in finding affordable housing, 1,156 households are living in less than ideal housing situations.

- ▲ Of those 1,156 households, 1,037 are living in four-and five-bedroom units. These low- to moderate-income households make up 18% of Flagstaff's population and require some amount of subsidy to achieve housing that is defined as affordable at their income level, especially for larger households.

12,072 Households in Need of an Affordable Housing Subsidy or Unit

		Income & Household Size					
		1	2	3	4	5+	
Extremely low to low Income	AMI Range	Person	Person	Person	Person	Person	10,916 Households
	0 - 30%	-2,236	-1,582	-486	-298	-273	
	30 - 50%	-1,072	-819	-359	-247	-155	
Low to Moderate Income	50 - 80%	-487	-1,139	-491	-772	-500	1,156 Households
	80 - 100%	212	248	114	-366	-311	
	100 - 120%	-119	1,206	2,708	247	-360	
	> 120%	-1,261	-4,514	6,366	4,562	392	

The results above indicate that a large portion of Flagstaff's households are paying more than 30% of their household income on housing; are "doubling up" or living in smaller than ideal units (defined as greater than two persons per bedroom). For 2021 Area Median Income Limits for Flagstaff refer to [Appendix 2](#).

Market Rate Housing Gap Analysis

The Gap Analysis Informal Working Group worked to perform a gap analysis for market rate housing. This group estimated the market rate housing needs through the use of US Census data for the Western Region and short term rental (STR) data from LodgingRevs, a STR compliance database. Other measurements used for the market rate housing gap analysis were population growth, changes to the average household size, second home numbers and Northern Arizona's university student population.

RAPID POPULATION GROWTH

Flagstaff is a fast-growing city, drawing in new residents year after year with our strong economy, high quality of life, and cultural attractions.

Since 2000, Flagstaff's population has grown by 47% to 29,060 households and 77,590 people.

Growing population sectors include the elderly, university students, single-parent households, and non-family households. These community members need diverse housing options within proximity to jobs, schools, and services.

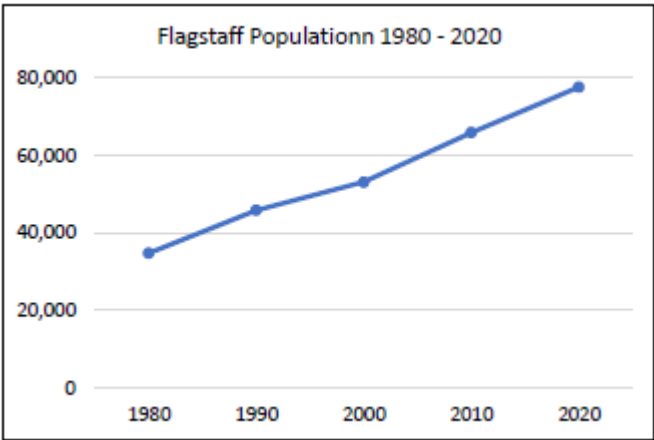
As our population grows, more of our residents experience challenges finding housing within an affordable price range. Flagstaff's household demographics are changing in multiple ways: while more people are moving here, household sizes are decreasing. Both of these factors impact market demands.

Decrease in Average Households Size

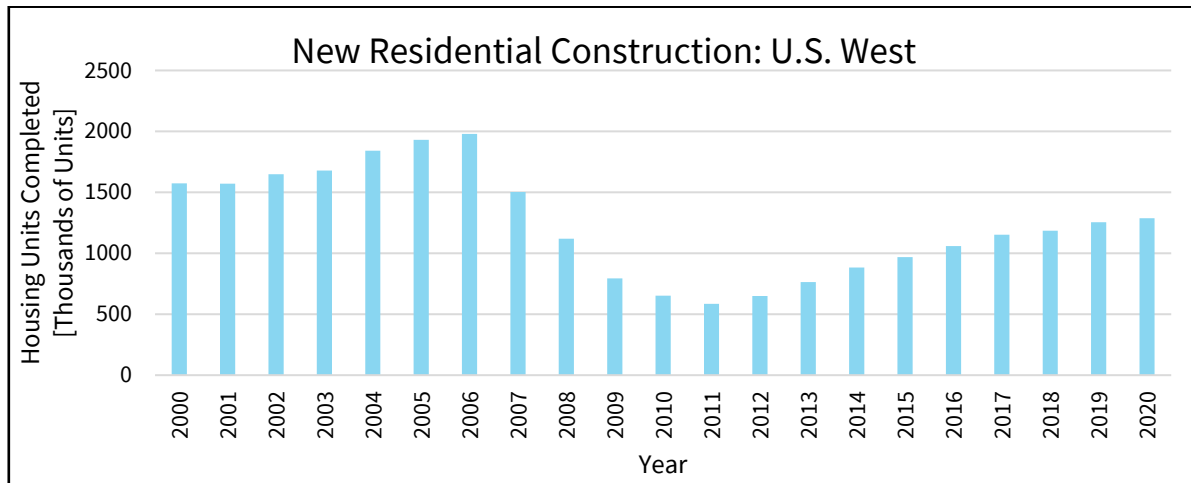
Housing demand is closely related to population and household size. Flagstaff's demographics have seen significant shifts: our population is aging, and household sizes are shrinking.

- ▲ Growth in the 65-year-old and over population has created new demands for affordable, accessible housing. As this older population is aging in place and needs smaller homes, we want to help our older residents stay in Flagstaff.
- ▲ Flagstaff's families are having fewer children and single parent households are rising. These changes increase the need for housing types that fit smaller families.

In conclusion, Flagstaff's average household size has declined from 2.80 in 1990 to 2.67 in 2019. This shift means that more homes are needed for the same population of people, exacerbating Flagstaff's housing gaps.



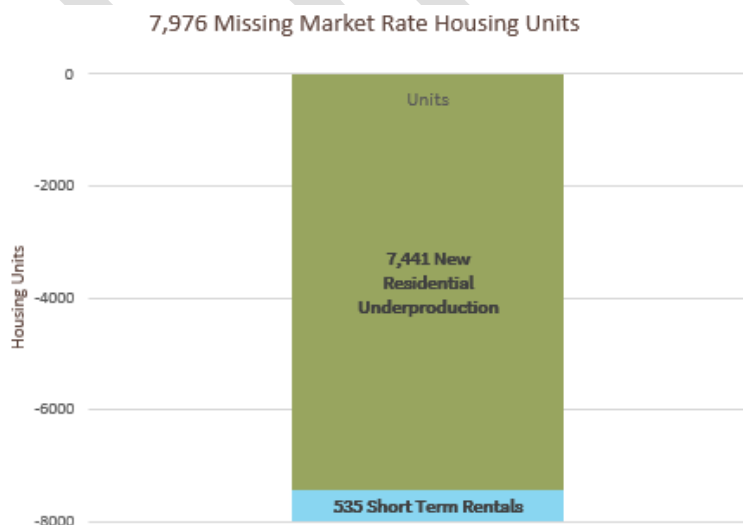
HOUSING PRODUCTION



US Census New Residential Construction, Western Geographic

While Flagstaff has experienced consistent population growth over the last 20 years, the regional housing supply has not grown at the same rate. For example, new residential housing construction in the Western United States was strong in 2006, and then declined in 2007-2011. Housing construction slowly increased after the Great Recession, but still has not returned to 2006 production levels. This regional trend has been replicated in Flagstaff with the decline in homebuilding, all while Flagstaff's population grew by 25,046 people since 2000.

Based on Flagstaff's share of population in the region the market underproduced housing by approximately 7,936 units.



This housing underproduction is complemented by other local household demographics and limited developable land. Housing trends such as second homes and the university student population also exacerbate market rate housing supply.

City Land Designated to Affordable Housing

There are a total of 41.3 acres of city owned land dedicated to affordable housing. This acreage is spread across nine different properties of varying sizes and land use designations. Six of the properties are already zoned for multi-family use, the other three are not and would require rezoning. Over the years several plans for affordable housing on City of Flagstaff's properties were created, but for several reasons – Not In My Backyard (NIMBY) sentiments, financing issues, and changing market conditions – the units were not constructed. If the units from each of those prior plans and additional affordable units from the remaining properties were totaled, an estimated 254 affordable units could be built on City of Flagstaff property designated for housing. It's important to note that actual unit counts will vary depending on development partners, the site planning processes in which all other city requirements are applied, and perhaps most significantly, neighborhood input.

Additional information about the location and number of future affordable housing units will be available as the City of Flagstaff pursues its Rental Assistance Demonstration (RAD) partnership with an experienced affordable housing developer.

In the next 10 years, the City of Flagstaff will endeavor to construct 254 affordable housing units on City property. The responsibility of delivering on our community goal of 7,976 units must be shared among private and public landholders, developers, non-profits and public agencies.

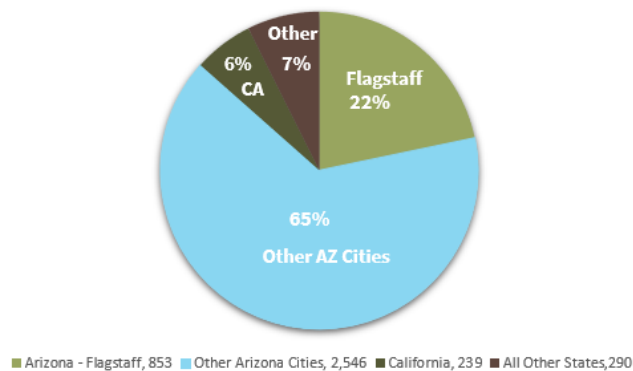
Second Homes in Flagstaff

Another community characteristic impacting market rate housing supply is the large number of second homes in Flagstaff. Second homes are defined as properties that are not used as a primary residence and Flagstaff is a popular choice for second homeowners. Highly impacted by seasonal migration, second homeowners look to Flagstaff to escape the desert heat of lower-lying regions in the summer in Arizona and beyond, visit Arizona's prime mountain town in the winter, and have a home for year-round recreational amenities.

One of climate change's most significant impacts in Flagstaff will be an increase in visitation, migration, and population, resulting in an increase in demand for housing. The Phoenix area – one of the country's fastest growing and largest metro areas, now exceeding five million people – will begin to see hotter and hotter summers, with 24 more days of dangerous heat and temperatures regularly exceeding 120 degrees Fahrenheit¹³ Due to these changes, we can expect visitation and migration to Flagstaff to increase, as many Phoenix-area residents look to escape hotter and hotter temperatures during the summer through weekend visitation, season-long visits, or second homes.

¹³ [Understanding climate change from a global analysis of city analogues](#), July 2019

Where do people who own second homes in Flagstaff live?



In addition, with its temperate climate, Flagstaff is likely to become a climate refuge destination that attracts people from beyond Arizona, as dramatic migration shifts occur across the country.¹⁴ These downstream effects of climate change result in more people in Flagstaff competing for a limited supply of housing, with domino effects on Flagstaff's housing market and land use. We can expect that climate change will dramatically exacerbate Flagstaff's housing problems, making the current crisis worse by increasing the demand for more full-time housing units as well as second homes.

Flagstaff has 3,928 second homes within city limits. This number amounts to 22% of all Flagstaff parcels, significantly affecting the overall housing supply and primary residents' ability to attain housing¹⁵.

Many of second homes in Flagstaff are larger luxury homes, with an average assessed value that is \$30,000 higher than owner-occupied homes. Approximately 853 of those second homes are owned by full-time Flagstaff residents. 2,546 are owned by residents of other cities in Arizona and 529 are owned by residents of other states.

The prevalence of second homes, which are often vacant, eliminates housing options for local residents - especially the highly-demanded four- to five-bedroom homes. On the other hand, even though these larger homes are not occupied year-round, their homeowners are part-time residents contributing to the local economy and taxes.

University Student Population and On Campus Housing Production

Founded in Flagstaff in 1899, Northern Arizona University (NAU) is a growing university with its main campus is located in the heart of Flagstaff. NAU students currently make up approximately twenty six percent (26%) of Flagstaff's population. University students are a valued part of our community, yet their continued demand for housing impacts cost and availability of housing for permanent residents. This results in a higher demand and less supply, mostly for multi-family housing.

NAU's Flagstaff-based undergraduate enrollment increased 51% from 2000 to 2020, rising from an enrollment of 13,546 students to 20,433 students. Over the same period, NAU increased its on-campus housing capacity by 38%, from a capacity of 6,283 students to 10,144 students. NAU takes pride in ranking

¹⁴ [The Flagstaff Carbon Neutrality Plan](#), City of Flagstaff, June 2021

¹⁵ [Coconino County Assessor Office](#), 2021 data

in the top 1% nationally for on- campus housing capacity per student. For the 2020 academic year, student enrollment at NAU's Flagstaff campus f was 20,433. NAU has an on-campus housing capacity of 10,144 units and of those units, 8,951 were occupied, meaning that NAU housed 44% of its Flagstaff-based students in 2020.¹⁶

While NAU has aggressively built on- campus student housing, approximately 11,480 university students still lived off campus in 2020, significantly impacting housing supply and affordability. Many university students find housing in nearby apartment complexes that specifically cater to students through dormitory-style living arrangements. The remaining NAU students compete with other Flagstaff residents for housing, either renting apartments or rooms in single family homes. It is likely that students' access to federally insured student loans and financial support from family members causes them to be less cost-sensitive than other residents. This leads to increases in the average rent the housing market offers.

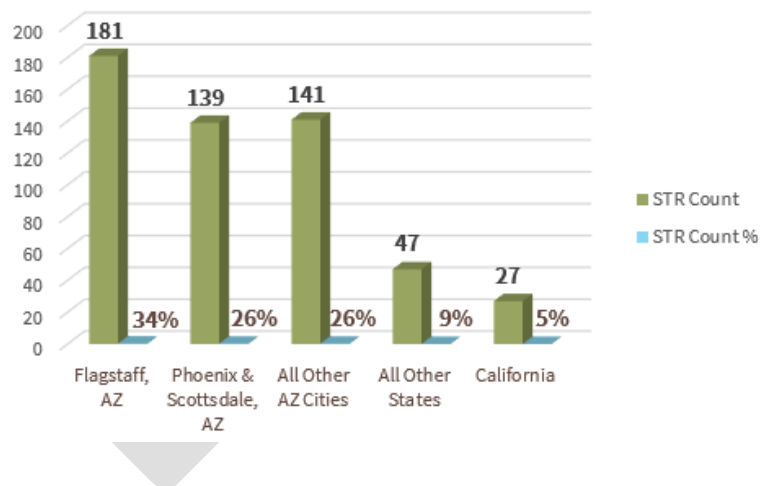
¹⁶ Northern Arizona University, Intuition Research and Analysis, [Fall 2020 Fast Facts](#) and Data provided by NAU

Short-term rentals and Vacation Rentals

Short-term rentals (STRs) have become very popular in Flagstaff. STRs increase pressure on the local housing market by removing approximately 535 housing units from residential use¹⁷. According to Harvard Law and Policy Review¹⁸, short term rentals likely reduce the affordable housing supply by distorting the housing market in two interconnected mechanisms. The first such mechanism is one of simple conversion: any housing unit that was previously occupied by a Flagstaff resident, but is now listed as a short term rental year-round, is a unit that has been removed from the rental market and has essentially been added to [the community's] supply of hotel rooms. This leads to a real, but likely mild, increase in citywide rents, an effect that is concentrated in affluent or gentrifying neighborhoods. Today Flagstaff is short 535 housing units due to short-term rental conversion. Of these 535 non-owner-occupied short-term rentals, the majority are owned by residents from Flagstaff or other major cities in Arizona; 74 (9.3%) owners are from out-of-state.

"Hotelization" is the second mechanism of housing market distortion, according to the Harvard Law and Policy Review study. So long as a property owner or leaseholder can rent out a room on Airbnb [or another short term rental service] for cheaper than the price of a hotel room, while earning a substantial premium over the residential market, there is an overpowering incentive to list each unit in a building on Airbnb rather than rent to [Flagstaff] residents, thereby creating "cottage hotels." This decreases the supply of housing and spurs displacement, gentrification, and segregation.

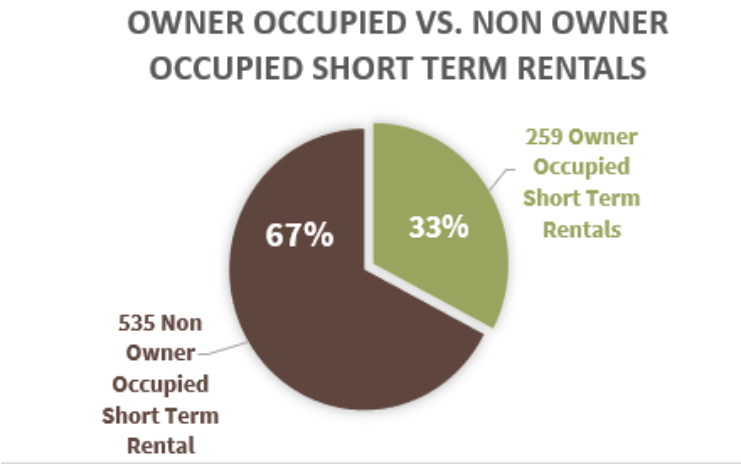
Where do people who own STR in Flagstaff live?



¹⁷ [LODGINGRevs](#), City of Flagstaff Data

¹⁸ [How Airbnb Short Term Rentals Exacerbate Los Angeles's Affordable Housing Crisis: Analysis and Policy Recommendations](#), Dayne Lee

While approximately 259 owner-occupied short-term rentals exist within Flagstaff city limits, the Informal Working Group did not count these owner-occupied, single bedroom short term rentals in the gap analysis. This active income from owner-occupied STRs assists with reducing homeowners' mortgages and possibly removes their household from living housing cost burdened. Perhaps more importantly, because the owner still occupies the home while renting out a room, the home is still housing a full-time resident of Flagstaff and so is not completely taken out of the housing market.



FLAGSTAFF HOUSING SURVEY – QUALITATIVE RESULTS

The 10 Year Housing Plan Survey collected data from Flagstaff residents on local living conditions, the cost of housing, and household goals. This survey builds on ECoNA's Housing Attainability for the Flagstaff Workforce¹⁹. Survey questions were reviewed by working group participants. The resulting data reinforced housing burden tensions for both homeowners and renters, while also generating a wealth of personal comments about Flagstaff's residents housing situations.

The survey was shared with Flagstaff businesses, multifamily developments, community members and the service provider network known as the Continuum of Care. The City shared the survey via social media, Housing Authority program participant newsletters, Flagstaff's Community Forum and clients of emergency shelters and transitional housing. The survey was available online via Survey Monkey and in print at local libraries and with various service providers. Both English and Spanish surveys were available. Refer to [Appendix 4](#) to view the full survey and analysis.

Responses were collected between April 22, 2021 and June 15, 2021. With 2,949 responses, the results were compared with previously available data from the US Census and the Department of Housing and Urban Development data. Data included responses from:

- ▲ 1,833 owners (62.2% of respondents),
- ▲ 943 renters (32.0% of respondents), and
- ▲ 81 people experiencing homelessness (2.7% of respondents).
- ▲ 78 of 85 Flagstaff neighborhoods or 91.8% of neighborhoods with at least one response,
- ▲ 896 (30.4%) provided some additional comment out of 2,949 responses.
- ▲ More than one in four respondents (28.3%) reported having lived in Flagstaff for ten years or more.

Survey responses highlight a wealth of strong opinions related to the housing market. The results reinforce the need to address housing attainability by illuminating the diverse, personal narratives of Flagstaff residents and bring the housing crisis to life. To reiterate from the previous chapter: In a market without subsidies, the people who lose out are Flagstaff's low- to moderate-income residents, which comprise 47% of our community.

¹⁹ [Housing Attainability for the Flagstaff Workforce](#), Economic Collaborative of Northern Arizona, November 2017

HOUSING BURDENED SURVEY RESULTS

Housing burden is defined as households paying more than 30% of their monthly income towards housing. Housing burden calculations were derived from survey respondents that provided income, utility, and monthly housing payment information. Burden calculations assumed a median value when provided a range, such as for income and utilities.

The results show many households are housing cost burdened.

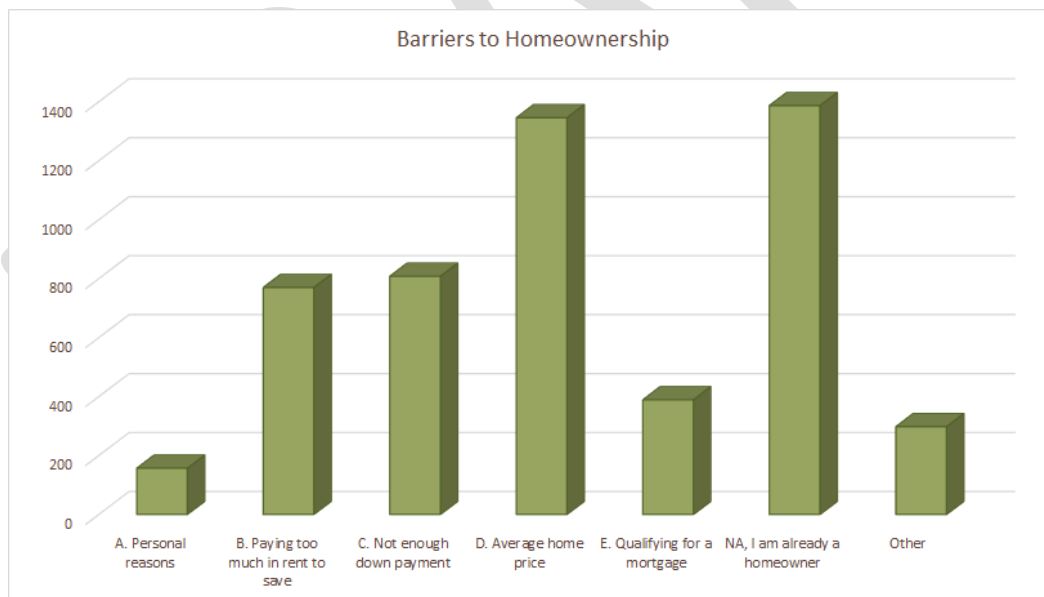
- ▲ More than one in three survey respondents (35.4%) reported being housing burdened.
- ▲ Of renter respondents, one out of two (50.3%) reported being housing burdened.
- ▲ Of homeowner respondents, over one in four (27.2%) homeowner respondents reported being housing burdened.
- ▲ Over one in five renters (22.8%) reported being severely housing burdened, paying 50% or more of their income toward housing costs.

Overall Housing Burden			
Respondents that provided income, utility, and housing payment information			2,041
Respondents housing burdened	868	Respondents severely burdened	315
Percentage housing burdened	35.4%	Percentage severely burdened	12.8%
Owner Housing Burden		Renter Housing Burden	
Owners burdened	396	Renters burdened	454
Owners severely burdened	94	Renters severely burdened	206
Percentage of owners burdened	27.2%	Percentage of renters burdened	50.3%
% of owners severely burdened	8.2%	% of renters severely burdened	22.8%

BARRIERS TO HOMEOWNERSHIP

Almost all respondent answered the question “What, if any, do you see as barriers to homeownership in the future?” Respondents could select more than one barrier, resulting in 5,269 responses from 2,915 respondents. Nearly half of all respondents (46.17%) identified as homeowners. Among respondents that were not already homeowners, almost eight out of nine (88%) cited average home price as a barrier. Over half of the non-homeowners cited paying too much in rent to [be able to] save (50%) or not [having] enough [for] down payment (53%).

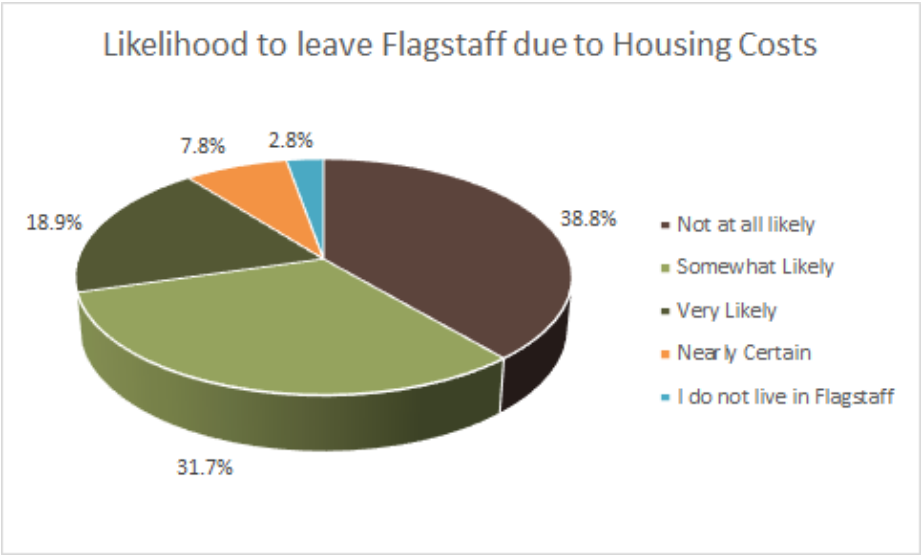
One in four non-homeowner respondents cited qualifying for a mortgage as a barrier (25%) and one in ten cited personal reasons (10%). One in ten of all respondents (10) included a qualitative response comment. These responses are summarized in the word bubble.



RESPONDENTS CONSIDERING LEAVING

Flagstaff residents’ responses to the Housing survey illustrated that the Housing Emergency is causing residents to leave Flagstaff. While nearly two in five respondents (39%) reported that they are “not at all likely” to move from Flagstaff, more than one in four stated they were either “nearly certain” or very likely” to relocate due to housing costs. These responses are contextualized with later comments citing increasing cost of living, increasing rent, rising home prices, student housing, second homes, investment properties, and complaints about the styles of new construction. One respondent added:

“I’m a 4th generation Flagstaff resident but the only people who seem to be able to afford to live here anymore are rich people [...]. The rest of us are hardworking poor who are being driven out.”



HOUSING IS FLAGSTAFF'S INFRASTRUCTURE

Safe, decent, and affordable housing is a vital part of Flagstaff's infrastructure. Because housing is a basic human need that must come first, every unit counts. Affordable housing improves health and the environment, connects people to neighbors, bolsters housing productivity and economic growth, and supports local job creation.

Flagstaff's Interconnected Challenges and Shared Solutions

Informal working groups convened on the topics of housing and health, neighborhood and equity, housing and sustainability, and zoning and land use. Informal working groups were composed of City staff, Housing Commissioners and community experts. City Housing Section staff and the Economic Vitality Section worked together to discuss the connection between housing and economic growth. The working groups discussed how mutually connected housing is to all of the above topics. The groups defined housing barriers and challenges for residents and created policies initiatives and strategies to address the Housing Emergency and advance housing opportunity for all. Below you will read about Flagstaff's interconnected housing challenges and shared solutions.



Source: Live Well Arizona – Elements of a healthy community

Housing is interconnected to:

- ▲ Healthcare
- ▲ Neighborhoods and equity
- ▲ Sustainability
- ▲ Zoning and land use
- ▲ Economic opportunity

Housing and Healthcare

According to Enterprise Community Partners Inc., national survey regarding the link between homes and health, more than half of renters surveyed have delayed healthcare because they couldn't afford it. Furthermore, the survey reveals renters who are paying a high percentage of their income for housing are regularly making difficult tradeoffs between rent and health care.²⁰



A 2020 University of California- Los Angeles study shows that people experiencing homelessness are two to four times more likely to require critical care and two to three times more likely to die than the general population. Stable housing is a basic, cost-efficient form of healthcare that has the potential to improve physical and behavioral health outcomes among vulnerable individuals and families significantly.

Housing with integrated services can take on a number of forms, but the basic idea is connecting homes, where people live, with health care services, either onsite or in the community. More and more research demonstrating that preventive care couples

with stable housing improves people's health, reduces urgent care visits and saves people, taxpayer and health care organizations money.²¹

COVID-19 PANDEMIC

The inextricable link between health and housing, as amplified by the COVID-19 pandemic, has spurred partnerships between healthcare and housing providers in an effort to address housing as a social determinant of health. Such partnerships can leverage additional funding plus the expertise to guide housing experts in addressing the multiple social dimensions of health and social outcomes that contribute to successful affordable housing development.²²

²⁰ [The Link Between Affordable Housing and Healthcare](#), Tanya Sterling, April 5, 2019

²¹ [Health in Housing: Exploring the Intersection Between Housing and Health Care](#), Center for Outcome Research and Education (CORE) in partnership with Enterprise Community Partner, February 2016

²² Arizona Housing Coalition, [Best Practices Toolkit for Municipalities, for Increasing the Supply of Affordable Housing in Arizona](#)

Housing, Neighborhoods & Equity

A child's future should not be determined by the zip code they live in. Unfortunately, educational attainment, employment, upward mobility, and even healthcare can be affected by one's street address and neighborhood. Residing in a home in close proximity to community assets, such as schools, open or green space and healthy foods, encourages interaction with these healthy resources. Likewise, the social environment of a neighborhood impacts health and well-being. Neighborhood context and social dynamics can either reinforce health or determine it.²³

As noted in Flagstaff's Lived Black Experience Strategic Plan, adopted by City Council on December 1, 2020, Dr. Ricardo Guthrie points out that, Flagstaff has documented history of redlining and other socioeconomic practices and policies which have created a pattern of segregation and discrimination against Blacks and communities of color within the City. He further states that when talking about the exclusion of a particular culture or race in a geographic area, it is important to understand that there are multifaceted aspects to such exclusion. For example, segregation can be at once physical (redlining, blockbusting, etc.), systemic (based in social practices, policies, and processes), and ideological (the idea that certain people do not belong in certain spaces, i. e.



NIMBYism). Spatial racial exclusion consists of historic, institutionalized policies and practices which privilege private interests over the public good; this is the social landscape in which the idea that providing equal and equitable access to the public space of community (housing, parks, education, transportation, etc.) is viewed as threatening to privatized interests. The basic problem facing much of the economic and social development of communities of color throughout the country has been a long-held link between race, place, and power.²⁴

For decades, starting at least in the 1930's, low-income and minority communities were intentionally cut off from lending and investment through a system known as redlining. Today, those same neighborhoods

²³ [Housing Phoenix Plan](#), City of Phoenix, 2020

²⁴ [Flagstaff's Lived Black Experience Strategic Plan: A Forgotten People Forging a Path Forward](#), The Lived Black Experience CommUnity Coalition, 2020

suffer not only from reduced wealth and greater poverty, but from lower life expectancy and higher incidence of chronic diseases that are risk factors for poor outcomes from COVID-19. Housing, economic and social policies should aim to eliminate those risks and undo the unfair burdens of structural racism, both past and present.²⁵

Research has shown that neighborhoods can be a good predictor of health. Therefore, it is imperative to place housing in areas of opportunity such as, community spaces, open space, quality schools, food and transportation.

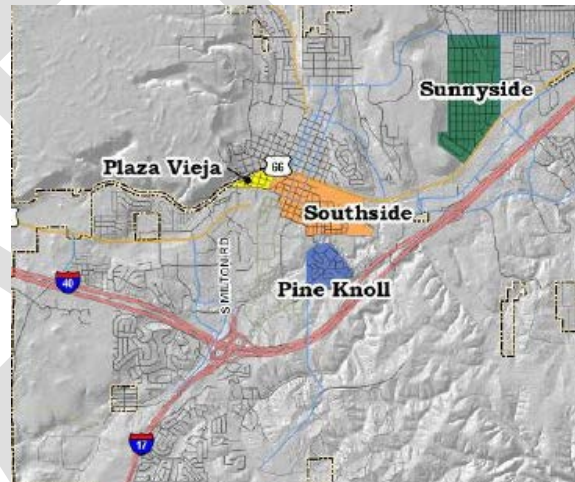
Flagstaff's Four Target Neighborhoods

The City of Flagstaff has identified four target neighborhoods. Target neighborhoods are defined by HUD as those where more than 50% of households have low- to moderate-incomes (80% or less of Flagstaff's Area Median Income).

- ▲ Sunnyside - Census Tract 3, Block Group 2, 3, & 4
- ▲ Southside - Census Tract 8, Block Group 1 & 2
- ▲ Pine Knoll - Census Tract 8, Block Group 3
- ▲ La Plaza Vieja - Census Tract 11.02, Block Group 3.

Together the 8,565 people who live in the target neighborhoods have the following characteristics:

- ▲ 6,210 are considered low- and moderate-income.
- ▲ 33% are Hispanic or Latino.
- ▲ 27% are people of color.
- ▲ 50% live in family households.
- ▲ 21% have a head of household that is 24 years old or younger.
- ▲ 24% own the home they occupy.



Three of these neighborhoods have formed a coalition referred to as the “League of Neighbors”. The coalition includes the Sunnyside Neighborhood Association, La Plaza Vieja Neighborhood Association and the Southside Community Association. Associations work hard to improve neighborhoods with grass-roots efforts in safety improvements, beautification, job development, and community spirit. These resident-driven 501(c)3 organizations work collectively and advocate for continual and necessary infrastructure improvements in historic neighborhoods, more local jobs, increasing voter registration, and unity among neighbors.²⁶

²⁵ [National Community Reinvestment Coalition website](#)

²⁶ [2021 Flagstaff Analysis of Impediments to Fair Housing](#)

Housing and Sustainability

Sustainability Section, City of Flagstaff Carbon Neutrality Plan

The Flagstaff community faces urgent challenges from housing and climate change. The City recognizes that the Housing Emergency and the climate emergency share many common solutions and that advancing housing and advancing climate action are not in conflict with each other. Indeed, implementing shared solutions to both challenges can lead to a stronger, healthier, and more connected Flagstaff.



To reduce emissions and build a stronger community, Flagstaff needs to rethink its housing and transportation systems – what we refer to as 'the Big Shift'. This shift entails building our neighborhoods, so they are more dense, connected and complete, so that residents don't have to travel across town as often. These neighborhoods welcome more neighbors of varying income levels, are stronger because neighbors know and help out one another, and contribute to health, as residents can take active and healthy modes of transportation to get most of what they need nearby. These neighborhoods resemble Flagstaff's oldest, strongest and most lively neighborhoods like Southside and Townsite, which were built before people were dependent on cars. Climate action that

creates these lively and strong neighborhoods can increase housing and help solve the Housing Emergency, too.

Climate action can support lower overall costs of living. When considering the high costs of living in Flagstaff, housing is the greatest concern. But transportation contributes significantly to the cost of living in Flagstaff, and often requires smaller changes to realize cost savings. Many carbon neutrality solutions can decrease transportation costs by reducing dependence on cars. Car ownership can often be a burden for low-income families: AAA calculates that in 2020 new car ownership cost \$9,561 per year for families, not including significant costs to the overall community and the environment²⁷. Transportation costs tend to be lower for those living in neighborhoods where it is safe and accessible to walk, bike, or take transit, and if folks can be car-free, car-lite, or reduce the number of cars in their household, they can significantly reduce their cost of living. Many Flagstaff residents already are car-free or rely very little on personal vehicles, instead using the bus, biking, carpooling, and walking to meet their daily needs. Reducing how much residents must use cars can reduce the cost of living and make it so that more people can afford to live in Flagstaff.

²⁷AAA, [Your Driving Costs](#), 2020

Housing is critical to community health and overall resilience. As we anticipate changes to Flagstaff's climate and social systems, we know that different groups in Flagstaff have different levels of resilience, or ability to withstand challenges like a power outage, school closure, or a medical emergency. Those who are facing housing insecurity are more vulnerable to the impacts of climate change – and so today's current Housing Emergency means Flagstaff is not as strong a community as it could be. One's financial security and housing security can impact their ability to adjust to both short-term shocks like flooding and long-term shifts like increases in housing prices. Low-income residents, communities of color, and Indigenous individuals are more likely to experience disproportionate impacts from climate change. Improving housing in Flagstaff will mean that more residents can live in healthy homes and are better prepared for the changing climate.

An increasing Flagstaff population does not necessarily lead to an increase in overall greenhouse gas emissions. This is because Flagstaff is not a snow globe: our emissions contribute to the world's greenhouse gas emissions, and emissions increases in Flagstaff can be offset by decreases in emissions elsewhere. Indeed, when residents move to Flagstaff there is an opportunity to actually decrease overall emissions. For instance, when a new resident moves to Flagstaff, they might live in Flagstaff in a home that is energy-efficient and that allows them to walk and bike and bus many place in Flagstaff: this lower-impact living is GOOD for climate if it allows the new resident to use less energy in their home and transportation. Yet when people cannot find housing in Flagstaff, they may choose to live in one of Flagstaff's outlying communities, or even commute from further-flung cities like Williams and Winslow. This may contribute to higher overall greenhouse gas emissions, if this new resident of Northern Arizona now has a long commute to a job in Flagstaff, leading to higher emissions overall. Because Flagstaff and northern Arizona cannot avoid growth, ensuring that that growth is done in a sustainable way is critical to reducing overall greenhouse gas emissions.

Addressing these community-wide issues can create significant opportunity. Yet implementing these community solutions will require rethinking our systems and moving away from today's status quo – a status quo that does not work for many people who struggle to live in Flagstaff and is contributing to global climate change. Shaking up our systems will require courage to move out of our comfort zone, to try new things, and change the way we do business. This will be difficult, but these changes can help Flagstaff create more opportunities and become a more welcoming and inclusive community. Most importantly, climate action and increasing housing supply can allow Flagstaff's residents to access a higher quality of life.

Zoning and Land Use

Arizona Housing Coalition, Best Practices Toolkit for Municipalities, for Increasing the Supply of Affordable Housing in Arizona

Limited land and the current shortage in housing supply, relative to demand are the primary reasons housing cost are increasing. A significant increase in housing supply is necessary to keep pace with current and projected housing demands. Strategies around affordable housing are incomplete when the focus is solely on increasing supply without giving attention to increasing density, establishing building innovation and cost saving practices, preserving affordable housing stock that already exists in our community and reviewing city codes, processes and fees to determine whether modification, reductions, or elimination would facilitate cost saving housing development strategies.



According to Arizona Housing Coalition, Best Practices Toolkit for Municipalities, overregulation of land use can create barriers to affordable housing supply. Zoning regulations, parking requirements, height restrictions, lengthy permitting processes, city codes and community opposition can contribute to increased development costs. Overregulation can restrict the ability of the developer to offer affordable rents and mortgages. Addressing overregulation and reform of land use policy is therefore a vital strategy to addressing housing affordability.

A prominent barrier to affordable housing development is the State law prohibition on mandatory inclusionary zoning policy. Inclusionary zoning policies are imposed at the local municipal level to require private developers to set aside a certain percentage of their units within new construction projects at an affordable rent, yet, Arizona is one of only three states in the nation that prohibits mandatory inclusionary zoning through State law. Until such time as our State law is changed, mandatory inclusionary zoning is not a tool available to Arizona's local municipalities for increasing the supply of affordable rental housing.²⁸

While municipalities cannot supersede this State law regulation, they may mitigate its effects through the creation of policies that incentivize the inclusion of affordable units. Land use policy reform can be critical to encouraging equitable development in response to the Flagstaff's affordable Housing Emergency.

²⁸ [Best Practice Toolkit for Municipalities, for Increasing the Supply of Affordable Housing in Arizona](#), Arizona Housing Coalition, Joanna Carr 2020

Housing and Economic Opportunity

Flagstaff Workforce Housing Attainability Report (Economic Collaborative of Northern Arizona - 2017) & Economic Vitality Division, City of Flagstaff

Economic Collaborative of Northern Arizona's Flagstaff Workforce Housing Attainability Report stated in its Executive Summary that there is nearly universal agreement among large employer stakeholders that high housing costs negatively impact employee retention and recruitment. It continues the lack of workforce housing has two primary negative effects on workforce: hindering recruitment...and employee retention issues.²⁹



and difficulties hiring can lead to relocation or reductions. Additionally, new businesses that may have located to Flagstaff can be deterred by difficulty in relocating their current staff or perceived challenges with recruitment. As talent becomes more difficult to recruit and retain the economic diversity and prosperity of the community suffers.

Not only does the higher cost of housing impact recruitment and retention, but when a large percentage of the population spends more than 30% of their income on housing it limits other spending in the economy. As higher proportions of income go to rents and mortgages this leaves less for spending in local stores and restaurants which slows economic growth and restricts sales tax receipts for local governments.

The ability to adequately and affordably house people at all income levels significantly impacts the ability to recruit and retain the workforce needed for a robust and diverse economy. Losing talent and experience to lower priced communities will degrade Flagstaff's ability to compete for businesses and maintain jobs for those able to live here. Additionally, when people are housing cost burdened, they are less able to

²⁹ [Housing Attainability for the Flagstaff Workforce](#), Economic Collaborative of Northern Arizona, November 2017

participate in the economy than they would be otherwise which further limits prosperity. With stories of high paid professionals leaving the community because they could not find acceptable housing more and more common, it is clear that high housing prices are already impacting Flagstaff's economy in a negative way.

CONCLUSION

Flagstaff residents have made our mountain town the resilient community that it is today. As the City of Flagstaff works to provide equitable solutions to address the Housing Emergency for local residents, we will strive to ensure that affordable housing opportunities and subsidies are available for residents at all income levels and all stages of life.

This Plan establishes one overarching goal, supported by two fundamental elements that together will significantly impact housing attainability. The goal will be achieved through the implementation of the policy initiatives and strategies in this document. Implementation of the policy initiatives and strategies will be accomplished by the City of Flagstaff through the budget process, collaboration with City staff and private, public and nonprofit partnerships.

Reduce the current affordable housing need in our community by half over the next ten years.

- ▲ Element one: Create or preserve 7,976 units by 2031 with a minimum of 10% affordable to increase the overall supply of market rate, workforce and affordable housing occupied by local residents.
- ▲ Element two: Impact 6000 low to moderate Flagstaff residents through a combination of unit creation or subsidy provision

The City of Flagstaff's mission – to protect and enhance the quality of life for all – directly aligns with the overarching goal of this Plan. Together with funding, partnerships and the community's support, the City of Flagstaff can provide subsidies and ensure a variety of housing options to the full spectrum of residents who call Flagstaff their home.

This Plan's policy initiatives and strategies will be implemented by the City of Flagstaff through the budget process, collaboration with City staff, and private, public and nonprofit partnerships. For the [Detailed List of Policy Initiatives and Strategies](#) that includes scope, term lengths and City collaboration, please see page 45.

Over the next ten years, the City will continue to advance housing opportunities for all Flagstaff residents. Flagstaff's 10 Year Housing Plan is the City's foundational framework for establishing work programs, prioritizing staff work and allocating the necessary funding for its implementation.

Detailed List of Affordable Housing Policy Initiatives & Strategies

10 Year Housing Plan Policy Initiatives & Strategies Create Connect Preserve Protect		Scope for Strategy								
L - Low time commitment M- Medium time commitment H - High time commitment	Indicator for level of funding required ST - Staff Time \$ - Low \$\$ - Medium	Time Commitment	Public Engagement	Requires Council Consideration	Funding Required	Immediate Term (18 Months)	Short Term (1 - 4 Years)	Long Term (5-10 Years)	Ongoing	Division/Section Involvement
Create housing options for households at all income levels and family sizes occupied by local, residents.										
Create 1: Create a dedicated funding source for affordable housing in Flagstaff.										
Create 1.1	Present 2022 Bond Measure to Council and Community for consideration for additional funding to be leveraged with local, state and federal dollars.	H	H	Yes	\$	x				Management Service, Housing Section
Create 1.2	Create a fund for the purpose of acquiring land/units for affordable housing in order to be able to respond to opportunities as they arise.	L	L	Yes	\$\$\$		x		x	Real Estate Section, Management Services, Housing Section

Create 1.3	Identify ongoing resource opportunities for the purpose of assisting households experiencing homelessness, households at risk of becoming homeless, first time homebuyers, and affordable housing targeted to these populations.	L	L	Yes	\$\$\$		x		Management Service, Housing Section
Create 1.4	Explore other funding mechanisms for affordable housing developments such as Revitalization district and dedicated sales tax.	M	L	Inform	ST			x	Economic Vitality, Management Services, Housing Section
Create 2: Explore building innovations and cost saving practices.									
Create 2.1	Hire an independent consultant to review city codes, processes and fees to determine whether modifications, reductions, or eliminations would facilitate cost saving housing development strategies.	H	L	Yes	\$\$		x		Economic Vitality, Zoning Code, Building Safety, Sustainability, Current Planning, FPD, Management Services, Flagstaff Fire Department, Housing Section
Create 2.2	Explore innovative tools and techniques to limit costs for regional development impacts on individual development projects, such as infrastructure.	H	L	Inform	ST			x	Zoning Code, Current Planning, Housing Section
Create 2.3	Create a dedicated team specifically for affordable housing projects.	L	L	No	ST		x		Current Planning, Housing Section
Create 2.4	Establish a simplified entitlement (i.e. rezoning and conditional use permit) and development review process.	H	L	Yes	ST		x		Zoning Code, Capital Improvements and Engineering, Current Planning
Create 2.5	Explore alternative Engineering and Fire requirements to minimize the cost of development without compromising Fire and Life Safety.	H	L	Yes	ST			x	Building Safety, Capital Improvements and Engineering, Current Planning, FPD, Flagstaff Fire Department, Housing Section

Create 2.6	Make pre-approved standard plans available to property owners to reduce planning and review costs.	M	L	Yes	\$\$			x	Building Safety, Capital Improvements and Engineering, Current Planning, Flagstaff Fire Department, Housing Section
Create 2.7	Construct and promote net zero or Net Zero Ready affordable housing when funding is available and encourage private developers to do the same.	M	L	Yes	\$\$\$			x	Sustainability, Housing Section
Create 2.8	Prioritize Capital Improvement Projects that facilitate affordable housing.	M	L	Yes	ST			x	Capital Improvements and Engineering, Sustainability, Current Planning, Management Services
Create 2.9	Prioritize the development of City of Flagstaff owned land designated for affordable housing and evaluate other city owned parcels for affordable and mixed-income housing.	H	H	Yes	\$\$\$			x	
Create 3: Ensure that the Flagstaff Regional Plan includes robust affordable housing goals and policies.									
Create 3.1	Update the Regional Plan policies to support increased density related to affordable housing.	H	H	Yes	\$\$\$			x	Sustainability, Current Planning, Housing Section
Create 3.2	Identify suburban areas that have the existing infrastructure to support greater density and intensity of development.	H	H	Yes	\$\$\$			x	Capital Improvements and Engineering, Sustainability, Current Planning, Housing Section

Create 3.3	During the update of the Flagstaff Regional Plan, revise the Community Character chapter for goals and policies to include cost saving methods that reduce the conflict between affordable housing, historic preservation and urban design.	H	H	Yes	\$\$\$			x		Sustainability, Current Planning, Housing Section
Create 4: Amend the Flagstaff Zoning Code to facilitate the development of all housing types.										
Create 4.1	Review and amend the Planned Residential Development (PRD) standards and process to address barriers for infill development and allow for more flexibility in development options, building types, and lot configurations.	H	M	Yes	\$\$			x		Zoning Code, Building Safety, Current Planning, Flagstaff Fire Department, Housing Section
Create 4.2	Explore options with appropriate land use and economic studies as necessary that could integrate affordable housing units to be developed in commercial and industrial locations where suitable.	M	L	Yes	\$\$			x		Economic Vitality, Zoning Code, Building Safety, Current Planning, Flagstaff Fire Department, Housing Section
Create 4.3	Explore adding affordable housing as an allowed use in the Public Facilities (PF) Zone.	M	M	Yes	ST	x				Zoning Code, Building Safety, Flagstaff Fire Department, Housing Section
Create 4.4	Review parking standards for all residential development with the goal of reducing the cost of development and increasing the number of dwelling units that may be achieved.	M	M	Yes	ST			x		Zoning Code, Building Safety, Sustainability, Current Planning, Traffic Engineers, Flagstaff Fire Department, Housing Section

Create 4.5	Evaluate and amend the Resource Protection Overlay standards to ensure that the minimum densities can be met on most sites, including making the requirements for residential sites to be similar to those for a commercial site.	M	M	Yes	ST			x		Zoning Code, Current Planning, Housing Section
Create 4.6	Evaluate Resource Protection Overlay standards in terms of consistent application across each zone and allow for greater maximum densities.	M	M	Yes	ST			x		Zoning Code, Current Planning, Housing Section
Create 4.7	Continue to evaluate and amend the current Accessory Dwelling Unit (ADU) zoning code standards with the goal of increasing supply.	L	M	Yes	ST		x			Zoning Code, Housing Section
Create 4.8	Explore allowing additional flexibility for homeowners and landlords to increase density.	M	M	Yes	ST			x		Zoning Code, Building Safety, Current Planning, Flagstaff Fire Department, Housing Section
Create 5: Incentivize the creation of affordable units through various programs and mechanisms.										
Create 5.1	Ensure that modifications to the zoning code improve and maintain the effectiveness of the density incentives for affordable housing.	M	M	Yes	ST				x	Zoning Code, Current Planning, Housing Section
Create 5.2	Update the City's affordable housing incentive policy to implement the goals and policies of the 10 Year Housing Plan.	H	H	Yes	ST		x			Current Planning, Housing Section
Create 5.3	Amend the city code to implement the revised affordable housing incentive policy.	H	H	Yes	ST		x			Zoning Code, Building Safety, Current Planning, Management Services, Flagstaff Fire Department, Housing Section

Create 5.4	Explore implementing reduced fees and waivers to incentivize the development of affordable housing.	H	H	Yes	ST		x			Zoning Code, Building Safety, FPD, Management Services, Flagstaff Fire Department, Housing Section
Create 5.5	Explore in-lieu alternatives to providing affordable housing units (e.g. down payment assistance program, donation of finished lots, in-lieu payment, etc.).	H	H	Yes	ST		x			Real Estate Section, Zoning Code, Building Safety, Flagstaff Fire Department, Management Services
Create 5.6	Explore expedited review as an incentive to developments that provide affordable housing units.	H	L	Yes	ST		x			Zoning Code, Building Safety, Capital Improvements and Engineering, Current Planning, Housing Section
Create 5.7	Explore ways to incentivize employers to offer Employer Assisted Housing (EAH) programs.	M	H	No	ST				x	FPD/HR (for success stories), Housing Section, Economic Vitality
Create 5.8	Explore the use of the community land trust model and public/private partnerships to incentivize the development of ownership units that are priced significantly below market rate.	M	L	Yes	ST		x			Real Estate Section, Housing Section

Connect people to equitable housing solutions.

Connect 1: Implement a framework for centering equity in proposed and existing housing practices, policies and programs.

Connect 1.1	Evaluate housing policies and strategies in City of Flagstaff planning documents through an equity lens.	M	M	Yes	ST				x	Housing Section
Connect 1.2	Encourage community organizations such as local Continuum of Care to continue to integrate equity into programs and policies.	M	H	No	ST				x	Housing Section
Connect 1.3	Explore reviewing member composition of the Housing Commission and Housing Authority Board to ensure racial and economic diversity reflective of the Flagstaff community and present to Council for input.	M	M	Yes	ST		x			Housing Section
Connect 1.4	Utilize City of Flagstaff resources to educate the community about financing and housing opportunity with an emphasis on assisting low- to moderate-income households to advance through the housing continuum and to address past racial disparities.	M	M	No	\$				x	Housing Section

Connect 2: Reduce homelessness in the Flagstaff community and seek creative solutions to foster housing permanency for all.

Connect 2.1	Explore the feasibility of a one-stop shop for a pre-qualification letter or document that avoids application fees for rentals.	M	H	No	ST			x		Housing Section
Connect 2.2	Create housing navigator or advocate positions to assist both landlords and housing challenged populations in securing and maintaining housing.	M	L	Yes	\$\$	x				FPD, Housing Section

Connect 2.3	Continue to support and develop Coordinated Entry as a meaningful process that provides linkages to healthcare, behavioral health and housing.	M	H	Yes	\$				x	Housing Section
Connect 3: Integrate healthcare into housing programs and housing into healthcare programs as appropriate										
Connect 3.1	Raise awareness of housing security as a social determinate of health.	M	M	No	ST				x	
Connect 3.2	Encourage neighborhoods, housing types and building practices that increase health.	M	M	No	ST				x	Current Planning, Housing Section
Connect 3.3	Work in partnership with the community to develop and promote community health measurement data collection into housing services when viable.	H	M	No	ST				x	FPD, Housing Section
<i>Preserve affordable housing.</i>										
Preserve 1: Expand efforts to preserve existing housing stock										
Preserve 1.1	Continue homeownership rehabilitation program and create an affordable rental rehabilitation program with a focus of establishing safe, decent and sustainable housing.	M	M	Yes	\$				x	Housing Section
Preserve 1.2	Acquire and rehabilitate already built properties for affordable housing projects when financially feasible.	H	L	Yes	\$\$\$			x		Real Estate Section, Management Services. Housing Section
Preserve 2: Encourage the adaptive reuse of buildings										
Preserve 2.1	Explore the use of Low-Income Historic Tax Credit in conjunction with Historic Preservation Tax Credit for acquisition and rehabilitation affordable housing where appropriate.	M	L	No	ST				x	Economic Vitality, Housing Section

Preserve 2.2	Review the Land Use Goals and Policies in the Regional Plan, Specific Plans, and City Code to remove barriers to adaptive reuse for the creation of affordable housing.	H	M	Yes	ST			x		Economic Vitality, Housing Section
Preserve 2.3	The City's Housing Section and the Sustainability Section will partner to seek and administer grants for housing programs and developments that invest in environmentally friendly, retrofits and upgrades.	M	L	Yes	\$				x	Sustainability, Management Service, Housing Section
<i>Protect people from housing discrimination and remove housing barriers.</i>										
Protect 1: Continue Flagstaff's commitments to further Federal and Arizona Fair Housing laws in all housing-related services and programs, support those who seek to reduce barriers to equitable housing opportunities and provide Fair Housing education and resources to the community.										
Protect 1.2	Work with community partners to ease reentry, assess the need for alternative housing models and processes, and create necessary programs that address the systemic and structural barriers to justice-impacted citizens.	M	H	No	ST				x	FPD, Housing Section
Protect 1.3	Examine and update if needed the City of Flagstaff's Housing Limited English Proficiency (LEP) Plan.	M	L	No	ST		x			Management Services, Housing Section
Protect 1.4	Research ways to provide incentives to landlords who rent to those with any housing voucher or housing barriers such as poor credit, criminal history etc.	M	M	Yes	ST		x			Management Services, Housing Section
Protect 1.5	Support local social service network in establishing a home share program inclusive of features like peer support and conflict resolution.	L	H	No	ST			x		Housing Section

Protect 2: Ensure affordable housing is a part of every Flagstaff neighborhood and work to address disparate impact as part of any development or redevelopment.

Protect 2.1	Create and maintain an Affordable Housing Impact Statement.	H	M	No	ST		x			
Protect 2.2	Encourage diversity in housing options in all neighborhoods, understanding that exclusive communities are incompatible with the City of Flagstaff's mission to protect and enhance the quality of life for all.	M	L	No	ST				x	Housing Section
Protect 2.3	Evaluate, better understand, and if necessary develop strategies to address the disparate impacts of programs like Crime Free Multi-Housing and other relevant programs and policies.	M	H	Yes	ST	x				FPD, Housing Section
Protect 2.4	Implement a public outreach campaign to educate the community about the critical role affordable housing plays in a thriving community, creating a groundswell of support for affordable housing and combat Not in My Backyard (NIMBY) opposition to housing and affordable housing.	M	H	No	\$	x				Sustainability, FPD, Housing Section

Protect 3: Continue to lobby and support federal and state legislation to encourage changes to federal and state laws, and to increase the amount of funding available for the preservation and construction of affordable housing.

Protect 3.1	Advocate to the State of Arizona to allow greater local control of vacation rentals and second homes.	M	L	Yes	ST				x	Economic Vitality, Management Services, Housing Section
Protect 3.2	Pursue local and legislative changes that increase the preservation, creation and protection of affordable housing as necessary.	M	L	Yes	ST				x	Housing Section
Protect 3.3	Explore expanding State and local fair housing protected classes to include items such as age, source of income, sexual orientation and gender identity.	M	L	Yes	ST				x	Housing Section

KEY TERMS

Dehumanizing labels stereotype and marginalize people rather than support them while they rebuild their lives. The words we use to reference people should reflect their full identities and acknowledge their capacity to change and grow.

Affordable Housing: According to HUD, Affordable housing is generally defined as housing on which the occupant is paying no more than 30 percent of gross income for housing costs, including utilities.

Continuum of Care: According to HUD, a CoC is "a community plan to organize and deliver housing and services to meet the specific needs of people who are homeless as they move to stable housing and maximize self-sufficiency. It includes action steps to end homelessness and prevent a return to homelessness. " HUD identifies four necessary parts of a continuum:

- Outreach, intake, and assessment in order to identify service and housing needs and provide a link to the appropriate level of both;
- Emergency shelter to provide an immediate and safe alternative to sleeping on the streets, especially for homeless families with children;
- Transitional housing with supportive services to allow for the development of skills that will be needed once permanently housed; and
- Permanent and permanent supportive housing to provide individuals and families with an affordable place to live with services if needed

Equity: According to HUD, Equity refers to proportional representation (by race, class, gender, etc.) of opportunities in housing, healthcare, employment, and all indicators of living a healthy life. When talking about equity, it is helpful to distinguish it from equality. Equality is typically defined as treating everyone the same and giving everyone access to the same opportunities. The assumption is that everyone will benefit from the same support and services. This is not true. Some populations are situated differently because of historical and current discrimination against them. Equity addresses those difference. Equality is about sameness; it focuses on making sure everyone gets the same thing. Equity is about fairness; it ensures that each person gets what the person/population needs. To achieve equity, policies and procedures may result in an unequal distribution of resources but will lead to equitable outcomes for everyone. Source: [HUD Exchange](#)

Experiencing Homelessness: According to Phoenix Community Alliance, an individual or family that lacks a fixed, regular and adequate nighttime residence, such as those living in emergency shelter, transitional housing or places not meant for human habitation.

Housing First: According to the National Alliance to End Homelessness, Housing First is a philosophy that values flexibility, individualized supports, client choice, and autonomy. It never has been housing only, and it never should be. Supportive services are part of the Housing First model. That might include formal support services, like a doctor, therapist, or social worker.

Key Terms, continued

Justice Impacted Citizens: According to the Law School Admission Council, Justice-impacted individuals include those who have been incarcerated or detained in a prison, immigration detention center, local jail, juvenile detention center, or any other carceral setting, those who have been convicted but not incarcerated, those who have been charged but not convicted, and those who have been arrested.

Not In My Backyard (NIMBY): According to Oxford Languages, NIMBY is a person who objects to the siting of something perceived as unpleasant or hazardous in the area where they live, especially while raising no such objections to similar developments elsewhere.

Racial Equity: According to HUD, Racial equity is the condition that would be achieved if one's racial identity no longer predicted, in a statistical sense, one's housing, economic, and health outcomes. With racial equity, race would no longer be used to predict outcomes, and outcomes for all groups are improved. Racial equity includes addressing root causes of inequities, not just their outcomes. This includes elimination of policies, practices, attitudes, and cultural messages that reinforce differential outcomes by race or otherwise fail to address them. Racial equity is also a process. This means that Black people, Indigenous people, and people of color—those most impacted—are part of the decision-making about funding, policies and programs. Sources: [Center for Assessment and Policy Development](#) and [Center for Social Inclusion](#)

Second homes: Properties that are not used as a primary residence.

Subsidies: According to Phoenix Community Alliance, Housing subsidies come in many forms, but the main objective is to supplement or offset monthly housing costs for individuals or families to remain in housing. Forms of subsidies include direct housing subsidies, public housing, rent supplement and some types of cooperative housing.

Target Neighborhoods: A qualified census tract where 51% or more of the households have an income which is 80% or less of Flagstaff's Area Median Income

THANK YOU

Coming soon

City Council

Mayor Paul Deasy
Vice Mayor Becky Daggett
Councilmember Austin Aslan
Councilmember Jim McCarthy

Councilmember Miranda Sweet
Councilmember Regina Salas
Councilmember Adam Shimoni

Housing Commission

Eric Davis
Tyler Denham
Nicole Ellman, Chair
Karen Flores
Sandi Flores

Khara House, Vice Chair
Chris Kemmerly
Devonna McLaughlin
Moses Milazzo
Erin O’Loughlin

Adrah Parafiniuk
Tad Riggs
Ross Schaefer Altenbaugh
Jo Wheaton

Project Management Team

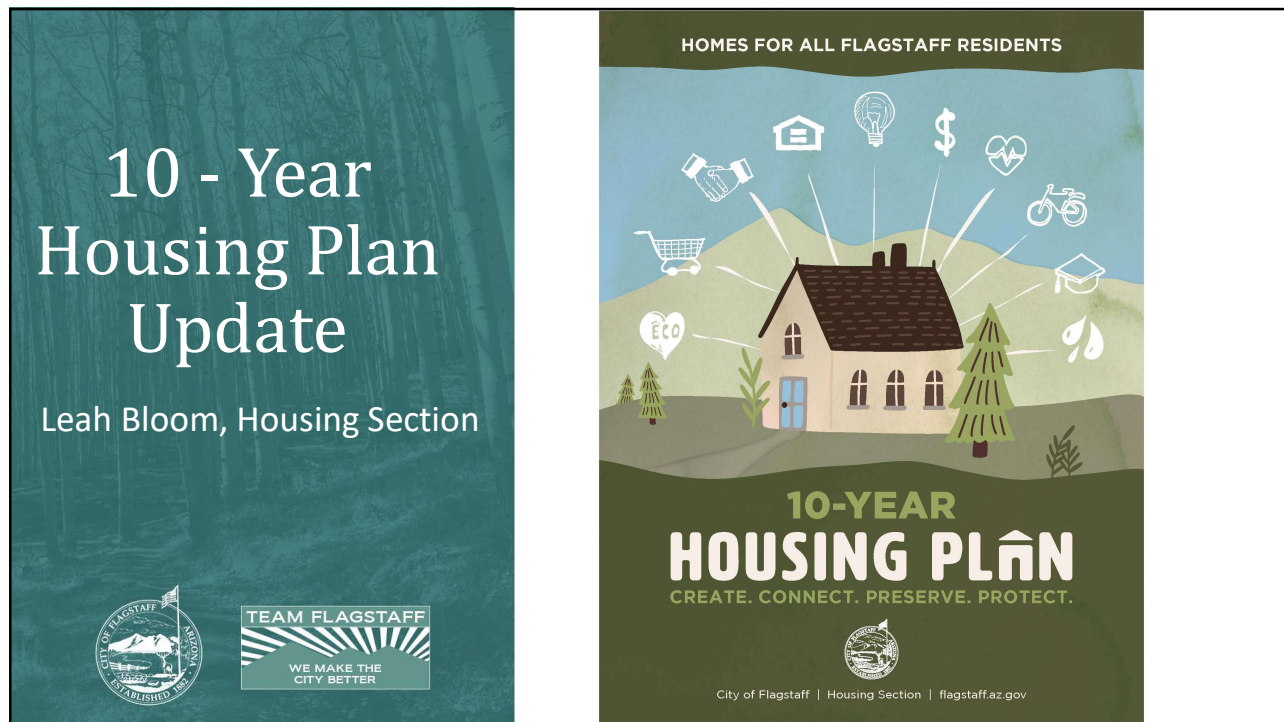
Sarah Darr, Housing Director
Justyna Costa, Assistant Housing Director
Leah Bloom, Housing Project Manager

Informal Working Group Members

Coming Soon

City of Flagstaff Staff

Coming Soon



1

Topics of Discussion

Housing Emergency Declaration

- Shared Solutions

Public Participation & Project Timeline

- Complete
- Underway

Draft Plan

- Affordable Housing Education

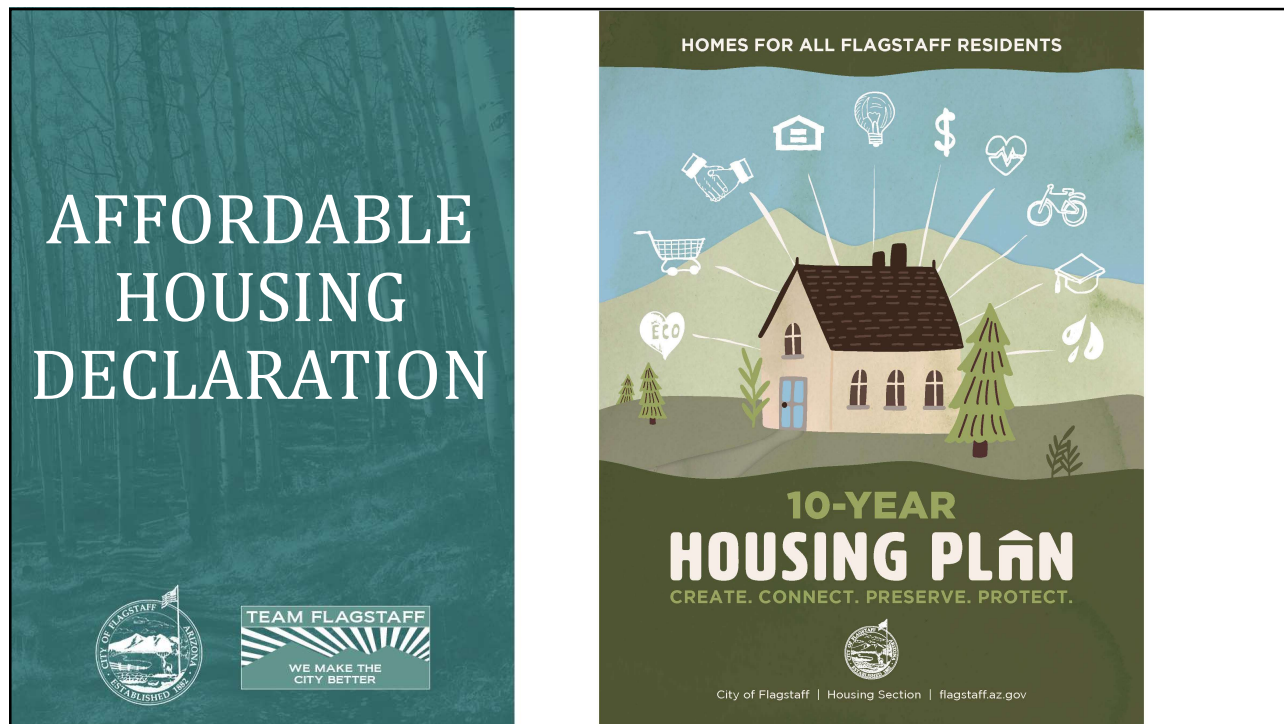
Flagstaff Needs Assessment

- Local data
- Gap Analysis
- Housing Survey


Solutions

- Overarching Goal
- Draft Policy Initiatives & Strategies


2



3



Housing Emergency Declaration



Council declared a housing emergency in December 2020

- Encourage more **economically priced housing** construction for workforce
- Increase attainable housing opportunities for and **occupied by local residents.**
- Explore and support **additional local funding resources** for the creation of affordable housing units and expansion of programs to improve housing.
- **Foundational framework for establishing work programs, prioritizing staff work and allocating necessary funding for its implementation.**

4



Housing Emergency Declaration



10 - Year Housing Plan

- Within nine months a Housing Plan focused on housing development and preservation within the City for the next 10 years will be presented to Council.
- Requires Housing Commission input
- Present to City Council for consideration

A single, comprehensive community-facing document to summarize the City's immediate and long-term needs and strategies to improving housing affordability.

5



Flagstaff's Interconnected Challenges and Shared Solutions

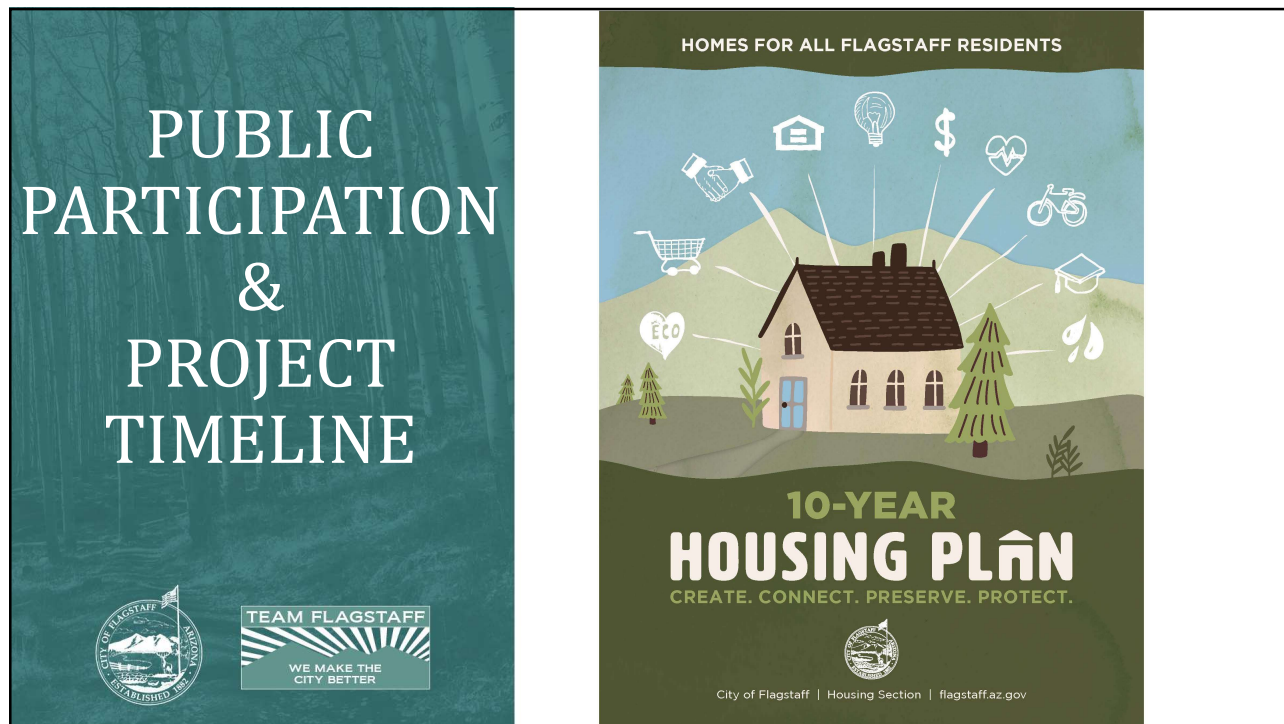


Housing is interconnected to:

- Healthcare
- Neighborhoods and equity
- Sustainability
- Zoning and land use
- Economic opportunity



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Public Participation



Informal Working Groups

Included Commissioners, City Staff, Community Members

Policy Working Group

1. Affordable Housing **Gap Analysis**
2. **Neighborhood Context & Equity**– Neighborhood and
3. Connection between **Housing and Sustainability**
4. Connection between **Health and Affordable Housing**
5. **Zoning and Land Use**



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Inclusive Public Participation



Included Commissioners, City Staff, Community Members

Community Members, Realtors, Lenders, Architect, Developers, Builders, Teachers, Indigenous Commissioners, Data Scientist, Homeowners & Renters, Friends of Flagstaff's Future, ECoNA, Flagstaff Chamber, NAU, Native Americans for Community Action, Flagstaff Shelter Services, The Guidance Center, North Country, Northern Arizona Regional Behavioral Health Authority, Health Choice, Housing Solutions of Northern Arizona, Catholic Charities, Coconino County, League of Neighborhoods, Interfaith Council and more.



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Public Participation



Completed:

✓ Community Housing Survey

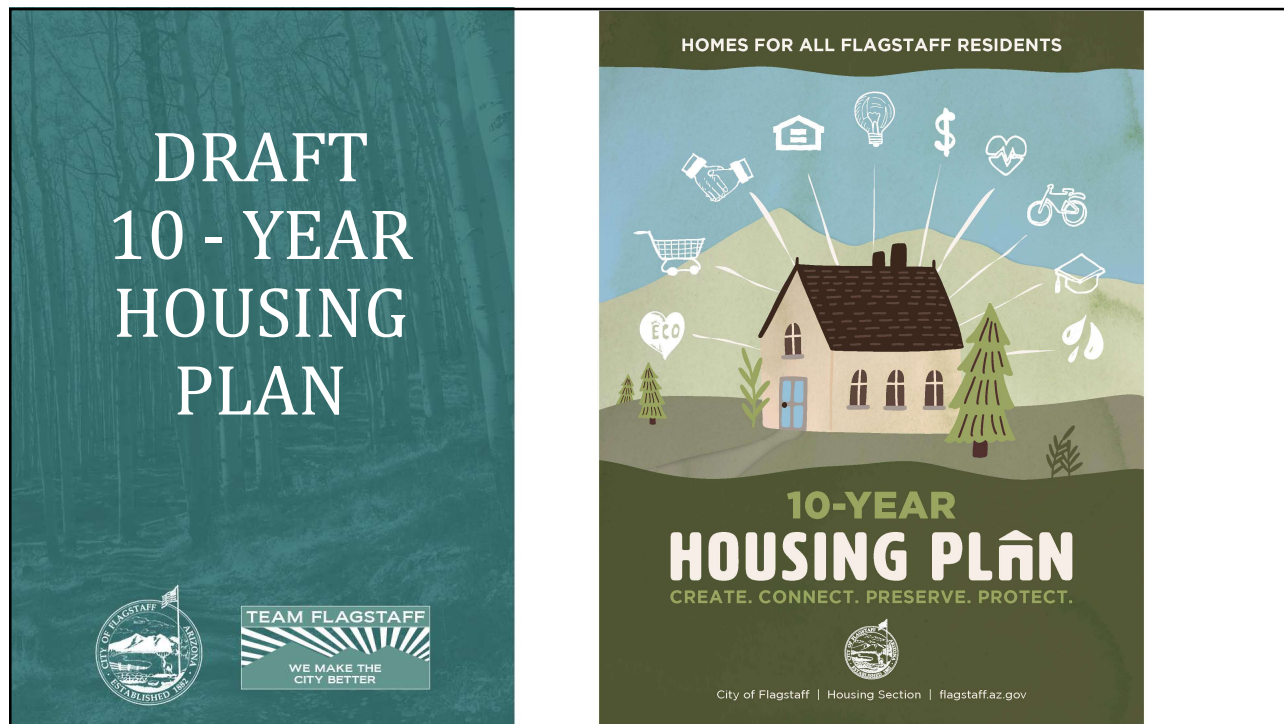
Housing Commission's Consideration for approval

- ✓ Draft Policy Initiatives and Strategies
- ✓ Established Plan's Overarching Goal
- ✓ Draft Housing Plan

Underway:

- Review of Draft Plan
- 30 Public Comment Period
- Community Forum Survey
- Community Outreach
- Consideration for approval of final Housing Plan
 - Commission – November
 - Council - December

10



11

The infographic is titled "What is 'Affordable Housing'?" and includes the City of Flagstaff seal and "TEAM FLAGSTAFF" logo. It defines affordable housing based on the US Department of Housing and Urban Development's definition. The definition states that a household is considered to have affordable housing when it pays no more than 30 percent of its annual gross income on housing and housing-related expenses. The source is cited as the U.S. Department of Housing and Urban Development. A pie chart titled "GROSS INCOME" illustrates this: a light blue slice represents 30% for housing, and a dark brown slice represents 70% for non-housing needs such as food, transportation, clothes, medical care, and child care.

What is "Affordable Housing"?

When a household pays **no more than 30 percent** of annual gross income on housing and housing related expenses.

Source: U.S. Department of Housing and Urban Development)

US Department of Housing and Urban Development's Definition of Affordable Housing

GROSS INCOME

30% Housing

70% Non-housing needs such as food, transportation, clothes, medical care, child care etc.

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Program Income Limits



Who qualifies for affordable housing subsidizes? A household's income largely determines what programs they qualify for. These income limits are determined annually by HUD using local income data.

2020 Area Median Income (AMI) Limits for Flagstaff					
Household size	30%	50%	80%	100%	125%
1	\$15,800	\$26,350	\$42,150	\$52,700	\$65,875
2	\$18,050	\$30,100	\$48,150	\$60,200	\$75,250
3	\$21,720	\$33,850	\$54,150	\$67,700	\$84,625
4	\$26,200	\$37,600	\$60,150	\$75,200	\$94,000
5	\$30,680	\$40,650	\$65,000	\$81,300	\$101,625
6	\$35,160	\$43,650	\$69,800	\$87,300	\$109,125
7	\$39,640	\$46,650	\$74,600	\$93,300	\$116,625

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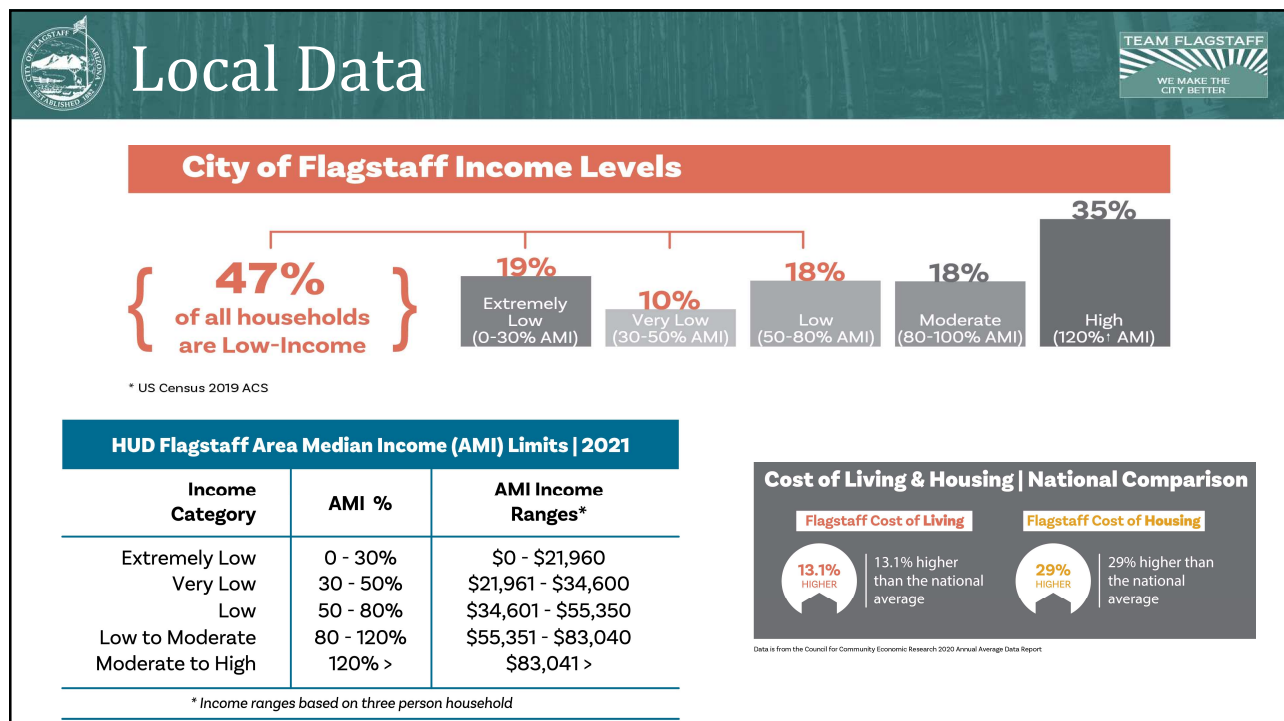
Basic Housing Continuum



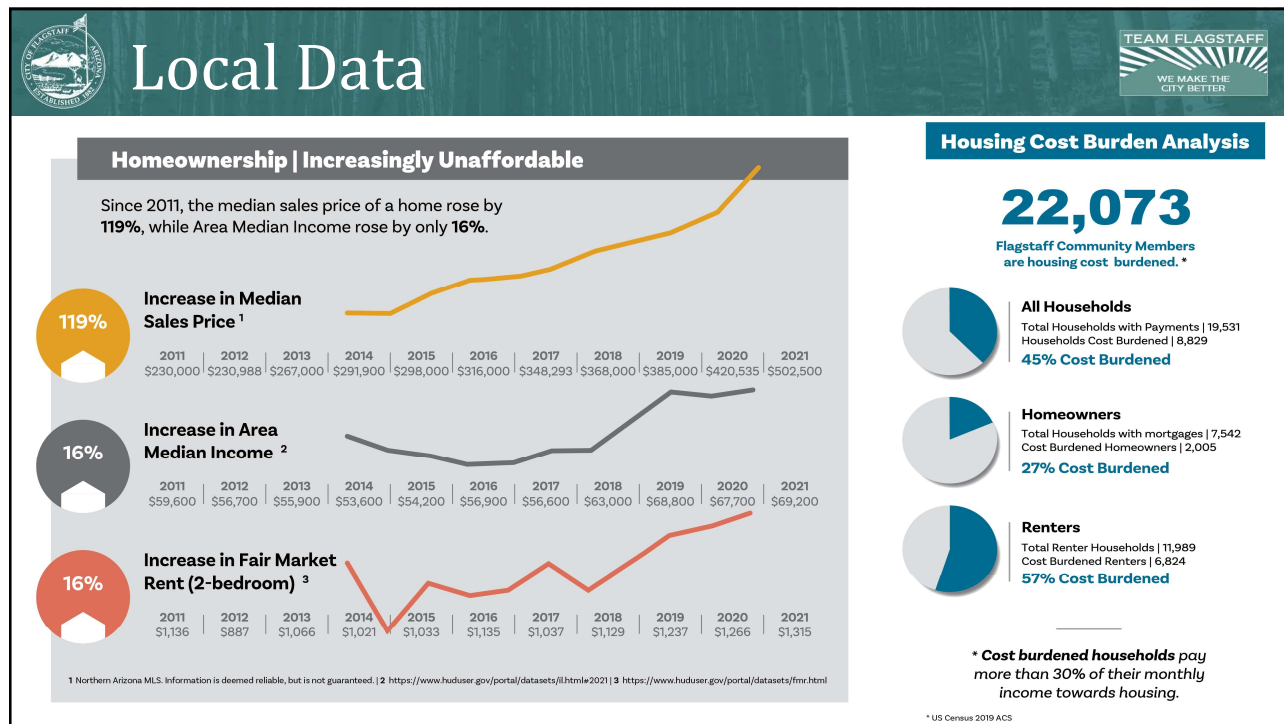
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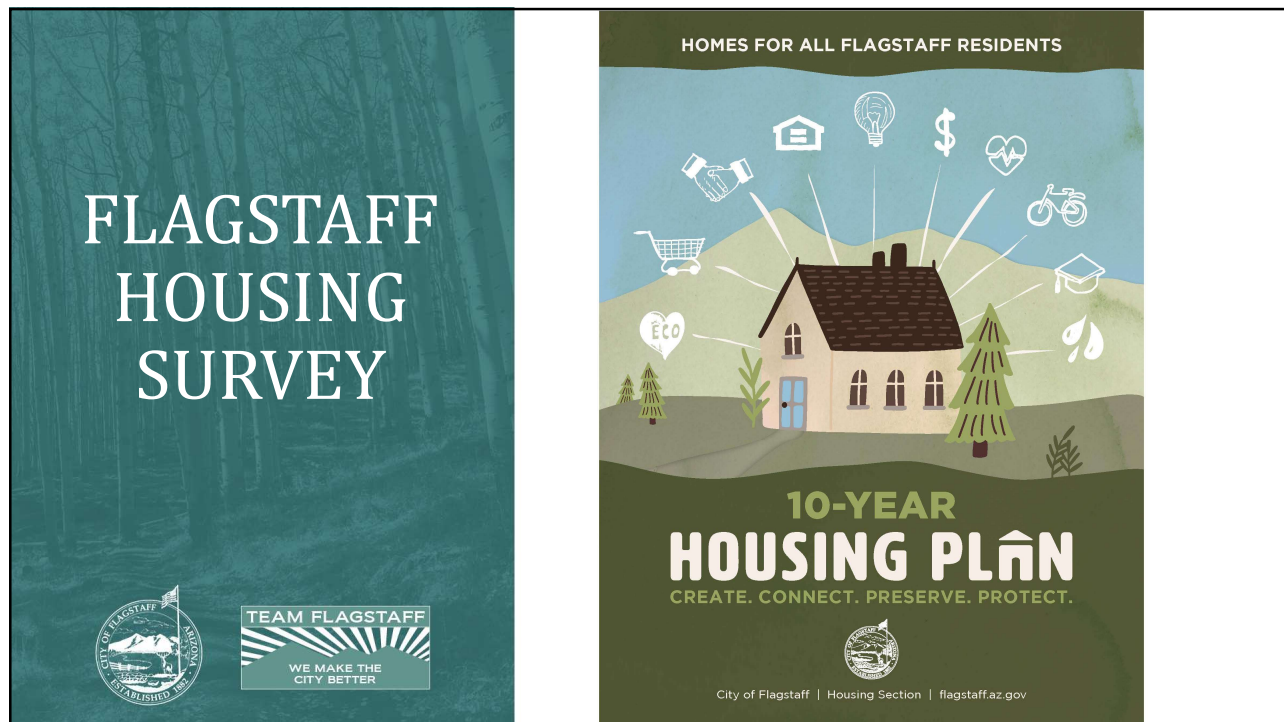
What can Flagstaff Families Afford?




What Can Flagstaff Families Afford?					
Household Type	Retiree on Fixed Income	Service Industry Worker @ \$15/hr.	Single Parent with 2 children	Family of 4 people	Young married couple
Number in Household	1	1	3	4	2
Estimated Household Income	\$16,140	\$31,200	\$55,350	\$76,800	\$73,800
% of Area Median Income	30%	58%	80%	100%	120%
Max Rent They Can Afford	\$404	\$780	\$1,384	\$1,920	\$1,845
Max Home Purchase Price They Can Afford *	\$49,000	\$125,000	\$248,000	\$359,000	\$343,000
\$ Needed for Downpayment & Closing Costs *	\$3,185	\$8,125	\$16,120	\$23,335	\$22,295

* 4.0% interest rate; 30-year term with 3.5% down payment. Assumes 30% housing ratio and that household debt does not impact affordability. Insurance = \$50/mo. Taxes = \$120/mo. No HOA payment. Monthly MI @ 0.28%.


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Flagstaff Housing Survey



2,949 responses

- at least one response from 78 of 85 Flagstaff neighborhoods
- 62% homeowners
- 32% renters
- 3% people experiencing homelessness
- More than one in four respondents (28%) reported having lived in Flagstaff for ten years or more

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Flagstaff's Housing Survey



Housing Cost Burden Results

- 35% reported being housing burdened
- 50% renters reported being housing burdened
- 27% homeowner respondents reported being housing burdened
- 23% reported being severely housing burdened, paying 50% or more of their income toward housing costs

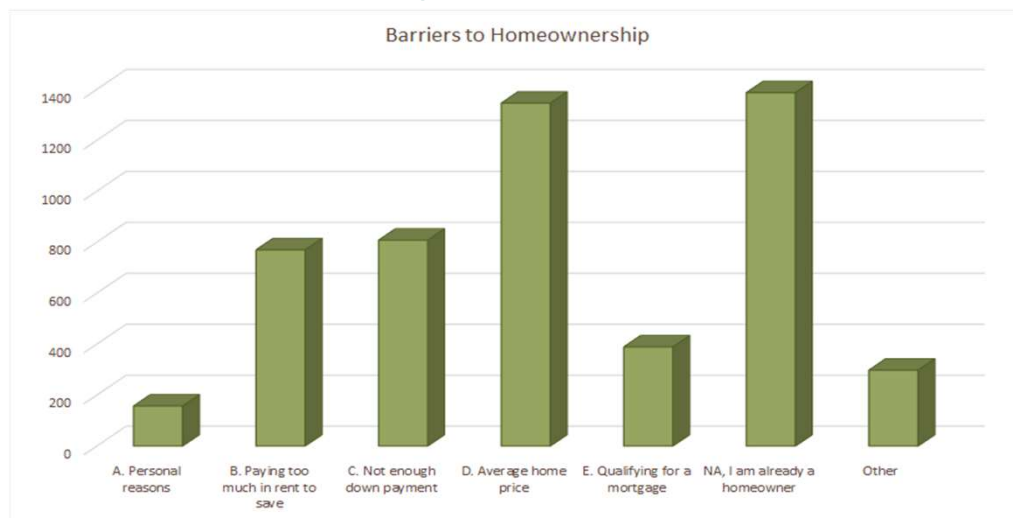
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Flagstaff's Housing Survey



Barriers to Homeownership



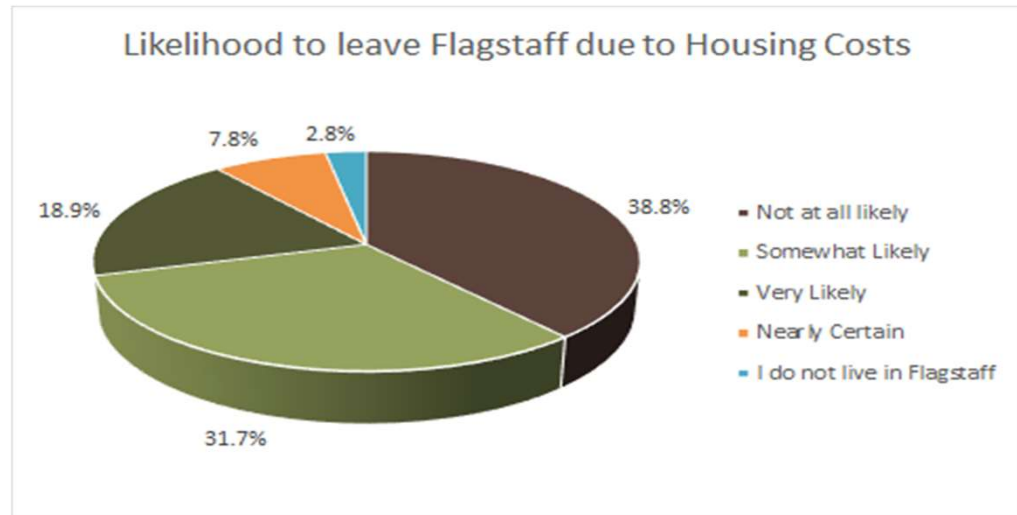
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Flagstaff's Housing Survey



Respondents Considering Leaving



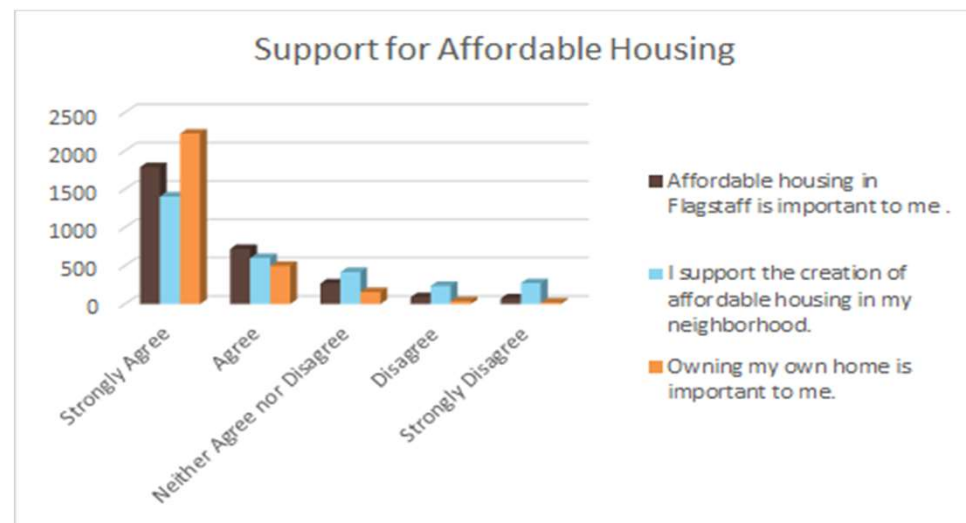
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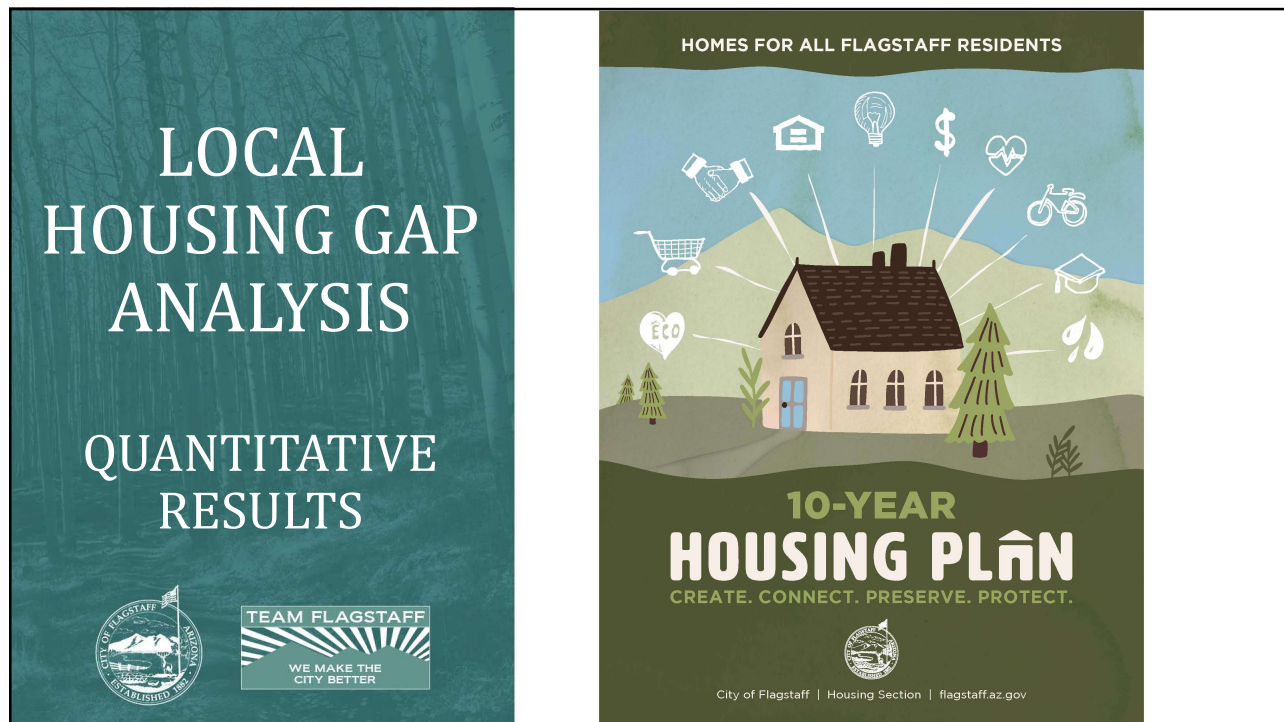
Flagstaff's Housing Survey




Support of Affordable Housing Development




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Method for Affordable Housing Need




- Paired data on the number, size, and income of households in Flagstaff (the demand) with data on the number, size, and cost of housing in Flagstaff (the supply).
- Point in time analysis- These numbers are not meant to direct exact building counts, as it cannot capture the demand pressure from people moving to Flagstaff.



GAPS ANALYSIS
MONTGOMERY COUNTY HOMELESS CONTINUUM OF CARE



JOINT CENTER FOR
HOUSING STUDIES
OF HARVARD UNIVERSITY



26



Affordable/ Subsidized Housing Need



12,072 Households in Need of an Affordable Housing Subsidy or Unit

		Income & Household Size						
AMI Range		1 Person	2 Person	3 Person	4 Person	5+ Person		
Extremely low to low income	0 - 30%	-2,236	-1,582	-486	-298	-273	10,916 Households	
	30 - 50%	-1,072	-819	-359	-247	-155		
	50 - 80%	-487	-1,139	-491	-772	-500		
Low to Moderate income	80 - 100%	212	248	114	-366	-311	1,156 Households	
	100 - 120%	-119	1,206	2,708	247	-360		
	> 120%	-1,261	-4,514	6,366	4,562	392		

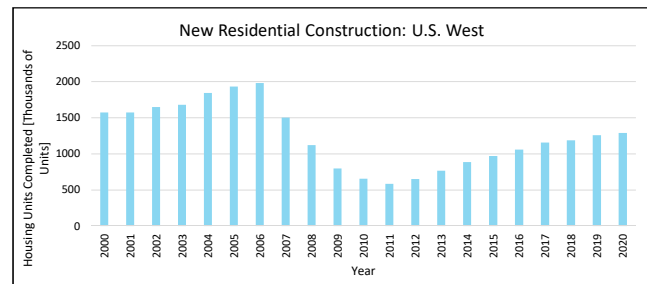
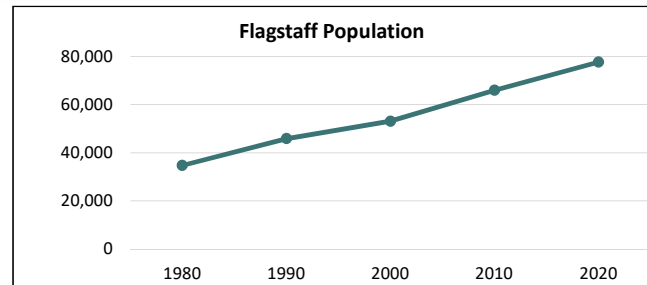
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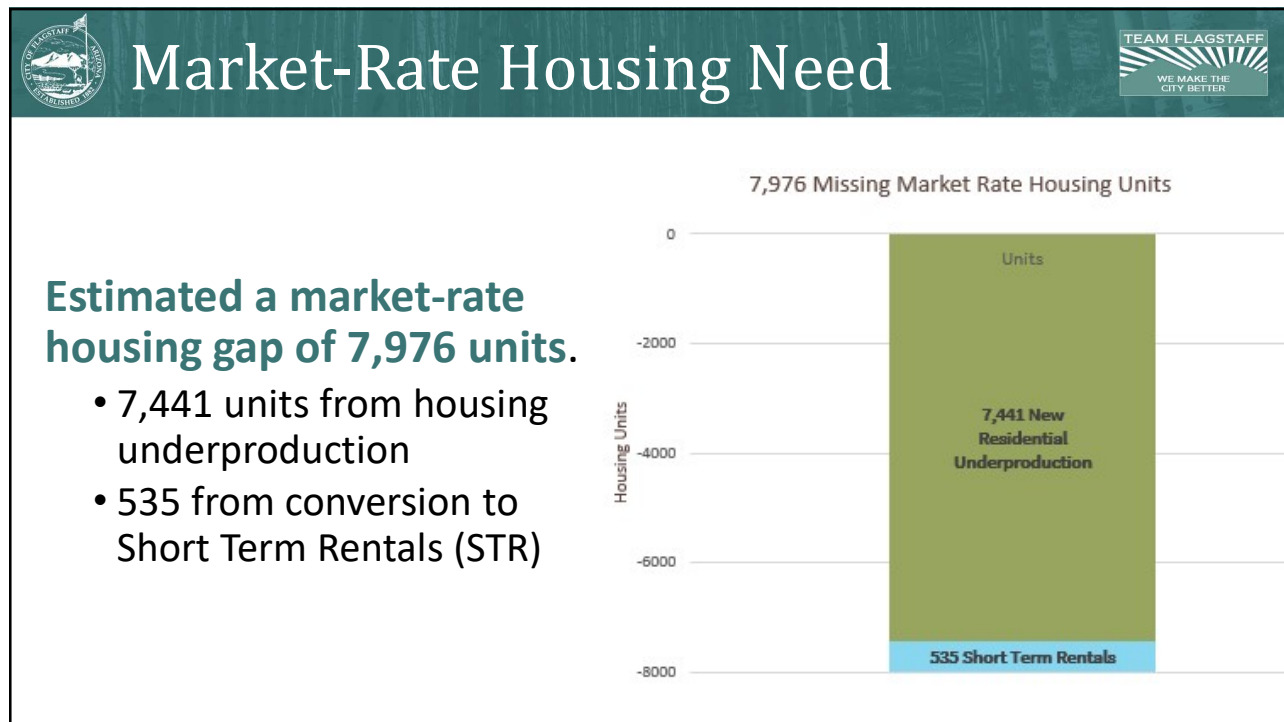
Method for Market-Rate Housing Need



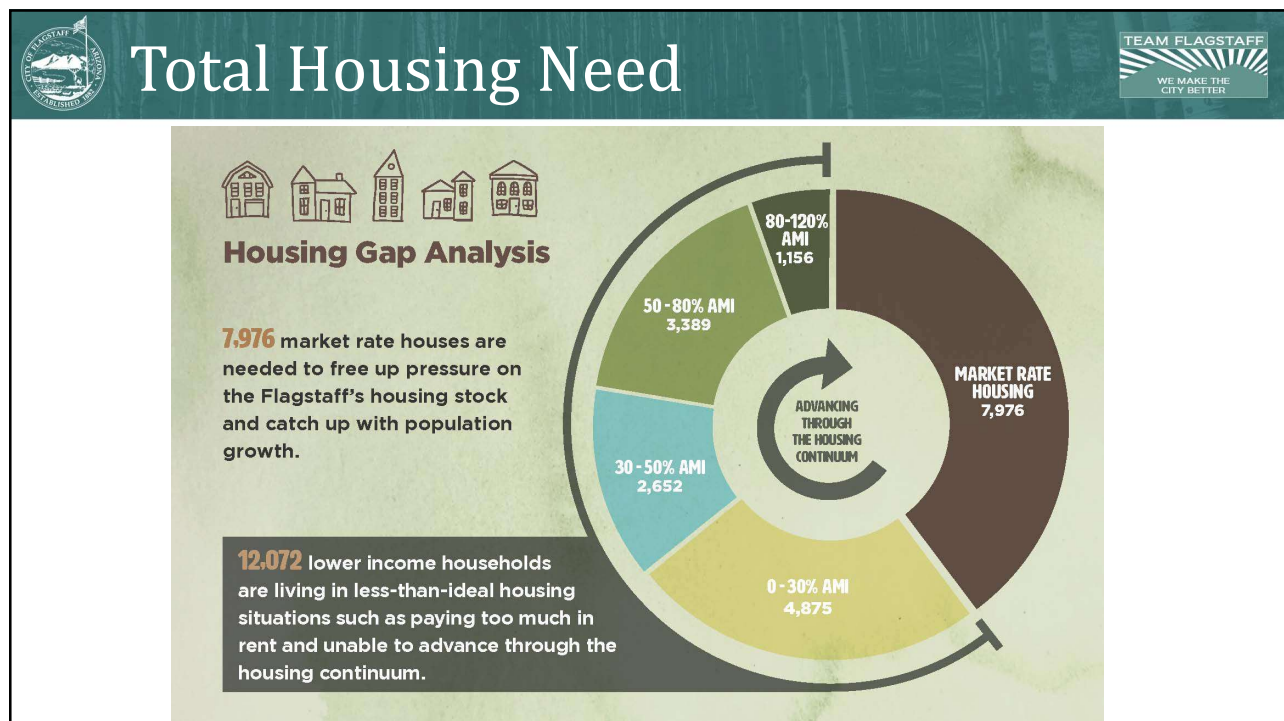
- Declined housing production since 1980 despite steady population growth
- Conversion of housing to Short Term Rentals (STR) prevents residents from using it



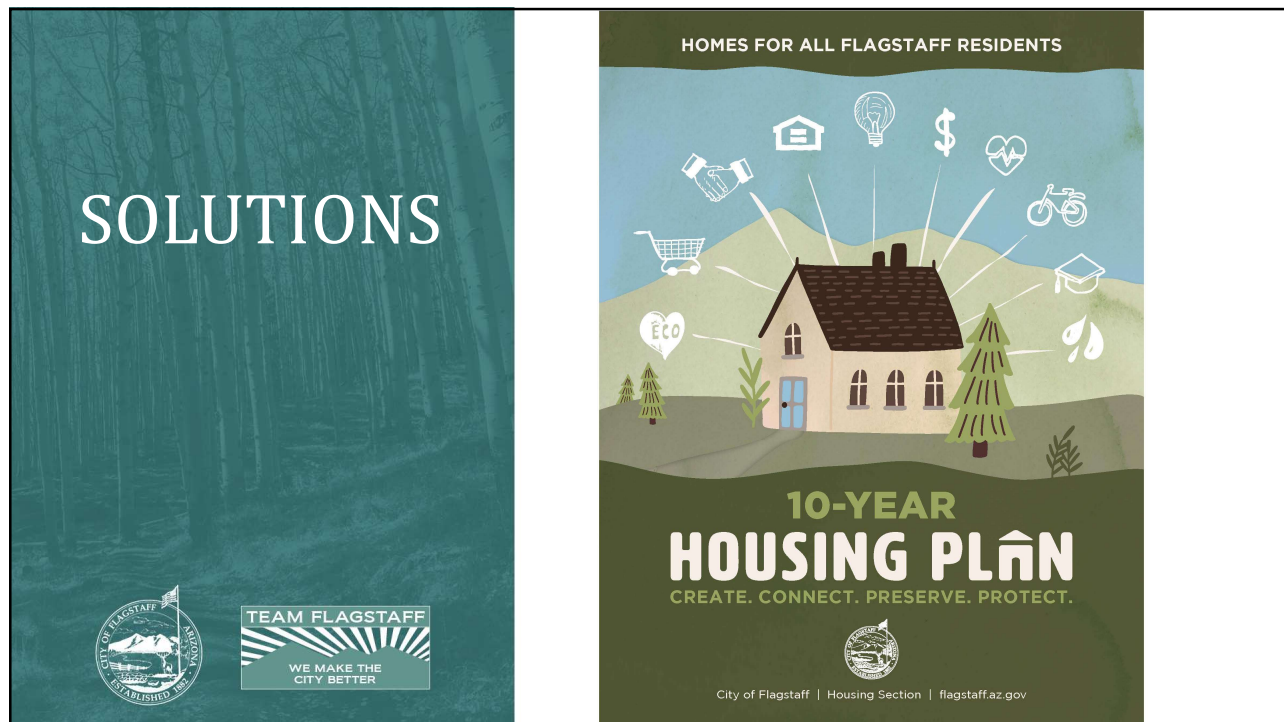
28





29



30



31

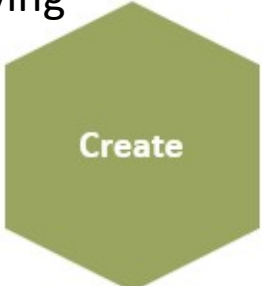

Create


Create housing options for households at all income levels and family sizes occupied by local residents.


Create 1: Create a dedicated funding source for affordable housing in Flagstaff.

Create 2: Explore building innovation and cost-saving practices.


Create 3: Ensure that the Flagstaff Regional Plan includes robust affordable housing goals and policies.




32



Create







Create 4: Amend the Flagstaff Zoning Code to facilitate the development of all housing types.

Create 5: Incentivize the creation of affordable units through various programs and mechanisms.

33



Connect




Connect people to equitable housing solutions.


Connect 1: Implement a framework for centering equity in proposed and existing housing practices, policies and programs.

Connect 2: Reduce homelessness in the Flagstaff community and seek creative solutions to foster housing permanency for all.


Connect 3: Integrate healthcare into housing programs, and housing into healthcare programs, as appropriate.




34



Preserve




Preserve affordable housing.




Preserve 1: Expand efforts to preserve existing housing stock.

Preserve 2: Encourage the adaptive reuse of buildings.

35



Protect




Protect people from housing discrimination and remove housing barriers.


Protect 1: Continue Flagstaff's commitment to further Federal and Arizona Fair Housing laws in all housing-related services and programs, valuing the efforts of those who seek to reduce barriers to equitable housing opportunities, and providing Fair Housing education and resources to the community.



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Protect





Protect

Protect 2: Ensure affordable housing is a part of every Flagstaff neighborhood and work to address disparate impact as part of any development or redevelopment.


Protect 3: Continue to lobby and support federal and state legislation to encourage changes to federal and state laws, and to increase the amount of funding available for the preservation and construction of affordable housing.

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GOAL





HOMES FOR ALL FLAGSTAFF RESIDENTS



10-YEAR
HOUSING PLAN

CREATE. CONNECT. PRESERVE. PROTECT.



City of Flagstaff | Housing Section | flagstaff.az.gov

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Single Overarching Goal



Reduce the current affordable housing need in Flagstaff by half.

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Single Overarching Goal

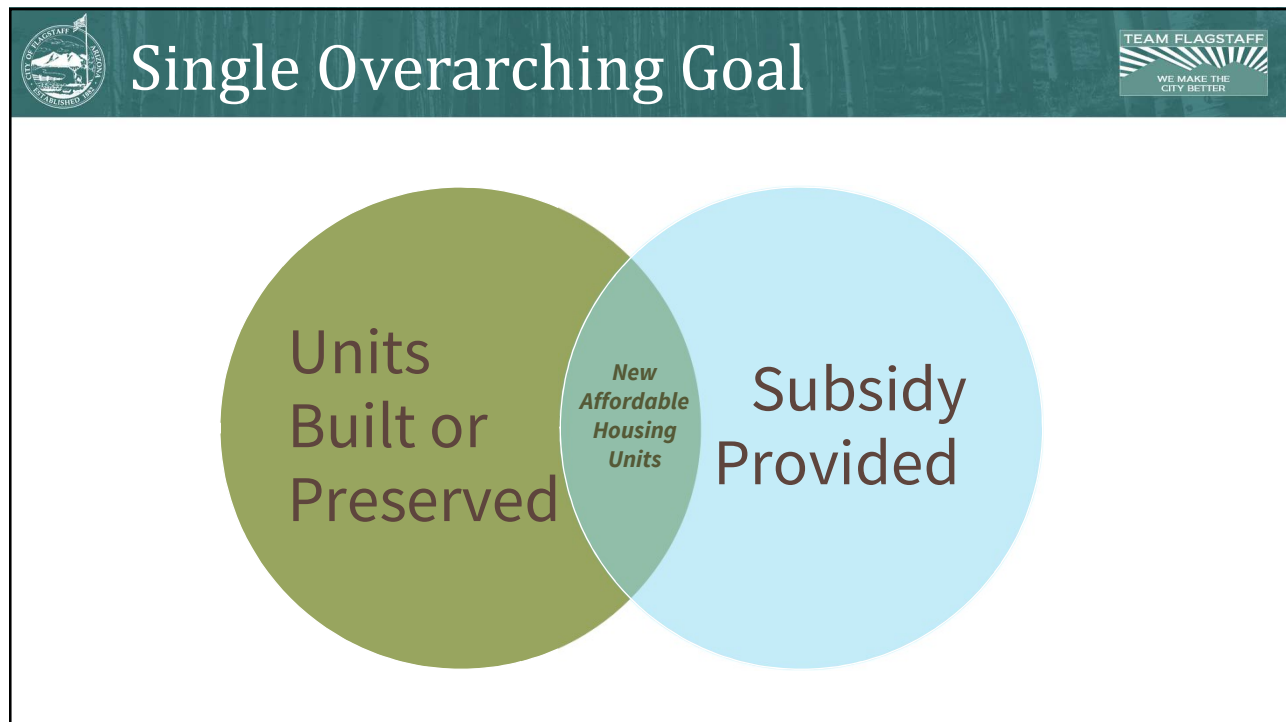


Reduce the current affordable housing need in Flagstaff by half.

Element one: Create or preserve 7,976 units by 2031 with a minimum of 10% affordable to increase the overall supply of market rate, workforce and affordable housing occupied by local residents.

Element two: Impact 6000 low to moderate Flagstaff residents through a combination of unit creation or subsidy provision.

40



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Housing Goal Number

Element one: Create or preserve **7,976** units by 2031 with a minimum of 10% affordable to increase the overall supply of market rate, workforce and affordable housing occupied by local residents.

- Permits granted - 5 Year Average X Next 10 Years
 - Average Single Family = 279
 - Average Multifamily = 305
$$584 \times 10 \text{ Years} = 5,840$$

Add

- City Owned Land = 254
- Owner Occupied Rehabilitation Program = 14

$$5,840 + 254 + 14 = \mathbf{6,106}$$

6,106 units
X 25%

7,633

↓

7,976

42



Housing Subsidies Goal Number



Projecting to serve **474** Flagstaff's low to moderate income residents with current and historical funding.

Programs – 5 Year Average X next 10 Years

- Employer Assisted Housing – 42 Households
- Community Homebuyers Assistance Program – 48 Households
- Eviction Prevention Program – 316 Households
- First Time Homebuyers Down Payment Assistance Program - 68

**Without an increase in funding, 474 Flagstaff
low to moderate household over 10 years**

43



Housing Subsidies Goal Number



Element two: Impact 6000 low to moderate Flagstaff residents through a combination of unit creation or subsidy provision.

$$12,072 / 2 = 6,036$$

12,072 Households in Need of an Affordable Housing Subsidy or Unit

		Income & Household Size					
AMI Range		1 Person	2 Person	3 Person	4 Person	5+ Person	
Extremely low to low income	0 - 30%	-2,236	-1,582	-486	-298	-273	10,916 Households
	30 - 50%	-1,072	-819	-359	-247	-155	
	50 - 80%	-487	-1,139	-491	-772	-500	
Low to Moderate income	80 - 100%	212	248	114	-366	-311	1,156 Households
	100 - 120%	-119	1,206	2,708	247	-360	
	> 120%	-1,261	-4,514	6,366	4,562	392	

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Single Overarching Goal



Accomplished through 4 Policy Initiatives

Create



Connect

Protect


Preserve

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TIMELINE & NEXT STEPS





HOMES FOR ALL FLAGSTAFF RESIDENTS



10-YEAR HOUSING PLAN

CREATE. CONNECT. PRESERVE. PROTECT.



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Important Dates



- Sept. 29 – Nov. 2 – Public Comment Period & Community Forum Survey
- October 5 – Economic Collaborative of Northern Arizona
- October 7 – Northern Arizona Association of Realtors
- **October 7 – Virtual Public Outreach – *City of Flagstaff Commissioners***
- October 19 – Friend of Flagstaff's Future
- October 21 – Flagstaff Chamber of Commerce
- **October 27 – Virtual Public Outreach**
- November 2 – Coconino County Continuum of Care
- November 29 – Housing Commission, Consideration of approval of Final Plan
- December 7 – City Council, Consideration of adoption of Final 10 Year Housing Plan

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Thank You

Questions
Comments
Feedback



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CITY OF FLAGSTAFF

STAFF SUMMARY REPORT

To: The Honorable Mayor and Council
From: Jenny Niemann, Climate Program Manager
Date: 09/20/2021
Meeting Date: 09/28/2021



TITLE

Advancing Resilience in Flagstaff: Preliminary Discussion

STAFF RECOMMENDED ACTION:

This is an informational update for discussion.

EXECUTIVE SUMMARY:

The City of Flagstaff Sustainability Office has partnered with the NAU Climate Science and Solutions (CSS) Graduate Program to create a resource document on resilience for the City of Flagstaff.

The CSS graduate class will draw from several foundational documents on adaptation, resilience, and the expected climate changes that will occur in Flagstaff. The final product will be a resource to support City of Flagstaff staff, City Council, and the community.

The students will complement their research with community conversations through the following forums:

- A Flagstaff Community Forum survey.
- An online community discussion event.
- Presentations to the Sustainability Commission, the Commission on Diversity Awareness, and the Commission on Inclusion and Adaptive Living.

At this meeting, the students will introduce themselves and their upcoming work to the City Council, and will solicit City Council feedback.

The class will present the completed resource document to the City Council during the November 30th City Council work session.

INFORMATION:

Connection to the Regional Plan:

Regional Plan:

Goal E&C.2 Reduce Greenhouse gas emissions.

Goal E&C.3 Strengthen community and natural environment resiliency through climate adaptation efforts.

Goal E&C.4. Integrate the best available science into all policies governing the use and conservation of Flagstaff's natural resources.

Attachments: Powerpoint presentation: Advancing Resilience



Vulnerability and Resilience in Flagstaff

September 28, 2021

Project Goals

1. Expand on adaptation methods outlined in the Carbon Neutrality Plan.
2. Consolidate information provided in relevant City documents.
3. Facilitate conversations with the Flagstaff community and obtain their feedback.
4. Provide recommendations to the City in a Resilience Resource Document.

Flagstaff Climate Documents

- 2012 – Resilience and Preparedness Study
- 2018 – City of Flagstaff Climate Profile
- 2018 – Flagstaff Vulnerability Assessment
- 2018 – Climate Action & Adaptation Plan
- 2020 – Council Declares Climate Emergency
- 2021 – Carbon Neutrality Plan

Definitions

Resilience:

- A community's ability to thrive when change occurs
- Involves anticipation and preparation for changing conditions

Vulnerability:

- The potential to be harmed

Adaptation:

- Actions that increase the ability to withstand, respond, or cope with climate change impacts

CLIMATE CHANGE IN FLAGSTAFF

Compared to
today, by 2050
we expect to
have, on
average...



- **Hotter** temperatures.
- Increased **risk of disease or illness** from **mosquitoes** and other pests.



- **Less snowpack.**
- Precipitation shifts from snowfall to rainfall



- Increased **high-severity wildfire risk.**
- Increased **damage from forest pests** due to drought-stressed trees.



- More severe **drought** conditions as temperatures rise.
- **Lower water quality** of reservoirs.

*Acquired from Flagstaff Vulnerability Assessment

Vulnerabilities: What is at risk?

Tourism & Economy



Water



Land Use & Housing



Health



Climate change poses risks to everything from our **health** and **infrastructure** to local **ecosystems**.

CLIMATE CHANGE IN FLAGSTAFF

Vulnerabilities: Tourism & Recreation

WINTER TOURISM

**HIGH
VULNERABILITY**



Significant **snowpack loss** will decrease winter recreation and tourism.

SUMMER TOURISM

**LOW-MEDIUM
VULNERABILITY**



More **wildfire, drought, or extreme heat** may temporarily reduce visitation in summer, spring, and fall.

CLIMATE CHANGE IN FLAGSTAFF

Vulnerabilities: Water Supply, Quality, & Infrastructure

AVAILABILITY

**HIGH
VULNERABILITY**



Reduced water availability and increased demand could cause water shortfalls.

QUALITY

**MEDIUM-HIGH
VULNERABILITY**



More **wildfire, drought, and flooding** are likely to impair water quality.

INFRASTRUCTURE

**HIGH
VULNERABILITY**



More **wildfire and flooding** are likely to significantly damage natural and human-made water infrastructure.⁸

CLIMATE CHANGE IN FLAGSTAFF

Vulnerabilities: Water Supply, Quality, & Infrastructure



Example of severe flooding due to extreme rainfall event.

(2021 Steve's Boulevard, CNN.com)

CLIMATE CHANGE IN FLAGSTAFF

Vulnerabilities: Forest Health & Wildlife

FOREST HEALTH

**VERY HIGH
VULNERABILITY**



Overall **declines in forest health and widespread forest loss** due to wildfires, drought, pests, and invasive species.

WILDFIRE

**HIGH
VULNERABILITY**



Larger, more frequent stand-replacing **wildfires**.

FLOODING

**MEDIUM-HIGH
VULNERABILITY**



Larger, more frequent **flooding** after wildfires. More floods in general.

INSECTS & PESTS

**HIGH
VULNERABILITY**



More **beetle infestations and invasive species** due to warmer, drier conditions.

CLIMATE CHANGE IN FLAGSTAFF

Vulnerabilities: Forest Health & Wildlife



Museum Fire of
2019

(ktar.com)

CLIMATE CHANGE IN FLAGSTAFF

Vulnerabilities: Land Use, Infrastructure, & Housing

OPEN SPACE

MEDIUM-HIGH
VULNERABILITY



Wildfires and hotter, drier conditions may make healthy open space more difficult to sustain.

LAND USE

LOW-MEDIUM
VULNERABILITY



Greater **population density** is planned away from wildfire- and flood-prone areas, with more city parks and open space to provide shade.

INFRASTRUCTURE

MEDIUM
VULNERABILITY



Hotter temperatures may stress buildings, utilities, and roads.

RESIDENTIAL ENERGY USE

MEDIUM
VULNERABILITY



Hotter temperatures may increase energy costs and make summer cooling out of reach for many households.

CLIMATE CHANGE IN FLAGSTAFF

Vulnerabilities: Public Health, Safety, & Services

AIR QUALITY

MEDIUM
VULNERABILITY



More periods of **poor air quality** due to larger, more frequent wildfires.

HEAT-RELATED ILLNESSES

MEDIUM
VULNERABILITY



More extreme heat days (>90°F) could increase the risk of **heat-related**

ALLERGEN EXPOSURE

LOW
VULNERABILITY



Increased **exposure to allergens** is possible as spring grows warmer and more dry weather increases dust.

MENTAL HEALTH

LOW-MEDIUM
VULNERABILITY



More frequent extreme events could increase the **risk of mental health issues.**

INFECTIOUS DISEASES

LOW-MEDIUM
VULNERABILITY



Increased **exposure to valley fever and West Nile virus** is possible as the warm season lengthens. Existing response resources may be adequate.

Tying It All Together

Flagstaff's Carbon Neutrality Plan Goal #2:
Prepare the City's communities, systems,
and resources to be more resilient to
climate change impacts.

Plan of Action: Furthering Flagstaff's discussion on adaptation and resilience, through conversations with the community and City Council

- Present to the Sustainability Commission
Thu 9/23
- Present to City Council
Tue 9/28
- Present to Commission on Diversity Awareness
Tue 10/19
- Present to Commission on Inclusion and Adaptive Living
Tue 10/26
- Open Forum
(community feedback)
Oct (TBD)
- Final Presentation to City Council
Tue 11/30

Thank you.
We welcome
your feedback.

Contact us:

nau.css.2021@gmail.com